

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Administrative Review Permit for Detached Accessory Dwelling

Washoe County Code (WCC) Chapter 110, Section 110.306.25, Detached Accessory Dwelling Administrative Review, application is required to establish a detached accessory dwelling unit, with specific requirements for the regulatory zone where the dwelling unit will be located. The Director of the Planning and Building Division, or their designee, shall review the application request for compliance with the Development Code taking into consideration any testimony offered by affected property owners and the applicant. The Director, or their designee, may approve, approve with conditions, modify, modify with conditions, or deny the request. See WCC 110.306.25, for further information.

Development Application Submittal Requirements

1. **Fees:** See Master Fee Schedule. **Make check payable to Washoe County.**
2. **Development Application:** A completed Washoe County Development Application form and all supplemental questions.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Administrative Review Permit for Detached Accessory Dwelling Application materials.
6. **Site Plan Specifications:**
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with topography expressed in intervals of no more than five (5) feet IF there is a difference in elevation of the two dwellings of five (5) feet or more
 - c. Show the all required yard setbacks, location and configuration of wells and well house, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Date, north arrow, scale and number of each sheet in relation to the total number of sheets, and the name of person preparing the plans.
7. **Building Elevations:** Elevations of the main dwelling unit and the detached accessory dwelling, existing or proposed for construction, shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented. Photographs of existing buildings (all sides) may be submitted in place of elevations of existing building.
8. **Floor Plans:** Floor plans to scale with all rooms and spaces labeled for both the main dwelling unit and the detached accessory dwelling.
9. **Packets:** Three (3) paper packets and flash drive or DVD – any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these

reproductions should be no smaller than 8 point on the 8½ x 11" display. Large format sheets should be included in a slide pocket(s).

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- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
 - (ii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
 - (ii) **Labels:** If there is a mobile home park within five hundred (500) feet of the proposed project, the applicant is required to submit three (3) sets of mailing labels for every tenant residing in the mobile home park.
 - (iv) Please be advised that the Washoe County Director of the Planning and Building Division or their designee has the ability to determine if the application is incomplete, if it cannot be ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Gary & Christine Harkness			
Project Description: New Detached Dwelling			
Project Address: 9329 Arrowhead Way			
Project Area (acres or square feet): 5.0 Acres			
Project Location (with point of reference to major cross streets AND area locator): 11135 Birch Street, Birch and Nector, Lemon Valley			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
504-742-05	5.0 Acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Gary & Christine Harkness		Name: Michael T. Peterson	
Address: 9329 Arrowhead Way		Address: 3710 Grant Dr. Suite C	
Reno, NV	Zip: 89506	Reno, NV	Zip: 89509
Phone: 775-690-1514	Fax:	Phone: 775-240-4564	Fax:
Email: 1gharky@gmail.com		Email: mike@mtpeterson.com	
Cell: 775-690-1514	Other:	Cell: 775-240-4564	Other:
Contact Person: Margie Stanfield		Contact Person: Michael T Peterson	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Gary Harkness

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, GARY ALAN HARKNESS
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 552-050-06

Printed Name Gary Alan Harkness

Signed [Signature]

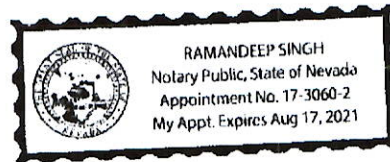
Address 9329 Arrowhead Way
Reno, NV 89506

Subscribed and sworn to before me this 29th day of September, 2020.

Ramandeep Singh Washoe, NV
Notary Public in and for said county and state

My commission expires: Aug 17, 2021

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2858 s.f.

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1292 s.f.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Siding, roof slope and Material.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

4 + a 2 car garage

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

It is a very big lot. The house will add character.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	Septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Well	Well

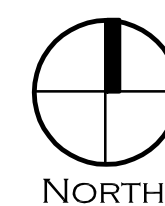
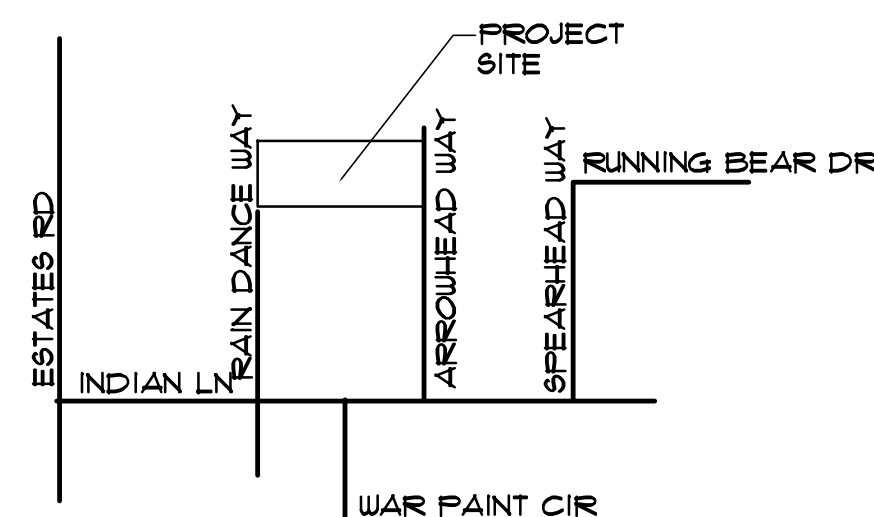
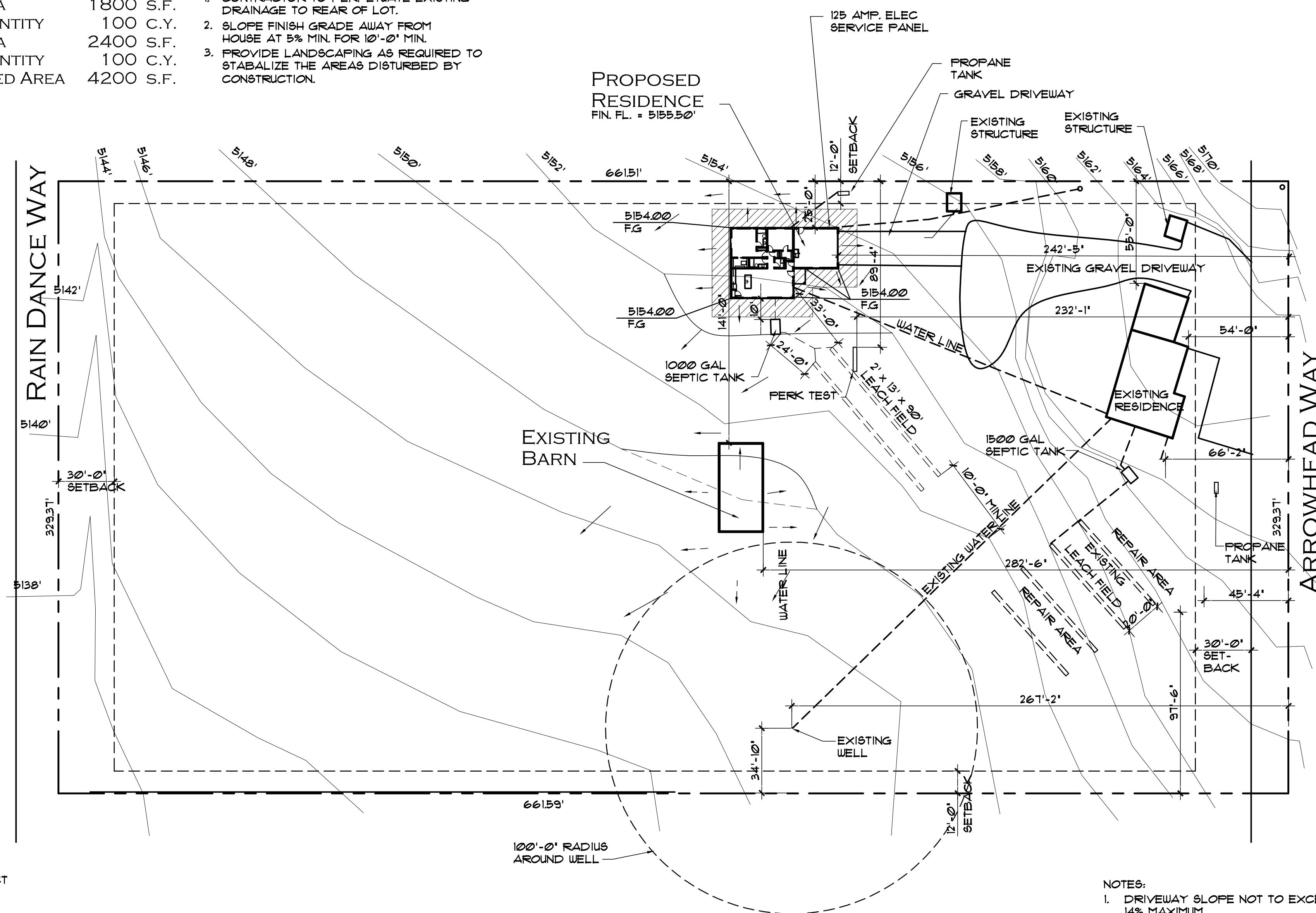
A New Detached Structure for Gary & Christine Harkness

GRADING NOTES

CUT AREA	1800 S.F.
CUT QUANTITY	100 C.Y.
FILL AREA	2400 S.F.
FILL QUANTITY	100 C.Y.
DISTURBED AREA	4200 S.F.

GRADING NOTES:

- CONTRACTOR TO PERPETUATE EXISTING DRAINAGE TO REAR OF LOT.
- SLOPE FINISH GRADE AWAY FROM HOUSE AT 5% MIN. FOR 10'-0" MIN.
- PROVIDE LANDSCAPING AS REQUIRED TO STABILIZE THE AREAS DISTURBED BY CONSTRUCTION.



SITE PLAN
552-050-06
9329 ARROWHEAD WAY

1"=40'-0"

NOTES:

- DRIVEWAY SLOPE NOT TO EXCEED 14% MAXIMUM.
- SLOPE FINISH GRADE AWAY FROM HOUSE AT 5% FOR 10'-0" MIN.
- LOT IS NOT WITHIN 100' OF THE 100 YEAR FLOOD PLAIN.
- NO WELLS OR SEPTIC WITHIN 100 FT. OF PROPERTY LINE.
- NO AVAILABLE SEWER WITHIN 400 FT. OF PROPERTY.
- NO WATER COURSES WITHIN 100 FT. OF PROPERTY.

CONSULTANTS

RESIDENTIAL DESIGNER
MICHAEL T. PETERSON
3710 GRANT DRIVE SUITE C
RENO, NEVADA 89509
PHONE: (775) 856-1400
CELL: (775) 240-4564
MIKE@MTPETERSON.COM

ENGINEER
K2 ENGINEERING
860 MAESTRO DRIVE SUITE A
RENO, NEVADA 89511
PHONE: (775) 355-0505
JARED@K2ENG.NET

OWNER INFORMATION

GARY & CHRISTINE HARKNESS
9329 ARROWHEAD WAY
RENO, NEVADA 89506
PHONE (775) 690-1514

DESIGN INFORMATION

RESIDENTIAL CODE	2018 I.R.C.
ELECTRICAL CODE	2018 I.R.C.
PLUMBING CODE	2018 I.R.C.
MECHANICAL CODE	2018 I.R.C.
ENERGY CONS. CODE	2018 IECC
STRUCTURAL DESIGN	2018 I.B.C.
WIND LOAD	VULT 130 MPH EXP C
SEISMIC ZONE	D-2
ROOF LL	21 PSF SNOW
2018 IWUC FIRE ZONE	LOW

AND ANY APPLICABLE LOCAL ORDINANCES WHICH AFFECT THIS PROJECT

GENERAL NOTES

- ALL TRADE CONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS IN THE FIELD. ALL QUESTIONS AS TO DIMENSIONS AND FIELD CONDITIONS SHALL BE RESOLVED BEFORE THE AFFECTED WORK PROCEEDS.
- THE GENERAL BUILDING PERMIT AND PLAN CHECK FEE SHALL BE SECURED AND PAID FOR BY THE OWNER. ALL OTHER LICENSES AND FEES SHALL BE OBTAINED BY THE APPLICABLE TRADE CONTRACTOR FOR THE ASPECTS OF THE WORK RELATED TO THEIR TRADE.
- THE BUILDER SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY WATER SUPPLY, LIGHT / POWER, TOILET FACILITIES, AND A TRASH DUMPSTER OR TRAILER.
- ALL TRADES SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK, AND AT THE COMPLETION OF THEIR WORK REMOVE ALL RUBBISH FROM AND ABOUT THE JOB SITE, AND ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE JOB BROOM CLEAN, INCLUDING REMOVING ALL LABELS, STICKERS, PAINT SHEARS, ETC. FROM LIGHTING FIXTURES, PLUMBING FIXTURES, GLASS SURFACES, FINISH HARDWARE, CABINETS, COUNTER TOPS, ETC.
- NOTHING INDICATED ON THESE PLANS IS INTENDED TO CONFLICT WITH ANY APPLICABLE CODE OR ORDINANCE. IN THE EVENT OF A CONFLICT THE CONTRACTOR OR SUB CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

RESIDENCE INFORMATION

EXISTING LIVING AREA	2858 Sq. Ft.
EXISTING GARAGE AREA	650 Sq. Ft.
NEW LIVING AREA	1292 Sq. Ft.
NEW GARAGE AREA	484 Sq. Ft.

BUILDING INFORMATION

BUILDING OCCUPANCY GROUP :	IRC/R-3
TYPE OF CONSTRUCTION :	VB
A. P. N. :	504-742-05
LOT SIZE	0.286 ACRES

LOT :	BLOCK :
SUB DIVISION :	GEMSTONE

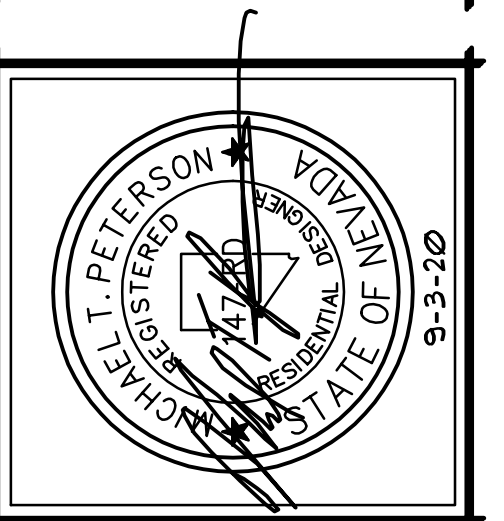
SHEET SCHEDULE

A-1	SITE PLAN
A-2	FLOOR PLAN
A-3	EXTERIOR ELEVATIONS & SECTION
A-4	ROOF PLAN & ELECTRICAL PLAN
M-1	MECHANICAL PLAN
S-1	FOUNDATION PLAN
S-2	SHEARWALL & HOLDOWN SCHEDULE
S-3	ROOF FRAMING PLAN
SD-1	STRUCTURAL NOTES & SCHEDULES
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS
SD-4	STRUCTURAL DETAILS

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3710 Grant Dr. Suite C
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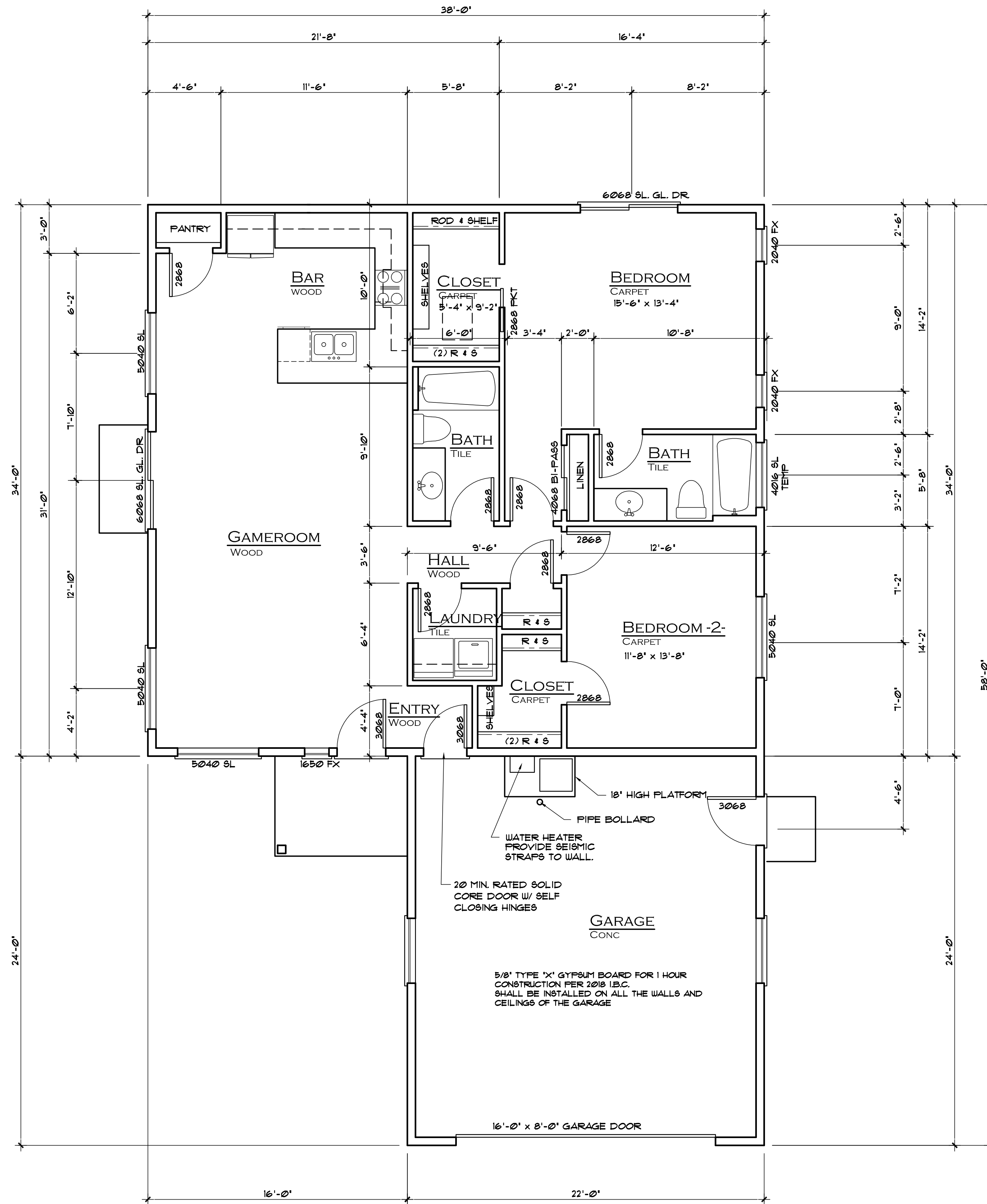
Revisions	Mark	Date	Description
Drawn By	M.T.P.	Date	September 3, 2020
Checked By	M.T.P.	Project No.	2029

Sheet Title
SITE PLAN

Sheet Number
A-1

Final Submittal





- TYPICAL NOTES:**
- ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION W/ PAPER
 - NON LOAD BEARING INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. TYP. UNO.
 - BATHROOM WALLS SHALL RECEIVE FIBERGLASS BATT SOUND INSULATION (TYP.)
 - ALL CEILING SHALL BE 10'-0" TYP. UNO.
 - PROVIDE R-2 INSULATION ON ALL HOT WATER PIPES IN CRAWL SPACE.
 - SEE HEAT LOSS CALCULATIONS PER RESCHECK COMPLIANCE FOR MIN. WINDOW AND DOOR PERFORMANCE SPECIFICATIONS, AND FOR MECH. REQUIREMENTS.
 - AIR LEAKAGE AND SEALING MUST BE TESTED AND MEET OR BE LESS THAN 5 AIR EXCHANGES PER HOUR IN ACCORDANCE WITH THE ADOPTED NORTHERN NEVADA AMENDMENTS TO THE 2018 IECC.
 - ATTIC ACCESS DOOR OR COVER TO BE INSULATED TO THE SAME LEVEL AS THE ATTIC INSULATION. PROVIDE WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER PER 2018 IECC SECTION 402.2.3
 - CRAWL SPACE ACCESS DOOR OR COVER TO BE INSULATED WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER PER 2018 IECC SECTION 402.2.3
 - SUPPLY DUCTS IN THE ATTIC TO BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS TO BE INSULATED TO A MIN. OF R-6.
 - WALL AREAS IN TUBS AND SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 307.2 OR OTHER NON PERMIABLE MATERIALS TO THE HEIGHT OF 12' ABOVE THE TUB OR SHOWER FINISH FLOOR.
 - MECHANICAL SYSTEM SHALL PROVIDE FOR CONDITIONED MAKEUP AIR INTAKE WHEN KITCHEN HOOD IS TURNED ON.

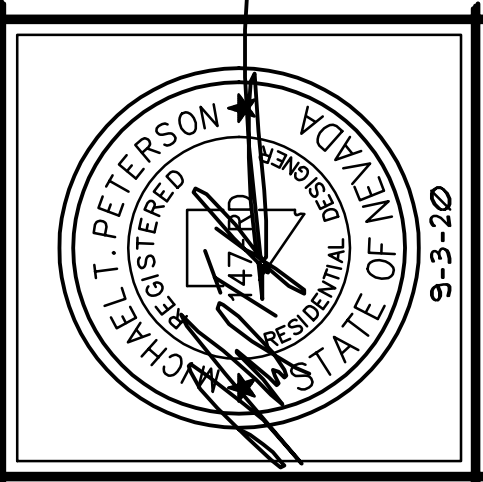
- ENERGY NOTES:**
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND LOCATED IN AN APPROVED LOCATION THE LISTS THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN THE CEILING / ROOF, WALLS, FOUNDATION AND DUCTS OUTSIDE CONDITIONED SPACES, AND U-FACTORS FOR FENESTRATION.
 - THE ATTIC ACCESS DOOR FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES (ATTIC) SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
 - THE AIR BARRIER SHALL BE VERIFIED BY A BLOWER DOOR TEST PER IECC R402.4.11

- PLUMBING NOTES:**
- HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERE OR PRESSURE TYPE VACUUM BREAKER.
 - THE WATER HAMMER ARRESTOR ARE REQUIRED AT THE QUICK-CLOSING VALVES, IE, DISHWASHER & CLOTHES WASHER.
 - THE REQUIRED TEMPERATURE LIMITING DEVICE FOR BATHTUBS AND SHOWERS SHALL BE SET AT 120°F.
 - BACKWATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
 - JETTED TUBS SHALL HAVE A 12" x 12" ACCESS OPENING. IF THE PUMP IS LOCATED WITHIN 2' FROM THE ACCESS OPENING THE OPENING SHALL BE 18" x 18"
 - HOT WATER PIPING SHALL BE INSULATED WITH R-3 MIN.
 - PROVIDE A WATER PRESURE REGULATOR IN ACCORDANCE WITH 2018 UPC WHEN CITY WATER SUPPLY EXCEEDS 80 PSI.
 - PROVIDE A WATER HEATER PAN AND DRAIN.
 - PROVIDE A 2-WAY CLEANOUT IN THE BUILDING DRAIN WITHIN 36' OF THE BUILDING FOUNDATION PERIMETER.

CRAWL SPACE VENT CALCULATION	
PROVIDE 1 SQ. FT. OF VENTILATION PER 1500 SQ. FT. OF CRAWL SPACE. PROVIDED THAT A 6 MIL. VISQUEEN VAPOR BARRIER IS INSTALLED IN THE CRAWL SPACE. VISQUEEN SHALL BE SECURED TO THE FOOTINGS AND JOINTS SHALL BE FASTENED TOGETHER	
VENTILATION REQUIRED	
1396 SQ. FT. / 1500 = .93 SQ. FT. = 134 SQ. IN.	
PROVIDE 1 WITHIN 3' OF EA. CORNER AND 1 EVERY 25' MIN.	
CV ► INDICATES LOCATION OF 4' x 14' CRAWL SPACE VENTS	

FLOOR PLAN
 SCALE: 1/4"=1'-0"
 LIVING AREA 1292 Sq. Ft. GARAGE AREA = 484 Sq. Ft.

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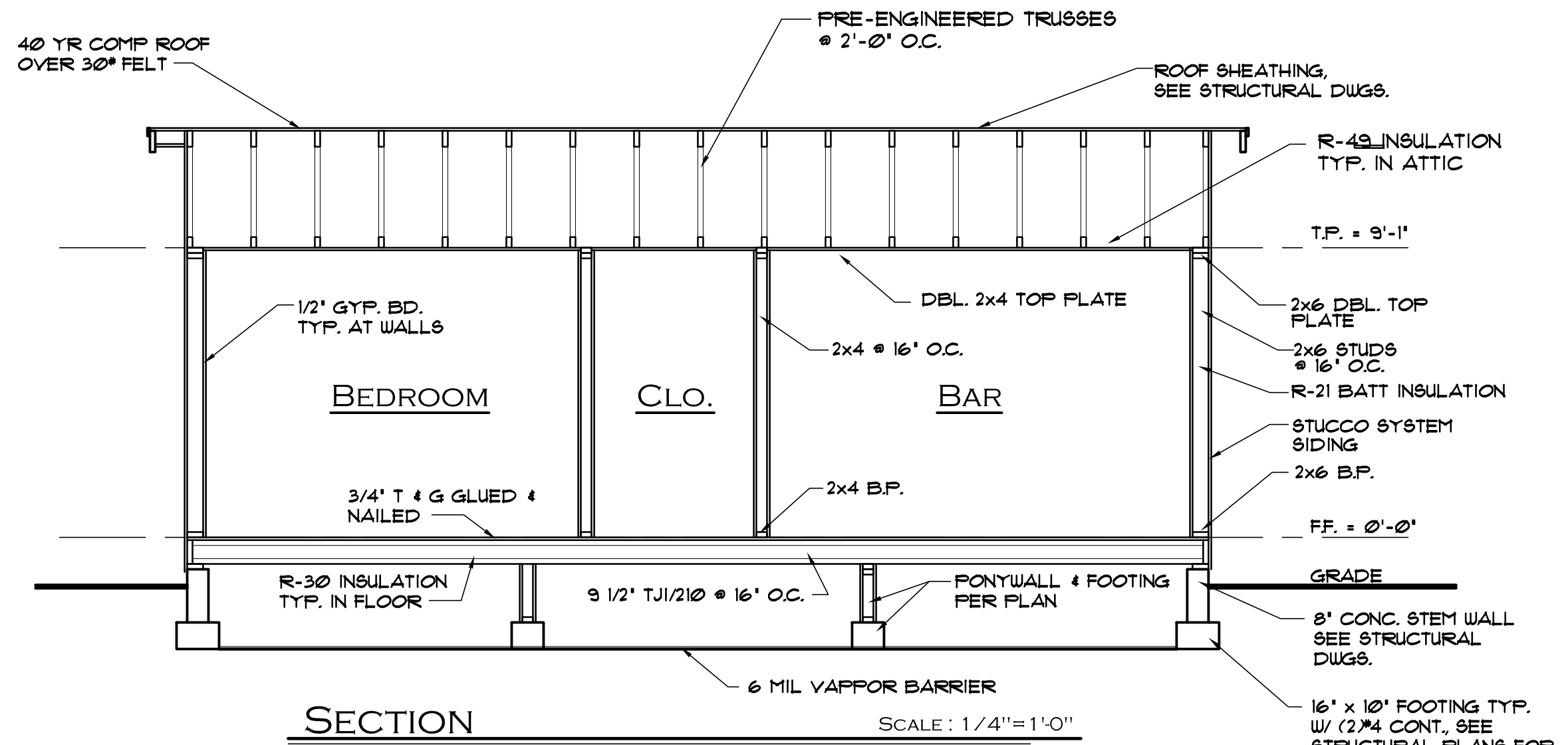


A New Detached Structure
 For
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 Reno, Nevada

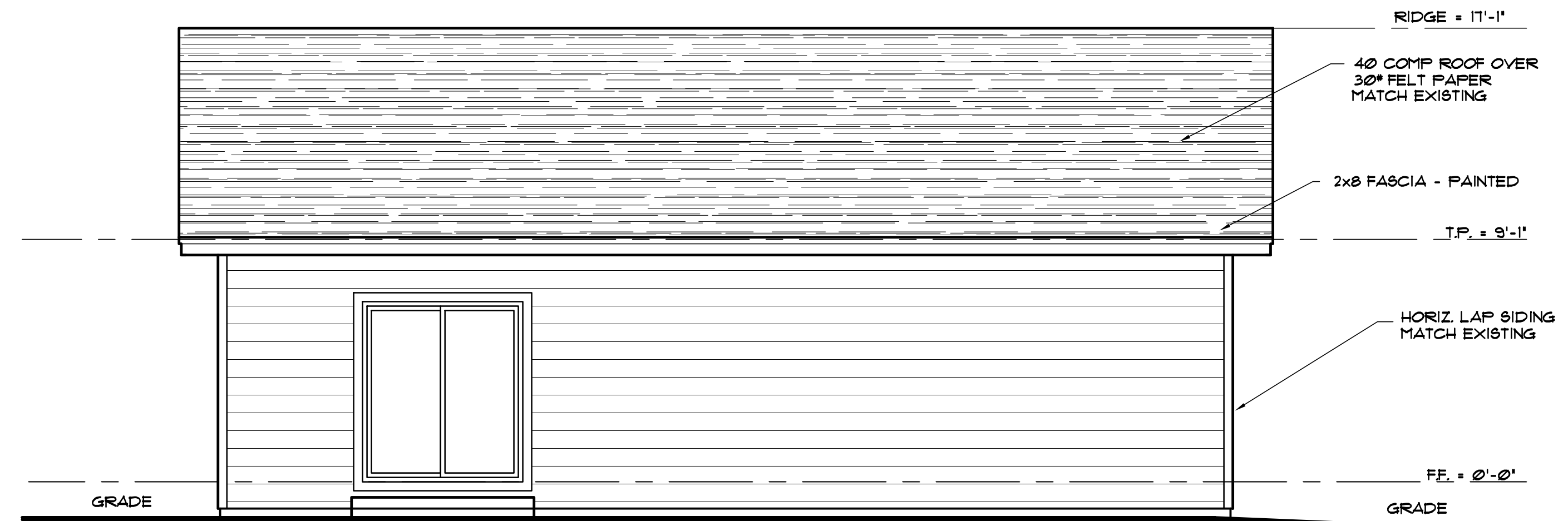
Revisions	Mark	Date	Description

Drawn By: M.T.P. Date: September 3, 2020
 Checked By: M.T.P. Project No.: 2029

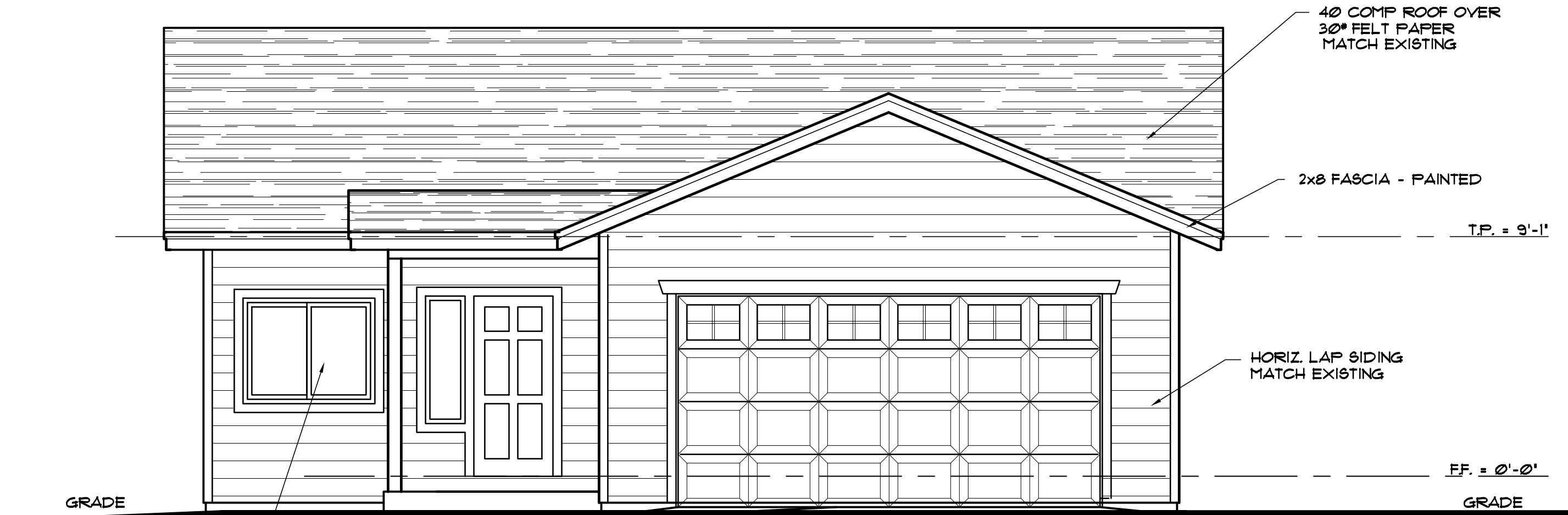
Sheet Title
FLOOR PLAN & SECTION
 Sheet Number
A-2
 Final Submittal



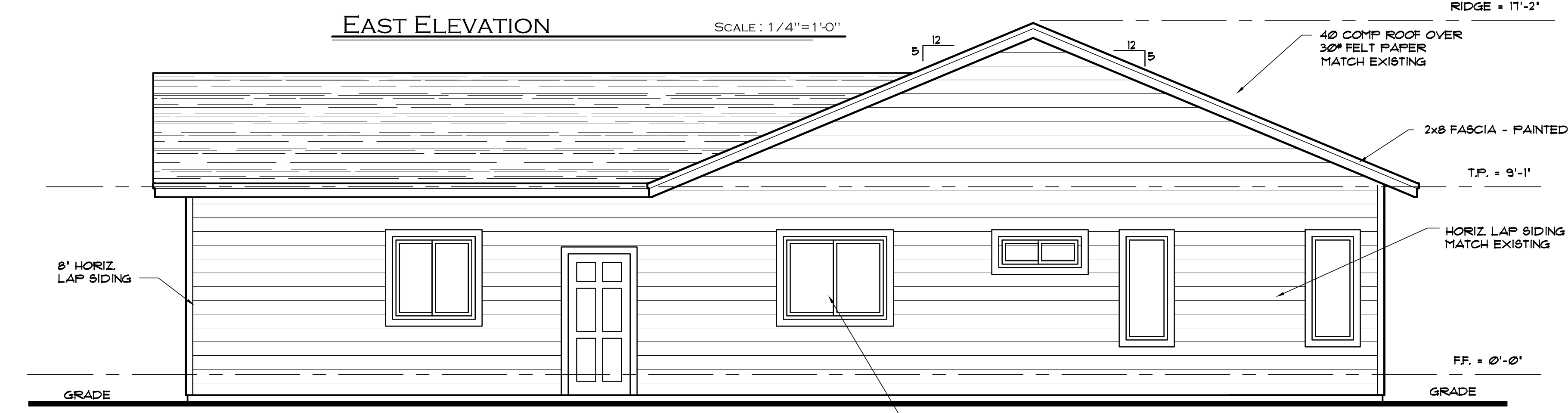
SECTION SCALE: 1/4"=1'-0"



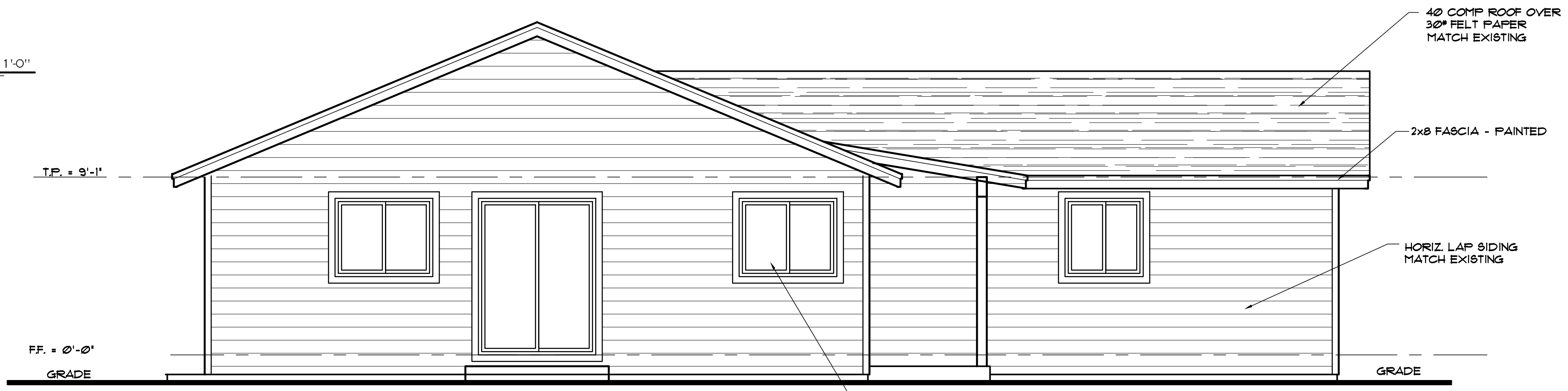
EAST ELEVATION SCALE: 1/4"=1'-0"



EAST ELEVATION SCALE: 1/4"=1'-0"



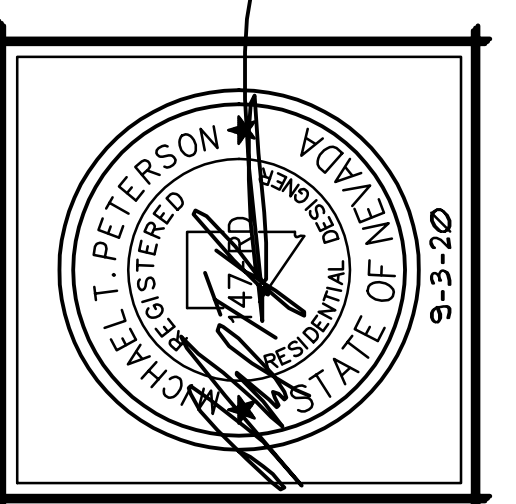
SOUTH ELEVATION SCALE: 1/4"=1'-0"



WEST ELEVATION SCALE: 1/4"=1'-0"

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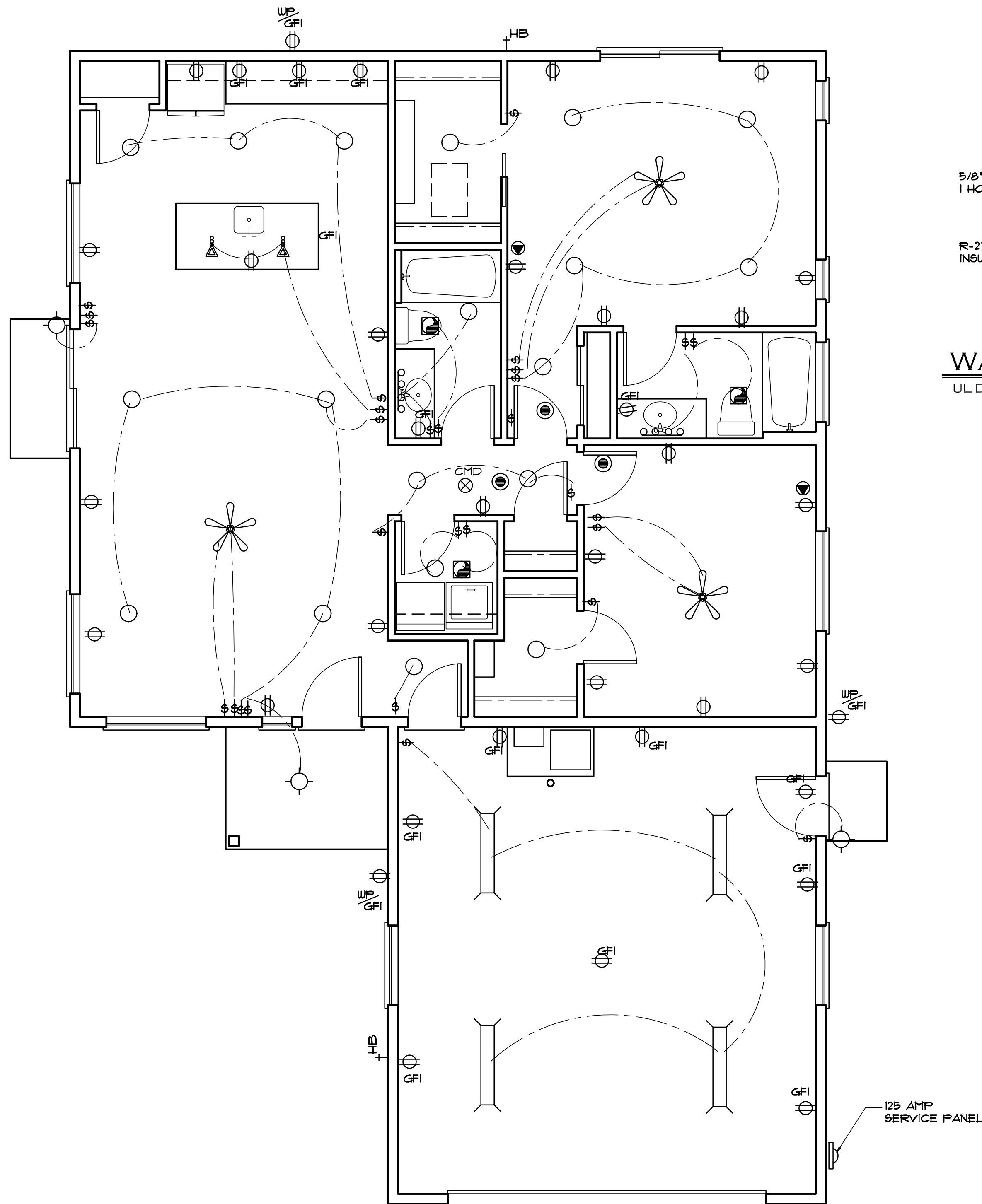
Revisions		
Mark	Date	Description

Drawn By M.T.P.	Date September 3, 2020
Checked By M.T.P.	Project No. 2029

Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A-3

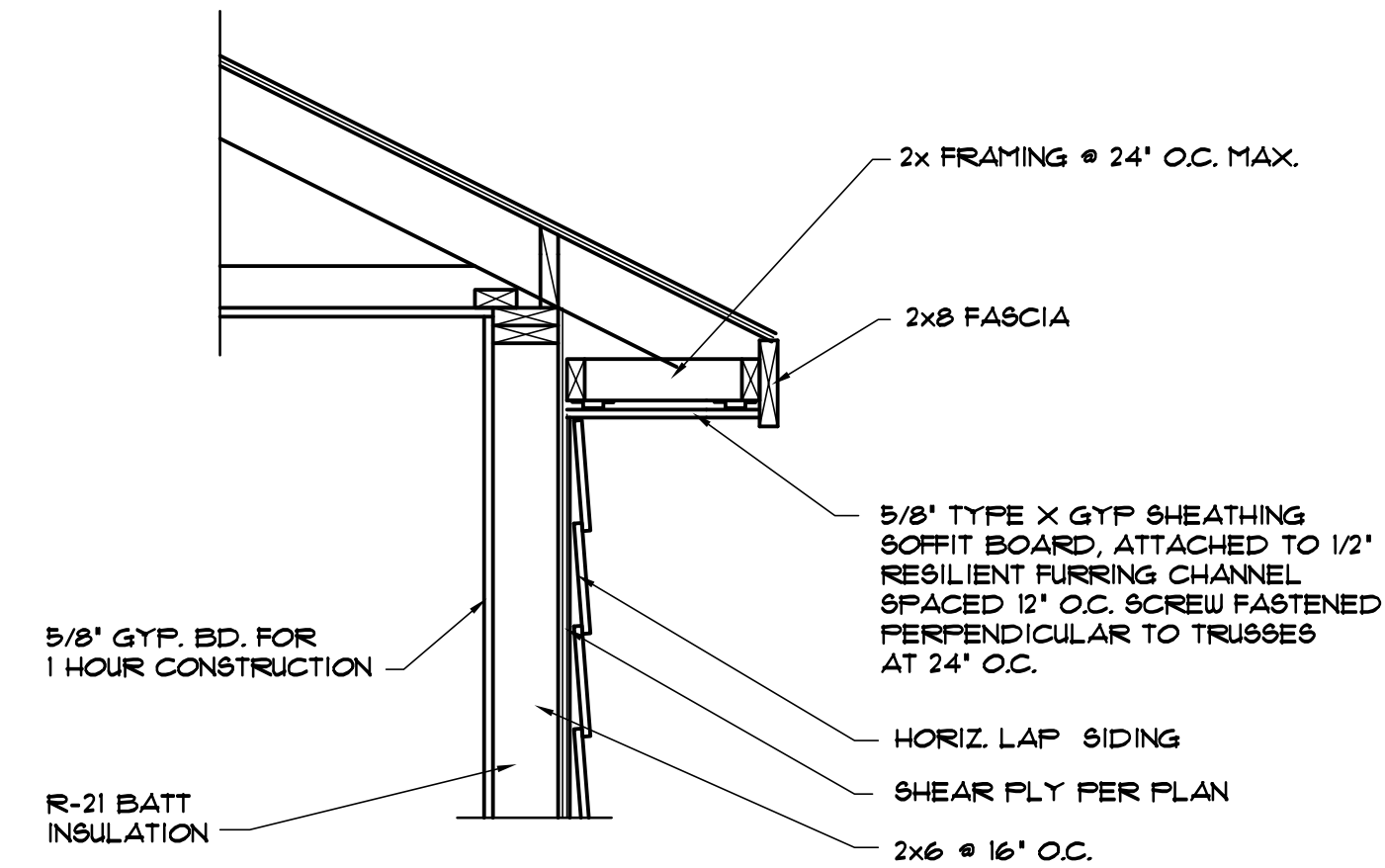
Final Submittal



ELECTRICAL PLAN SCALE: 1/4"=1'-0"

WALL AND EAVE DETAIL 3/4"=1'-0" 1

UL DESIGN NO. P533

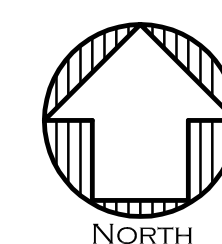
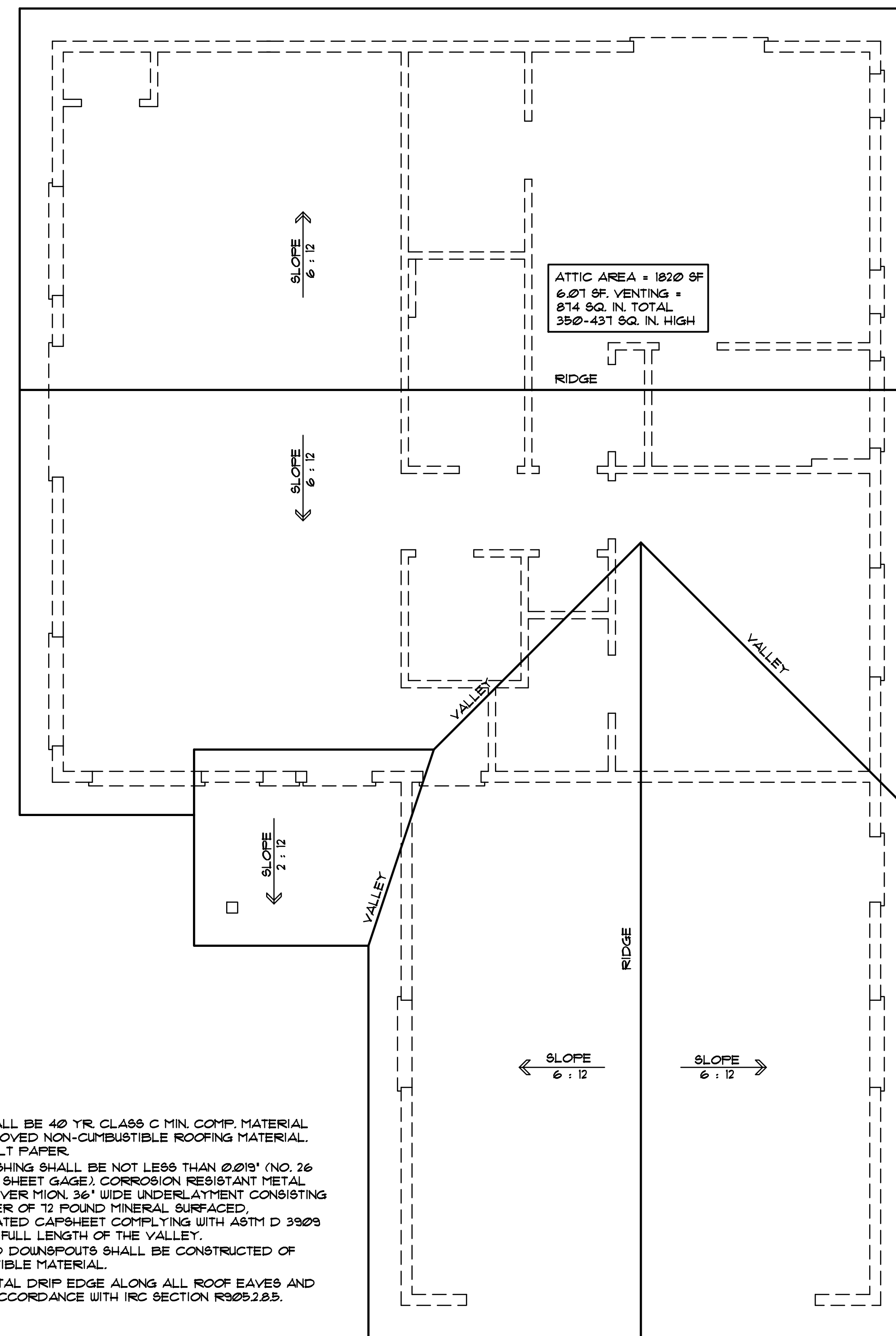


ELECTRICAL NOTES

- ALL SMOKE DETECTORS ARE TO BE LINKED TOGETHER PER 2018 IRC.
- ALL RECESSED LIGHT FIXTURES TO BE IC RATED AND ALSO MUST BE LABELED FOR MAXIMUM AIR LEAKAGE AND SEALED WITH A GASKET OR CAULK BETWEEN THE LIGHT FIXTURE AND THE INTERIOR WALL OR CEILING COVERING. 2018 IECC SECTION 402.4.5.
- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES TO BE HIGH EFFICIENCY LAMPS. 2018 IECC SECTION 404.1
- ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE 15 AND 20 AMPERE OUTLETS IN ALL ROOMS NOT PROTECTED BY GFI, SHALL BE PROTECTED BY A BRANCH/FEEDER TYPE ARC-FAULT CIRCUIT INTERCEPTOR INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE CIRCUIT. 2018 IRC 310.12
- ALL NEW RECEPTACLE TO BE TAMPER RESISTANT.
- GROUND (NEUTRAL) CONDUCTOR SHALL BE RUN TO ALL LIGHT SWITCH BOXES. PER 2018 IRC 400.15
- CEILING OUTLET BOXES SHALL BE RATED FOR A MINIMUM OF 50 POUND LOAD CAPACITY. (2018 MIRC 310.5.6.2)
- CARBON MONOXIDE DETECTORS SHALL BE LOCATED OUTSIDE OF EACH SLEEPING AREA.
- A DEDICATED 20-AMP BRANCH CIRCUIT FOR THE LAUNDRY RECEPTACLE OUTLETS.
- A DEDICATED 20-AMP BRANCH CIRCUIT FOR THE BATHROOM RECEPTACLE OUTLET IS REQUIRED. THE CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLE, LIGHTS, FANS, ETC.

SYMBOL LEGEND

⊕ 110-115 V OUTLET	⊕ 1/2 HOT (SWITCHED) 110-115 V OUTLET
⊕ W/ WEATHER PROOF 110-115 V GFI OUTLET	⊕ 240 V OUTLET
⊕ FOUR OUTLETS	● EYEBALL CAN LIGHT
⊕ JUNCTION BOX	○ RECESSED CAN LIGHT
⊕ FLUSH MOUNT CEILING LIGHT	⊕ WALL BRACKET LIGHT
⊕ HANGING LIGHT	⊕ MINI CAN
⊕ FLUORESCENT LIGHT	⊕ VANITY LIGHT
⊕ WALL SCOUT	⊕ CEILING TRACK LIGHT
⊕ CEILING FAN W/ LIGHTS	⊕ MOTION LIGHT
⊕ RECESSED LIGHT-FAN	⊕ RECESSED EXHAUST FAN
⊕ SMOKE DETECTOR	⊕ CARBON MONOXIDE DETECTOR
⊕ TELEPHONE	⊕ T.V.
⊕ CHIMES	⊕ THERMOSTAT
⊕ DOOR BELL	⊕ 3-WAY SWITCH
⊕ DOUBLE POLE SWITCH	⊕ 4-WAY SWITCH
⊕ HOSE BIB	⊕ SERVICE PANEL
⊕ FUEL GAS	⊕ LOG LIGHTER KEY
⊕ SPEAKER	⊕ UNDER CABINET LIGHTING
⊕ MINI CAN	⊕ FLOOR BOX
⊕ HANGING HALOGEN	

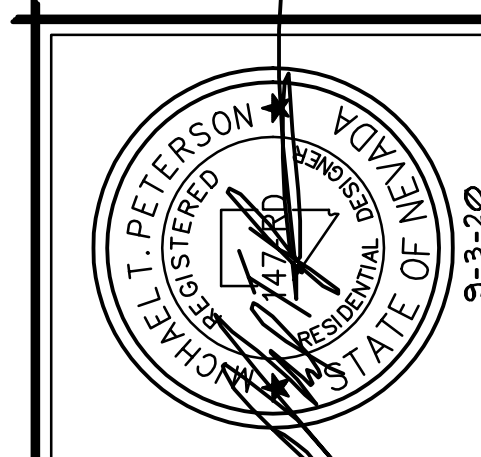


ROOF PLAN

SCALE: 1/4"=1'-0"

ATTIC VENT CALCULATION
 PROVIDE 1 SQ. FT. OF VENTILATION PER 300 SQ. FT. OF ATTIC SPACE.
 HIGH VENTING IS VENTS IN THE UPPER 1/3 OF THE ATTIC SPACE
 AT LEAST 40% AND NOT MORE THAN 50% OF VENTS MAY BE HIGH

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A New Detached Structure
 For
 Gary & Christine Harkness
 9329 Arrowhead Way
 Reno, Nevada

Revisions	Mark	Date	Description

Drawn By M.T.P.	Date September 3, 2020
Checked By M.T.P.	Project No. 2029

Sheet Title
ROOF & ELECTRICAL PLAN
 Sheet Number
A-4

Final Submittal