

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Administrative Review Permit for Detached Accessory Dwelling

Washoe County Code (WCC) Chapter 110, Section 110.306.25, Detached Accessory Dwelling Administrative Review, application is required to establish a detached accessory dwelling unit, with specific requirements for the regulatory zone where the dwelling unit will be located. The Director of the Planning and Building Division, or their designee, shall review the application request for compliance with the Development Code taking into consideration any testimony offered by affected property owners and the applicant. The Director, or their designee, may approve, approve with conditions, modify, modify with conditions, or deny the request. See WCC 110.306.25, for further information.

Development Application Submittal Requirements

1. **Fees:** See Master Fee Schedule. **Make check payable to Washoe County.**
2. **Development Application:** A completed Washoe County Development Application form and all supplemental questions.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Administrative Review Permit for Detached Accessory Dwelling Application materials.
6. **Site Plan Specifications:**
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with topography expressed in intervals of no more than five (5) feet IF there is a difference in elevation of the two dwellings of five (5) feet or more
 - c. Show the all required yard setbacks, location and configuration of wells and well house, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Date, north arrow, scale and number of each sheet in relation to the total number of sheets, and the name of person preparing the plans.
7. **Building Elevations:** Elevations of the main dwelling unit and the detached accessory dwelling, existing or proposed for construction, shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented. Photographs of existing buildings (all sides) may be submitted in place of elevations of existing building.
8. **Floor Plans:** Floor plans to scale with all rooms and spaces labeled for both the main dwelling unit and the detached accessory dwelling.
9. **Packets:** Three (3) paper packets and flash drive or DVD – any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these

reproductions should be no smaller than 8 point on the 8½ x 11" display. Large format sheets should be included in a slide pocket(s).

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- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
 - (ii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
 - (ii) **Labels:** If there is a mobile home park within five hundred (500) feet of the proposed project, the applicant is required to submit three (3) sets of mailing labels for every tenant residing in the mobile home park.
 - (iv) Please be advised that the Washoe County Director of the Planning and Building Division or their designee has the ability to determine if the application is incomplete, if it cannot be ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Margarita Stanfield			
Project Description: New Detached Dwelling			
Project Address: 11135 Birch Street Reno, NV 89506			
Project Area (acres or square feet): 2.097 Acres			
Project Location (with point of reference to major cross streets AND area locator): 11135 Birch Street, Birch and Nector, Lemon Valley			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
080-261-05	2.097		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Margarita Stanfield		Name: Michael T. Peterson	
Address: 11010 Birch Street		Address: 3710 Grant Dr. Suite C	
Reno, NV	Zip: 89506	Reno, NV	Zip: 89509
Phone: 775-825-5248	Fax:	Phone: 775-240-4564	Fax:
Email: margiestanfield82@gmail.com		Email: mike@mtpeterson.com	
Cell: 775-825-5248	Other:	Cell: 775-240-4564	Other:
Contact Person: Margie Stanfield		Contact Person: Michael T Peterson	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: Dan Stanfield	
Address:		Address: Same	
	Zip:		Zip:
Phone:	Fax:	Phone: 775-232-0762	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Margarita Stanfield

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Margarita Stanfield
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 080-261-05

Printed Name Margarita Stanfield

Signed Margarita Stanfield

Address 11010 Birch St

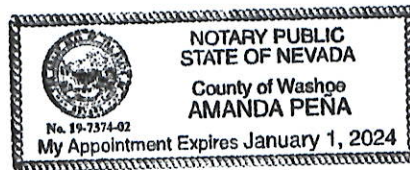
Reno, Nevada 89506

Subscribed and sworn to before me this 29th day of September, 2020.

Amanda Pena
Notary Public in and for said county and state

My commission expires: 01/01/2024

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2176 sq. ft.

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1,088

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

They look the same in all ways.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

4 + a 2 car garage

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

The lot is undeveloped, 2 new buildings.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	Septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Well	Well

Washoe County Treasurer
Tammi Davis

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Due Date	Amount
<hr/>				

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
08026105	Active	10/8/2020 1:40:09 AM

Current Owner:
STANFIELD, MARGARITA

SITUS:
11135 BIRCH ST

11010 BIRCH ST
RENO, NV 89506

Taxing District
4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$261.61	\$261.61	\$0.00	\$0.00	\$0.00
2019	\$249.03	\$249.03	\$0.00	\$0.00	\$0.00
2018	\$237.62	\$237.62	\$0.00	\$0.00	\$0.00
2017	\$228.04	\$228.04	\$0.00	\$0.00	\$0.00
2016	\$222.26	\$222.26	\$0.00	\$0.00	\$0.00
Total					\$0.00

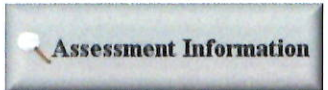
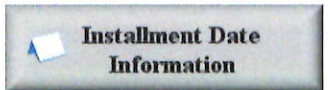
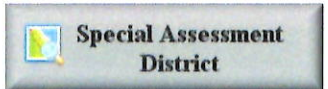
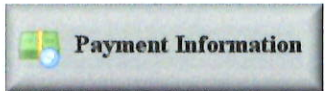
Disclaimer

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845



A New Residence for Margarita Stanfield

CONSULTANTS
RESIDENTIAL DESIGNER
 MICHAEL T. PETERSON
 3710 GRANT DRIVE SUITE C
 RENO, NEVADA 89509
 PHONE : (775) 856-1400
 CELL: (775) 240-4564
 MIKE@MTPETERSON.COM
ENGINEER
 K2 ENGINEERING
 860 MAESTRO DRIVE SUITE A
 RENO, NEVADA 89511
 PHONE : (775) 355-0505
 JARED@K2ENG.NET

OWNER INFORMATION
 MARGARITA STANFIELD
 11010 BIRCH STREET
 RENO, NEVADA 89506
 PHONE (775) 825-5248

DESIGN INFORMATION

RESIDENTIAL CODE	2018	I.R.C.
ELECTRICAL CODE	2018	I.R.C.
PLUMBING CODE	2018	I.R.C.
MECHANICAL CODE	2018	I.R.C.
ENERGY CONS. CODE	2018	IECC
STRUCTURAL DESIGN	2018	I.B.C.
WIND LOAD	VULT 130 MPH	EXP C
SEISMIC ZONE		D-2
ROOF LL		21 PSF SNOW
2018 IWUC FIRE ZONE		LOW

AND ANY APPLICABLE LOCAL ORDINANCES WHICH AFFECT THIS PROJECT

GENERAL NOTES

- ALL TRADE CONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS IN THE FIELD. ALL QUESTIONS AS TO DIMENSIONS AND FIELD CONDITIONS SHALL BE RESOLVED BEFORE THE AFFECTED WORK PROCEEDS.
- THE GENERAL BUILDING PERMIT AND PLAN CHECK FEE SHALL BE SECURED AND PAID FOR BY THE OWNER. ALL OTHER LICENSES AND FEES SHALL BE OBTAINED BY THE APPLICABLE TRADE CONTRACTOR FOR THE ASPECTS OF THE WORK RELATED TO THEIR TRADE.
- THE BUILDER SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY WATER SUPPLY, LIGHT / POWER, TOILET FACILITIES, AND A TRASH DUMPSTER OR TRAILER.
- ALL TRADES SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK, AND AT THE COMPLETION OF THEIR WORK REMOVE ALL RUBBISH FROM AND ABOUT THE JOB SITE, AND ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE JOB BROOM CLEAN, INCLUDING REMOVING ALL LABELS, STICKERS, PAINT SHEARS, ETC. FROM LIGHTING FIXTURES, PLUMBING FIXTURES, GLASS SURFACES, FINISH HARDWARE, CABINETS, COUNTER TOPS, ETC.
- NOTHING INDICATED ON THESE PLANS IS INTENDED TO CONFLICT WITH ANY APPLICABLE CODE OR ORDINANCE. IN THE EVENT OF A CONFLICT THE CONTRACTOR OR SUB CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

RESIDENCE INFORMATION

MAIN LIVING AREA	2176	Sq. Ft.
MAIN GARAGE AREA	936	Sq. Ft.
MAIN COVERED PORCH	422	Sq. Ft.
DETACHED LIVING AREA	1088	Sq. Ft.
DETACHED GARAGE AREA	676	Sq. Ft.
DETACHED COVERED PORCH	272	Sq. Ft.

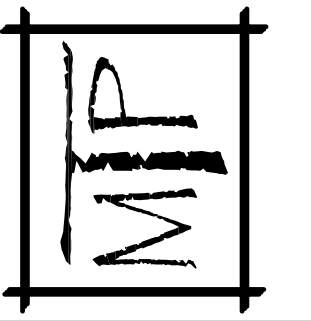
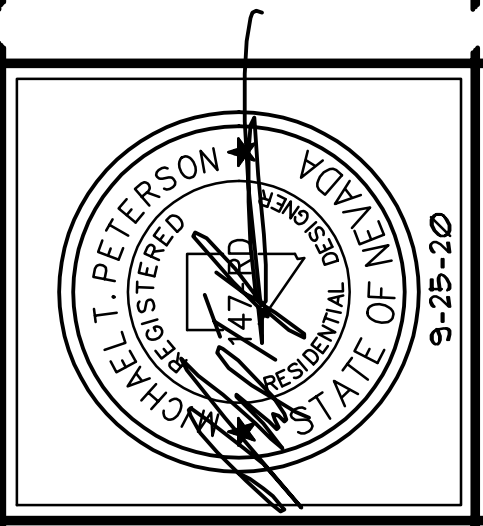
BUILDING INFORMATION

BUILDING OCCUPANCY GROUP : IRC/R-3
 TYPE OF CONSTRUCTION : VB
 A. P. N. : 080-261-05
 LOT SIZE : 2.097 ACRES
 LOT : 12 BLOCK :
 SUB DIVISION : HEPPNER SUBDIVISION 2

SHEET SCHEDULE

A-1	SITE PLAN
A-2	FLOOR PLAN AT MAIN
A-2A	FLOOR PLAN AT DETACHED STRUCTURE
A-3	EXTERIOR ELEVATIONS
A-3A	EXTERIOR ELEVATIONS
A-4	ROOF PLAN
A-4A	BUILDING SECTIONS
E-1	ELECTRICAL PLAN @ MAIN HOUSE
E-1A	ELECTRICAL PLAN @ DETACHED STRUCTURE
M-1	MECH. PLAN @ MAIN HOUSE
M-1A	MECH PLAN @ DETACHED STRUCTURE
S-1	FOUNDATION PLAN @ MAIN HOUSE
S-1A	FOUNDATION PLAN @ DETACHED STRUCTURE
S-2	SHEARWALL & HOLDOWN PLAN @ MAIN HOUSE
S-2A	SHEARWALL & HOLDOWNS AT DETACHED STRUCT.
S-3	ROOF FRAMING PLAN @ MAIN HOUSE
S-3A	ROOF FRAMING PLAN @ DETACHED STRUCTURE
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS
SD-4	STRUCTURAL DETAILS
SD-5	STRUCTURAL DETAILS

Michael T. Peterson
 Residential Designer
 www.mtpeterson.com
 mike@mtpeterson.com
 Phone: (775) 856-1400
 Cell: (775) 240-4564
 3710 Grant Dr. Suite C
 Reno, Nevada 89509

A New Residence For
Margarita Stanfield
 11135 Birch Street
 Washoe County, Nevada

Revisions

Mark	Date	Description

Drawn By: M.T.P. Date: September 25, 2020
 Checked By: M.T.P. Project No.: 2047

Sheet Title
SITE PLAN
 Sheet Number
A-1
 Final Submittal

- NOTES:**
- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARDSPECIFICATIONS AND DETAILS.
 - THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH CONDITIONS OF APPROVAL AND COUNTY CODE.
 - AN ENCROACHMENT / EXCAVATION AND/OR REVOCABLE OCCUPANCY PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS IN THE COUNTY RIGHT OF WAY.

- WUI NOTES**
- ACCESS DOES COMPLY WITH SECTION 402.2 AND 402.2.1
 - WATER SUPPLY DOES NOT CONFORM TO 402.2, EXCEPTION 1 WILL BE USED FOR NON-CONFORMING WATER SUPPLY. IR3 CONSTRUCTION (15' DEFENSIBLE SPACE.)
 - DEFENSIBLE SPACE SHALL BE 30' FROM HOUSE AND SHALL BE CLEARED OF ALL BRUSH AND MAINTAINED. TREES ARE ALLOWED IN THE DEFENSIBLE SPACE PROVIDED THE HORIZ. DISTANCE BETWEEN THE CROWNS OF ADJACENT TREES AND CROWNS OR TREES AND STRUCTURES, OVERHEAD ELECTRICAL FACILITIES AND UNMODIFIED FUEL IS NOT LESS THAN 10'-0"

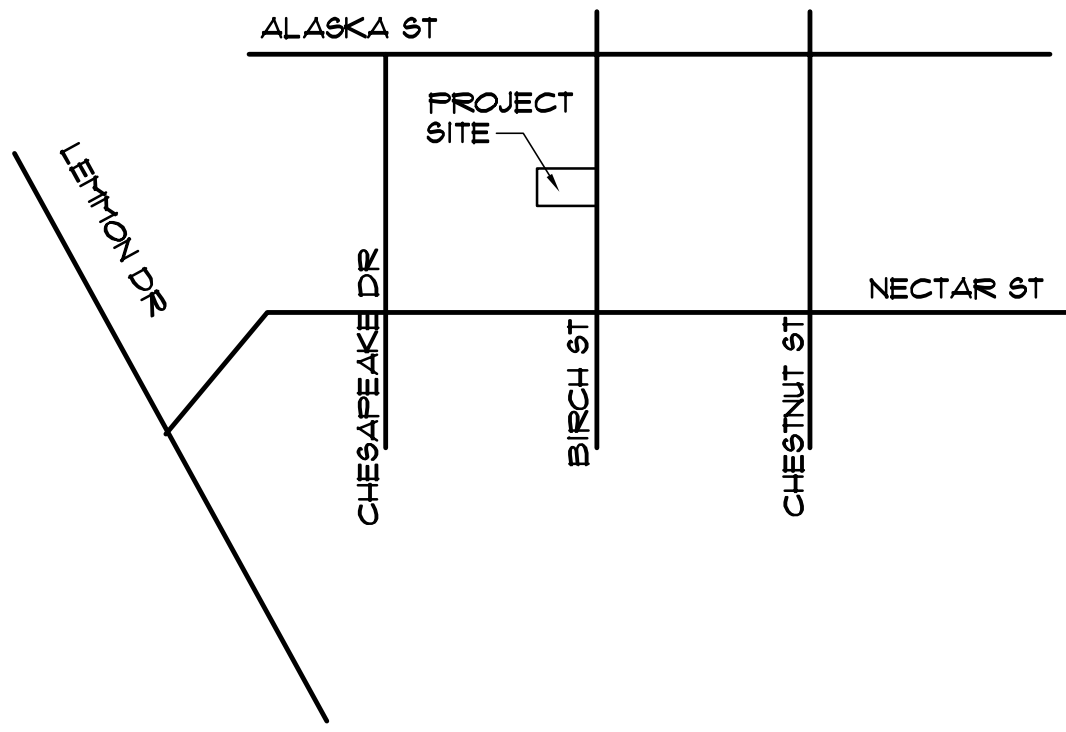
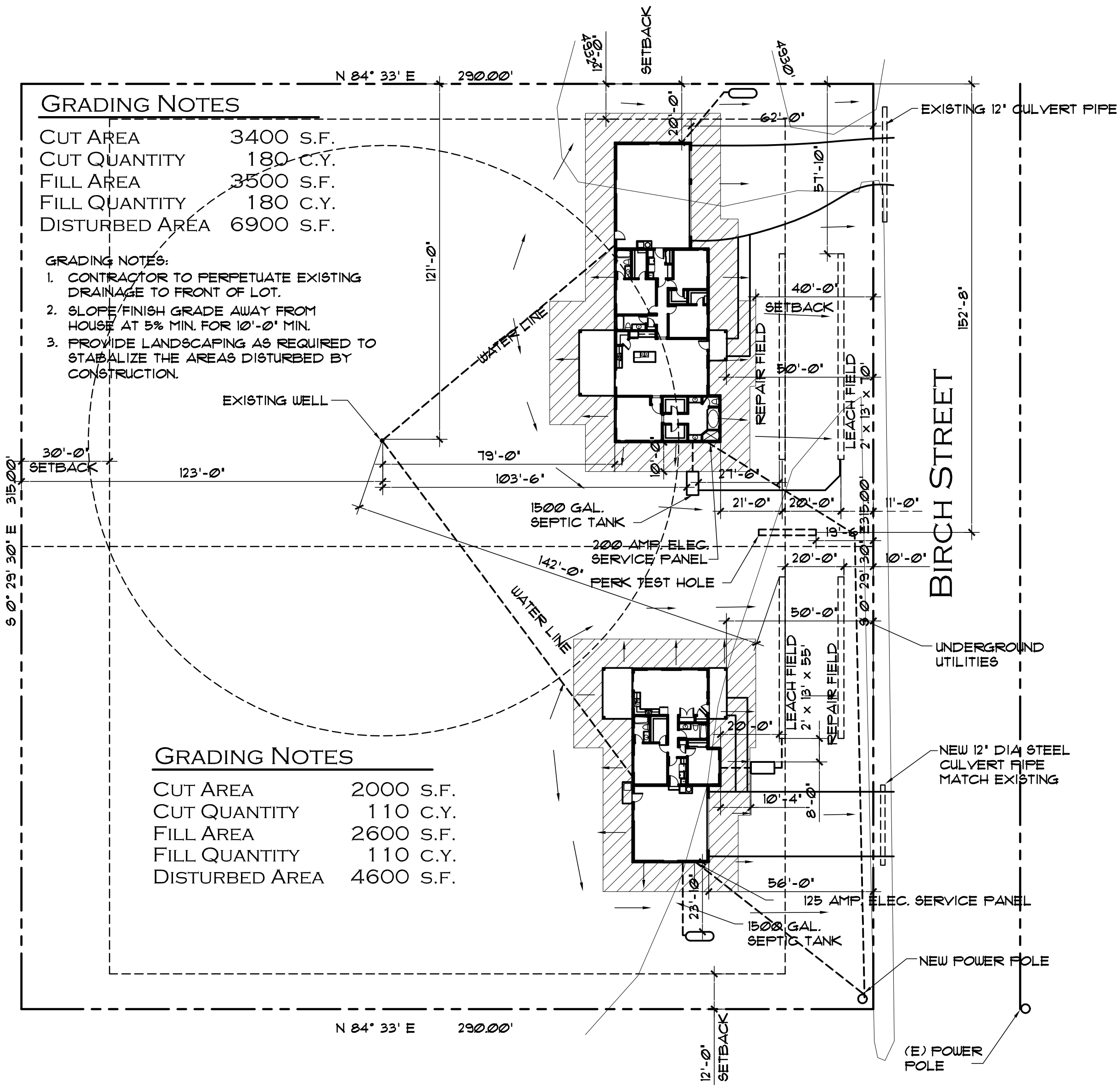
GRADING NOTES

CUT AREA	3400	S.F.
CUT QUANTITY	180	C.Y.
FILL AREA	3500	S.F.
FILL QUANTITY	180	C.Y.
DISTURBED AREA	6900	S.F.

- GRADING NOTES:**
- CONTRACTOR TO PERPETUATE EXISTING DRAINAGE TO FRONT OF LOT.
 - SLOPE/FINISH GRADE AWAY FROM HOUSE AT 5% MIN. FOR 10'-0" MIN.
 - PROVIDE LANDSCAPING AS REQUIRED TO STABILIZE THE AREAS DISTURBED BY CONSTRUCTION.

GRADING NOTES

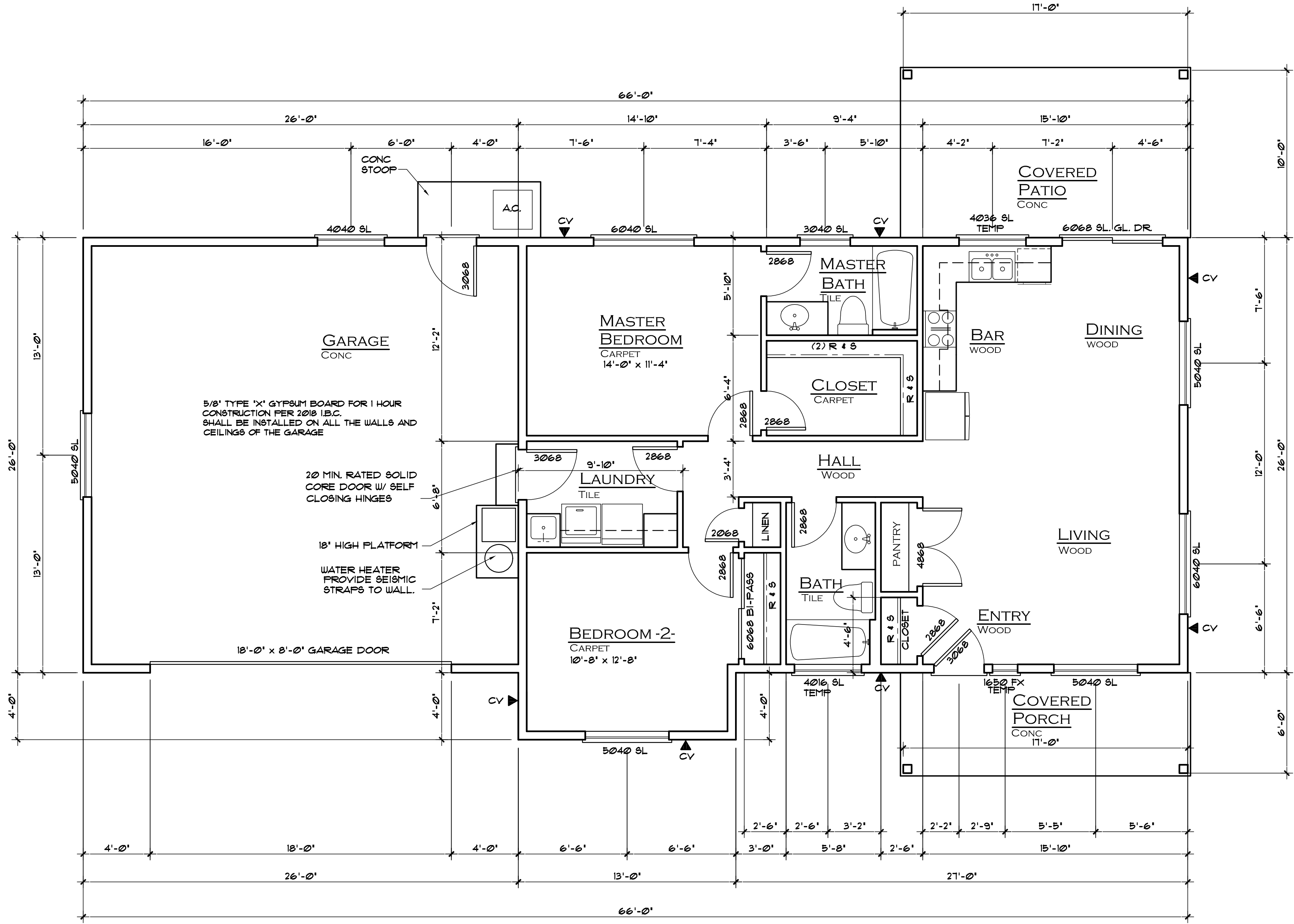
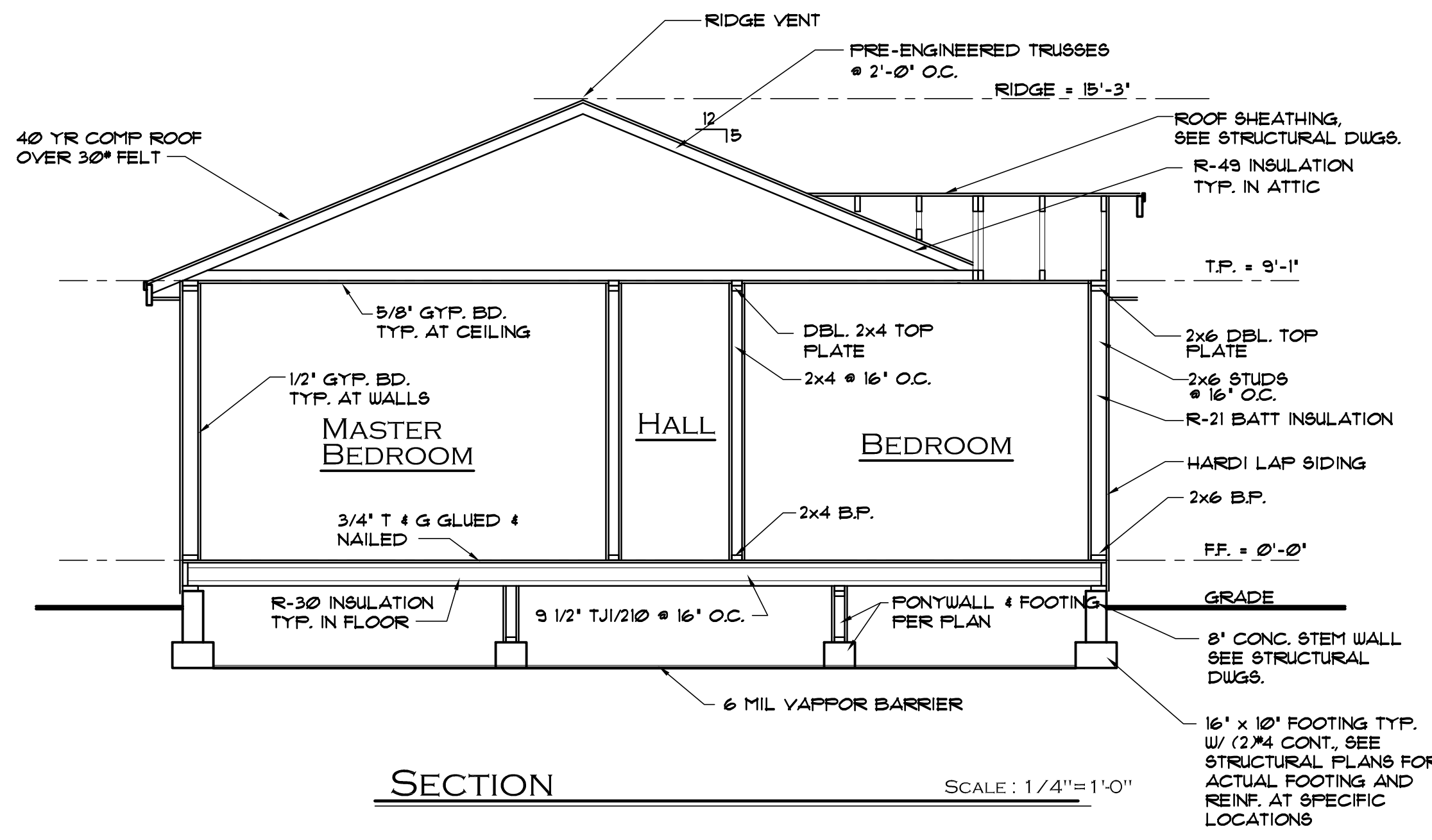
CUT AREA	2000	S.F.
CUT QUANTITY	110	C.Y.
FILL AREA	2600	S.F.
FILL QUANTITY	110	C.Y.
DISTURBED AREA	4600	S.F.



VICINITY MAP N.T.S.

SITE PLAN
 080-261-05
 11135 BIRCH STREET

1"=30'-0"



FLOOR PLAN
 SCALE: 1/4"=1'-0"
 LIVING AREA 1088 Sq. Ft.
 COVERED PORCH 272 Sq. Ft.
 GARAGE AREA = 676 Sq. Ft.

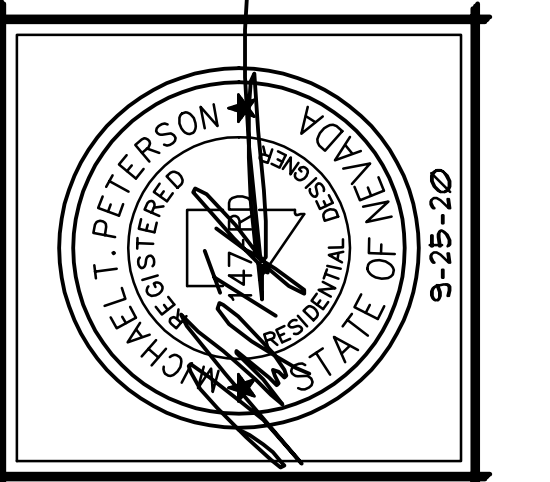
- TYPICAL NOTES:**
1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION W/ PAPER
 2. NON LOAD BEARING INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. TYP. UNO.
 3. BATHROOM WALLS SHALL RECEIVE FIBERGLASS BATT SOUND INSULATION (TYP.)
 4. ALL CEILING SHALL BE 10'-0" TYP. UNO.
 5. PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN CRAWL SPACE.
 6. SEE HEAT LOSS CALCULATIONS PER RESCHECK COMPLIANCE FOR MIN. WINDOW AND DOOR PERFORMANCE SPECIFICATIONS, AND FOR MECH. REQUIREMENTS.
 7. AIR LEAKAGE AND SEALING MUST BE TESTED AND MEET OR BE LESS THAN 5 AIR EXCHANGES PER HOUR IN ACCORDANCE WITH THE ADOPTED NORTHERN NEVADA AMENDMENTS TO THE 2018 IECC.
 8. ATTIC ACCESS DOOR OR COVER TO BE INSULATED TO THE SAME LEVEL AS THE ATTIC INSULATION. PROVIDE WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER PER 2018 IECC SECTION 402.2.3
 9. CRAWL SPACE ACCESS DOOR OR COVER TO BE INSULATED WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER PER 2018 IECC SECTION 402.2.3
 10. SUPPLY DUCTS IN THE ATTIC TO BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS TO BE INSULATED TO A MIN. OF R-6.
 11. WALL AREAS IN TUBS AND SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 3012 OR OTHER NON PERMIABLE MATERIALS TO THE HEIGHT OF 12" ABOVE THE TUB OR SHOWER FINISH FLOOR.
 12. MECHANICAL SYSTEM SHALL PROVIDE FOR CONDITIONED MAKEUP AIR INTAKE WHEN KITCHEN HOOD IS TURNED ON.

- ENERGY NOTES:**
1. A PERMANENT CERTIFICATE SHALL BE COMPLETED AND LOCATED IN AN APPROVED LOCATION THE LISTS THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN THE CEILING / ROOF, WALLS, FOUNDATION AND DUCTS OUTSIDE CONDITIONED SPACES, AND U-FACTORS FOR FENESTRATION.
 2. THE ATTIC ACCESS DOOR FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES (ATTIC) SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
 3. THE AIR BARRIER SHALL BE VERIFIED BY A BLOWER DOOR TEST PER IECC R402.4.11

- PLUMBING NOTES:**
1. HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERE OR PRESSURE TYPE VACUUM BREAKER.
 2. THE WATER HAMMER ARRESTOR ARE REQUIRED AT THE QUICK-CLOSING VALVES, IE, DISHWASHER & CLOTHES WASHER.
 3. THE REQUIRED TEMPERATURE LIMITING DEVICE FOR BATHTUBS AND SHOWERS SHALL BE SET AT 120°F.
 4. BACKWATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
 5. JETTED TUBS SHALL HAVE A 12" x 12" ACCESS OPENING. IF THE PUMP IS LOCATED WITHIN 2' FROM THE ACCESS OPENING THE OPENING SHALL BE 18" x 18"
 6. HOT WATER PIPING SHALL BE INSULATED WITH R-3 MIN.
 7. PROVIDE A WATER PRESURE REGULATOR IN ACCORDANCE WITH 2018 UPC WHEN CITY WATER SUPPLY EXCEEDS 80 PSI.
 8. PROVIDE A WATER HEATER PAN AND DRAIN.
 9. PROVIDE A 2-WAY CLEANOUT IN THE BUILDING DRAIN WITHIN 36" OF THE BUILDING FOUNDATION PERIMETER.

CRAWL SPACE VENT CALCULATION
 PROVIDE 1 SQ. FT. OF VENTILATION PER 1500 SQ. FT. OF CRAWL SPACE. PROVIDED THAT A 6 MIL. VISQUEEN VAPOR BARRIER IS INSTALLED IN THE CRAWL SPACE. VISQUEEN SHALL BE SECURED TO THE FOOTINGS AND JOINTS SHALL BE FASTENED TOGETHERED
 VENTILATION REQUIRED
 1088 SQ. FT. / 1500 = .73 SQ. FT. = 106 SQ. IN.
 PROVIDE 1 WITHIN 3' OF EA. CORNER AND 1 EVERY 25' MIN.
 CV ► INDICATES LOCATION OF 4' x 14' CRAWL SPACE VENTS

Michael T. Peterson
 Residential Designer
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 mike@mtpeterson.com
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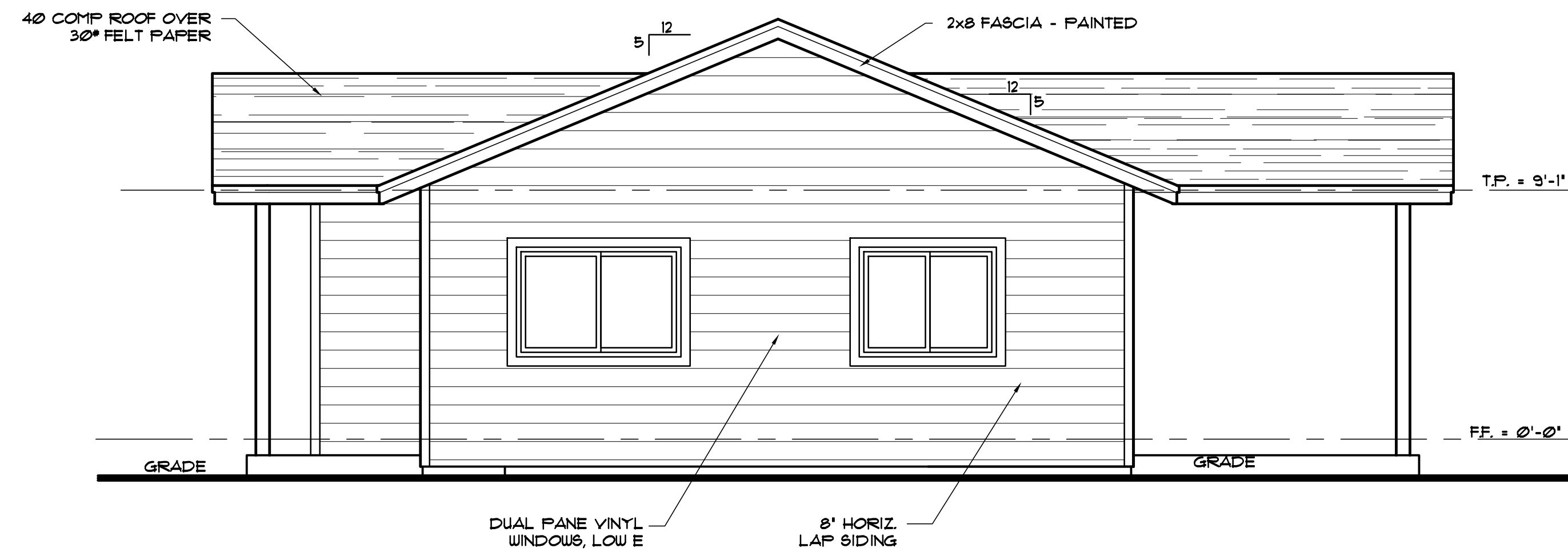


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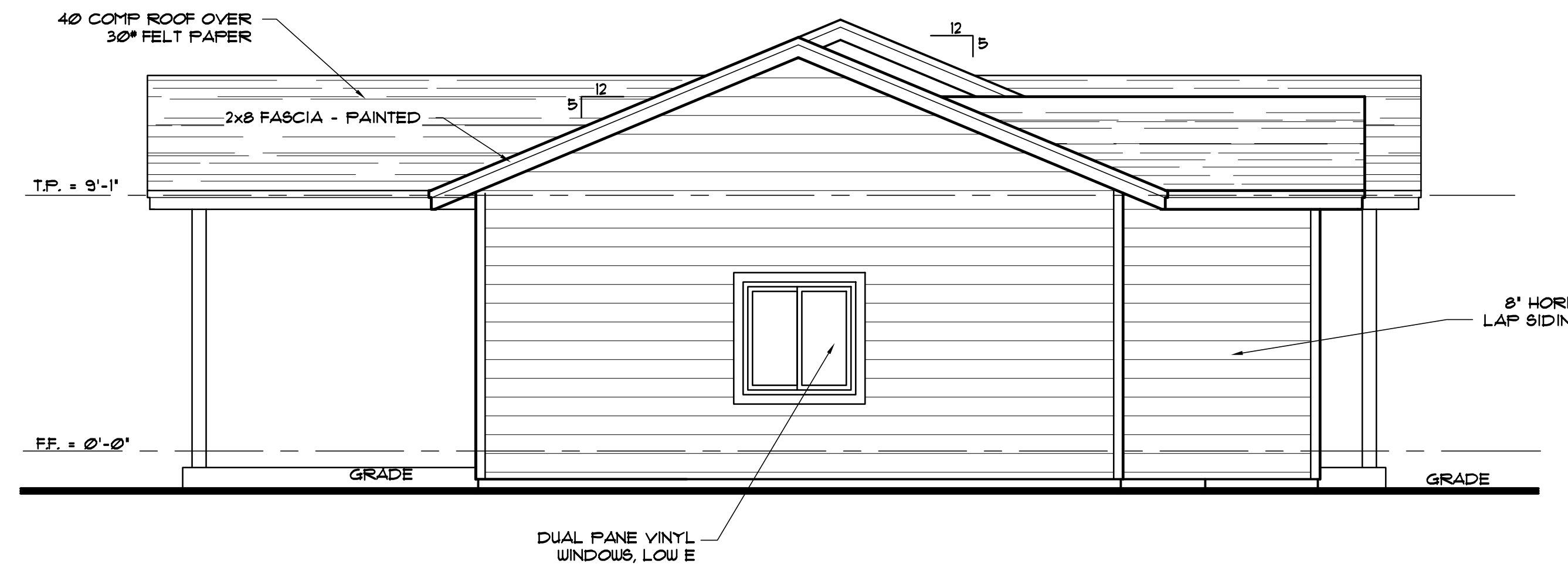
Revisions	Mark	Date	Description

Drawn By M.T.P.	Date September 25, 2020
Checked By M.T.P.	Project No. 2047

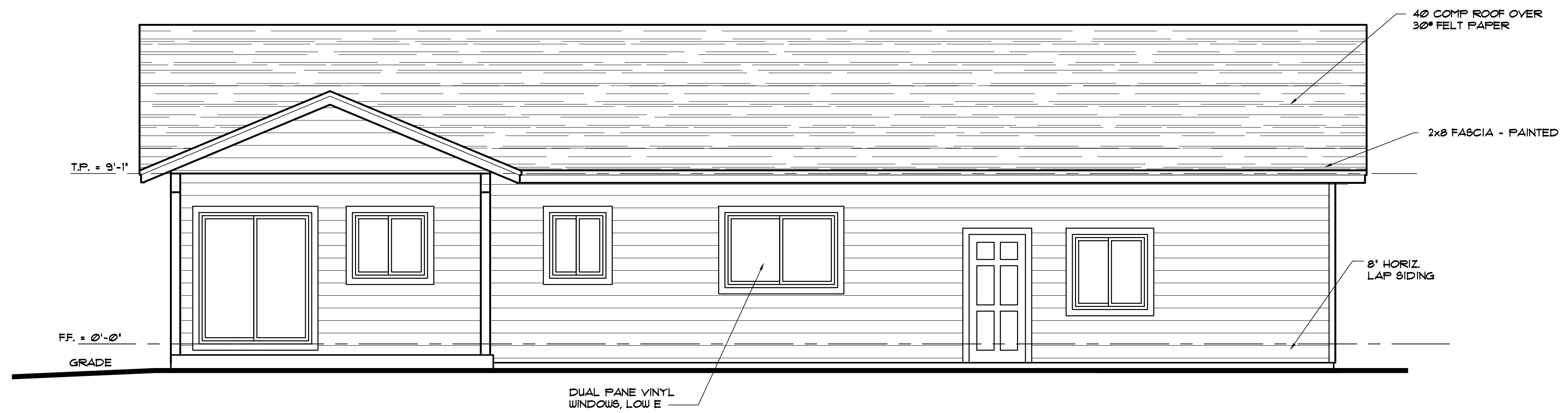
Sheet Title
FLOOR PLAN & SECTION
 Sheet Number
A-2A
 Final Submittal



NORTH ELEVATION SCALE: 1/4"=1'-0"



SOUTH ELEVATION SCALE: 1/4"=1'-0"

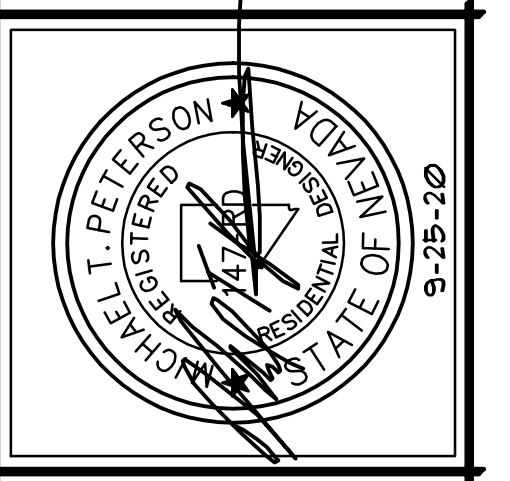


WEST ELEVATION SCALE: 1/4"=1'-0"



EAST ELEVATION SCALE: 1/4"=1'-0"

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A New Residence
For
Margarita Stanfield
11135 Birch Street
Washoe County, Nevada

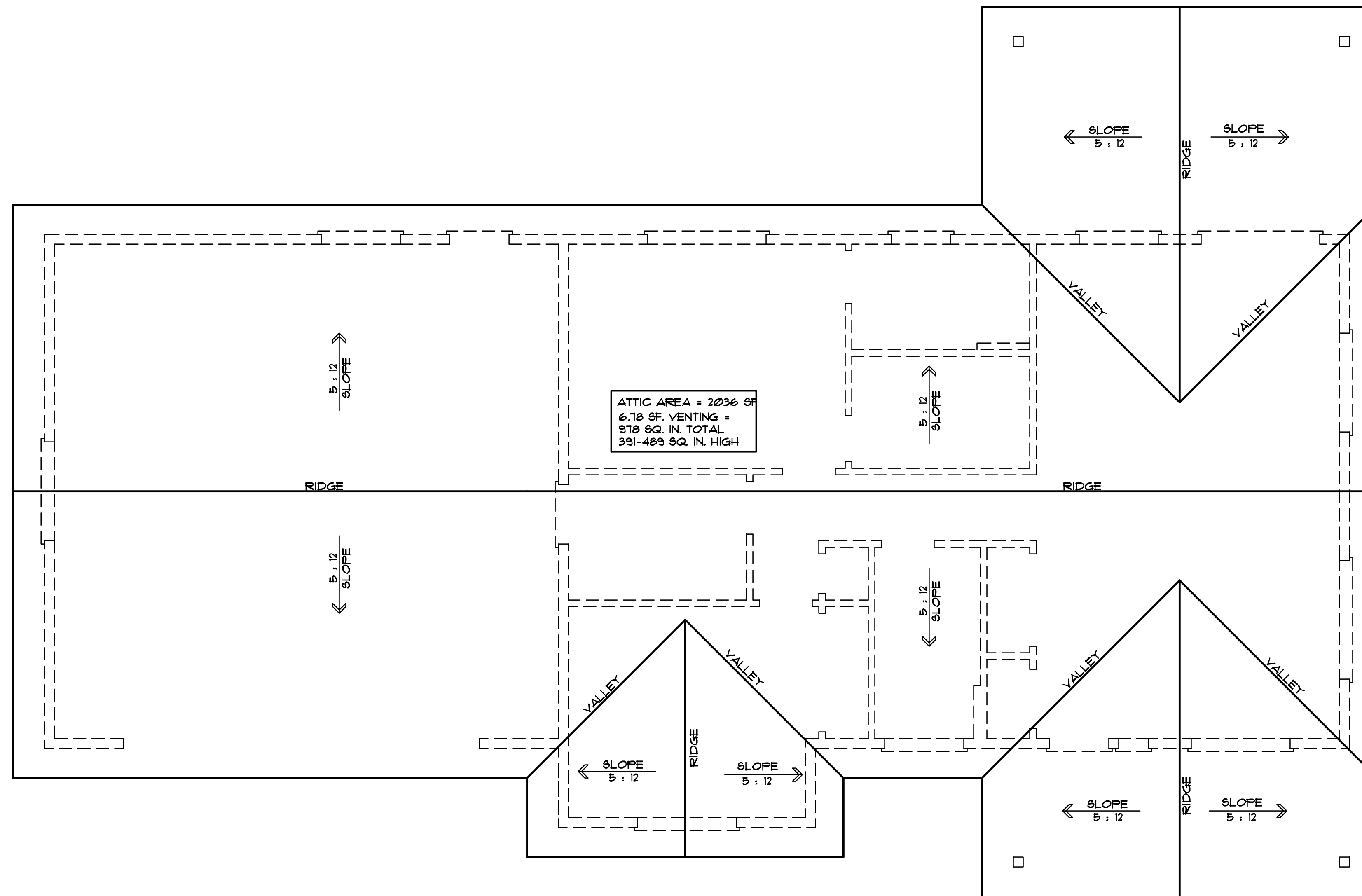
Revisions	Mark	Date	Description

Drawn By M.T.P.	Date September 25, 2020
Checked By M.T.P.	Project No. 2047

Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A-3A

Final Submittal



ATTIC AREA = 2036 SF
 6.78 SF. VENTING =
 978 SQ. IN. TOTAL
 391-489 SQ. IN. HIGH



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ROOFING SHALL BE 40 YR CLASS C MIN. COMP. MATERIAL OR AN APPROVED NON-COMBUSTIBLE ROOFING MATERIAL OVER 30# FELT PAPER.
2. VALLEY FLASHING SHALL BE NOT LESS THAN 0219' (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER MIN. 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 12 POUND MINERAL SURFACED, NONPERFORATED CAPSHEET COMPLYING WITH ASTM D 3929 RUNNING THE FULL LENGTH OF THE VALLEY.
3. GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL.
4. PROVIDE METAL DRIP EDGE ALONG ALL ROOF EAVES AND GABLES IN ACCORDANCE WITH IRC SECTION R905.2.8.5.

ATTIC VENT CALCULATION

PROVIDE 1 SQ. FT. OF VENTILATION PER 300 SQ. FT. OF ATTIC SPACE.
 HIGH VENTING IS VENTS IN THE UPPER 1/3 OF THE ATTIC SPACE
 AT LEAST 40% AND NOT MORE THAN 50% OF VENTS MAY BE HIGH

Revisions		
Mark	Date	Description

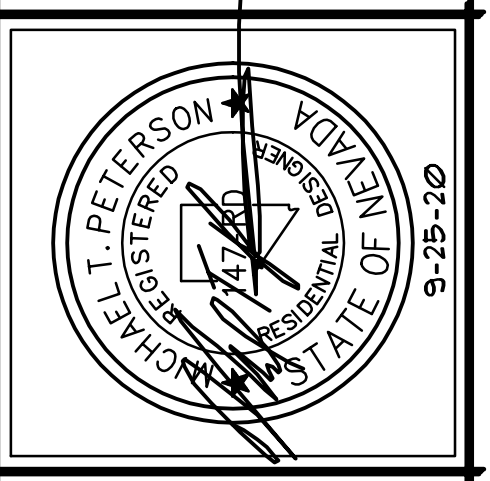
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Checked By M.T.P.	Project No. 2047

Sheet Title
ROOF PLAN
 Sheet Number

A-4A

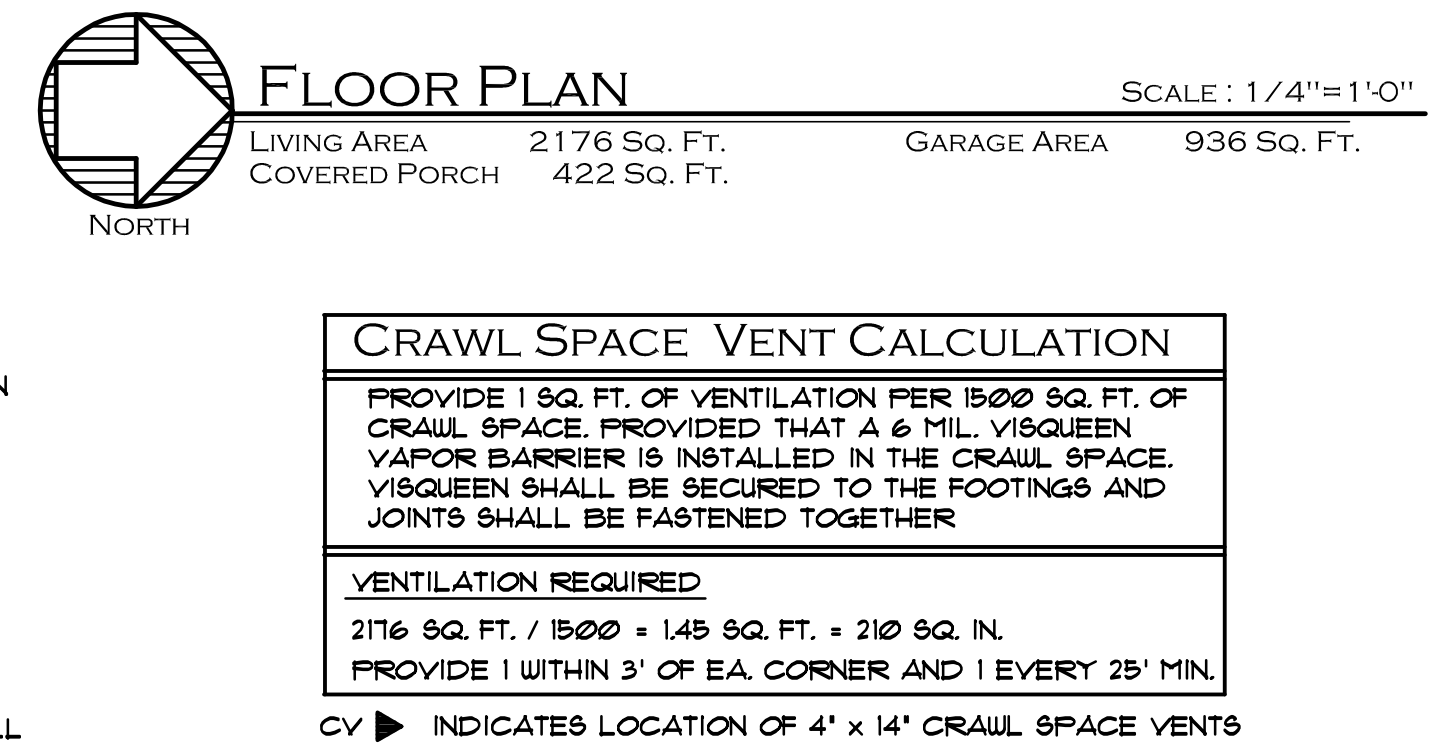
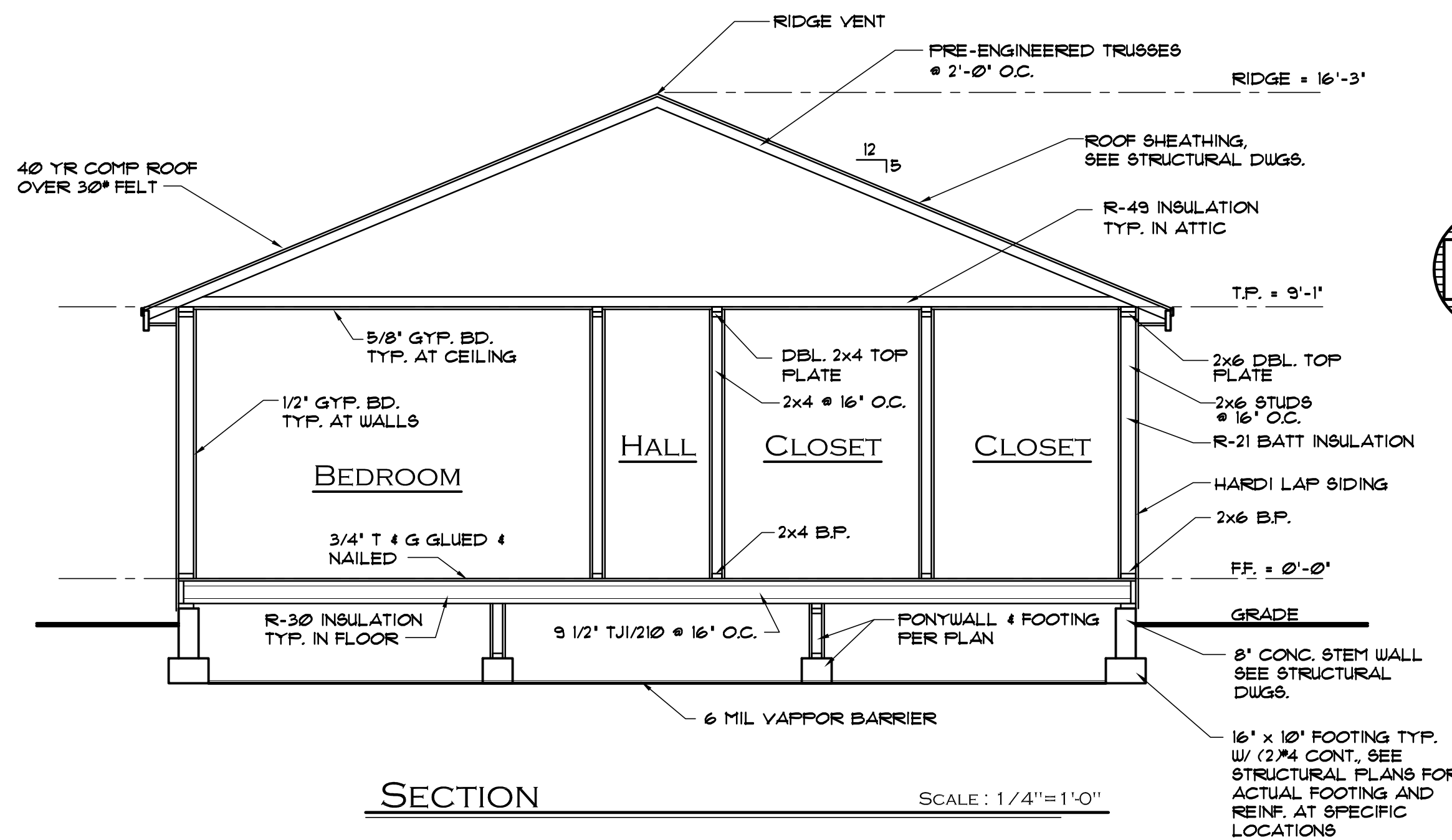
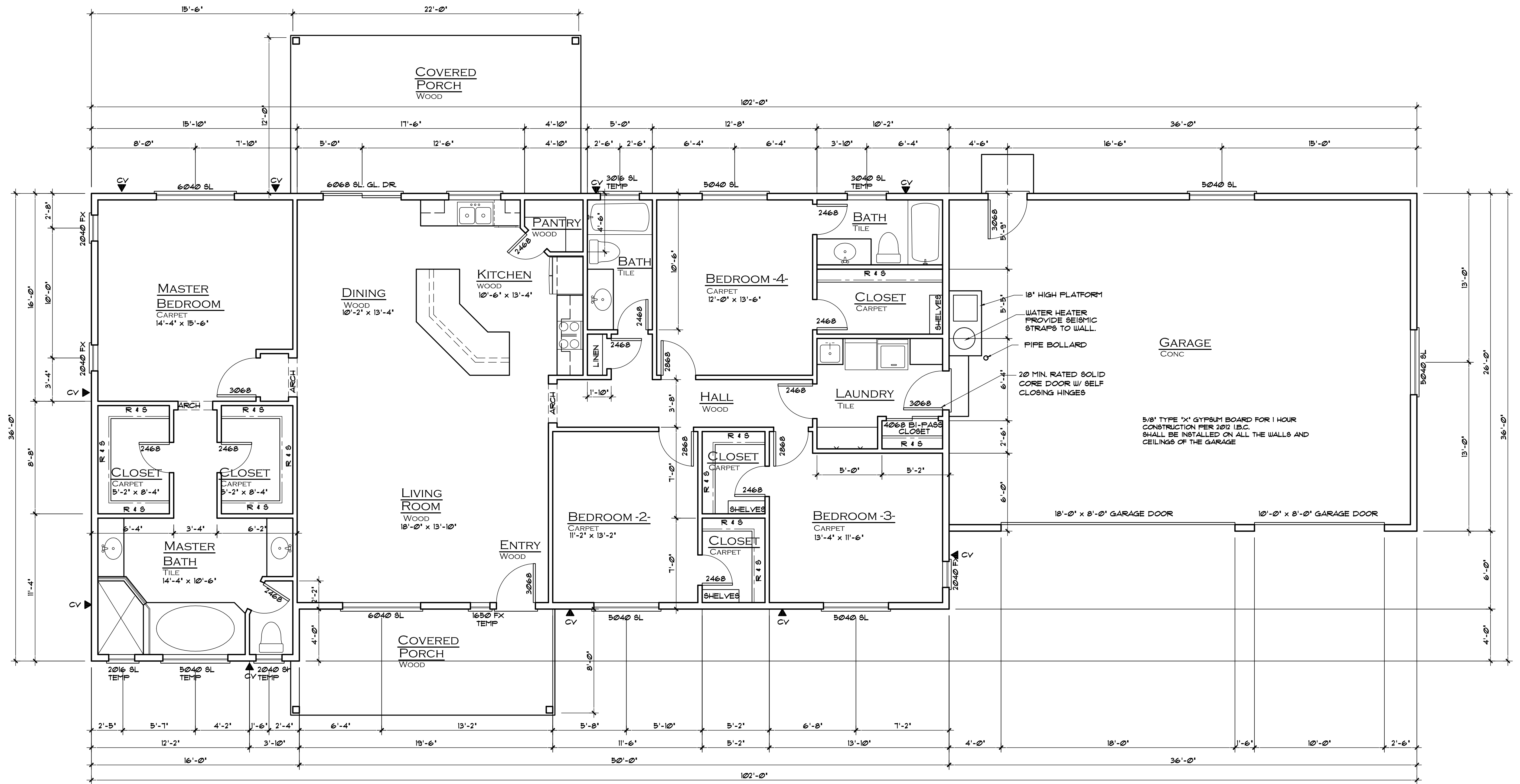
Final Submittal

A New Residence
 For
Margarita Stanfield
 1135 Birch Street
 Washoe County, Nevada



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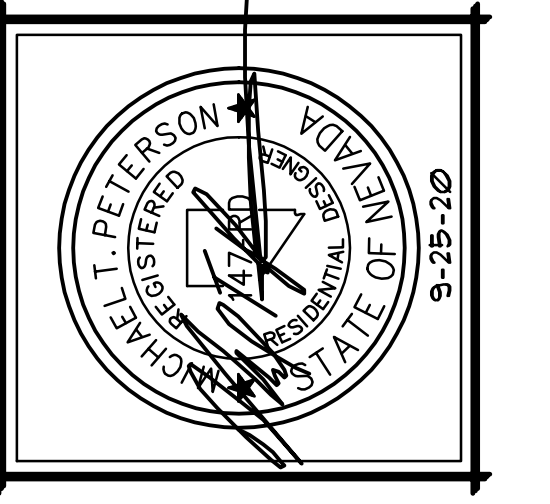


- TYPICAL NOTES:**
- ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION W/ PAPER
 - NON LOAD BEARING INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. TYP. UNO.
 - BATHROOM WALLS SHALL RECEIVE FIBERGLASS BATT SOUND INSULATION (TYP.)
 - ALL CEILINGS SHALL BE 9'-0" TYP. UNO.
 - PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN CRAWL SPACE.
 - SEE HEAT LOSS CALCULATIONS PER RESCHECK COMPLIANCE FOR MIN. WINDOW AND DOOR PERFORMANCE SPECIFICATIONS, AND FOR MECH. REQUIREMENTS.
 - AIR LEAKAGE AND SEALING MUST BE TESTED AND MEET OR BE LESS THAN 5 AIR EXCHANGES PER HOUR IN ACCORDANCE WITH THE ADOPTED NORTHERN NEVADA AMENDMENTS TO THE 2018 IECC.
 - ATTIC ACCESS DOOR OR COVER TO BE INSULATED TO THE SAME LEVEL AS THE ATTIC INSULATION. PROVIDE WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER. PER 2018 IECC SECTION 402.2.3
 - CRAWL SPACE ACCESS DOOR OR COVER TO BE INSULATED. WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER. PER 2018 IECC SECTION 402.2.3
 - SUPPLY DUCTS IN THE ATTIC TO BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS TO BE INSULATED TO A MIN. OF R-6.
 - WALL AREAS IN TUBS AND SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 3012 OR OTHER NON PERMIABLE MATERIALS TO THE HEIGHT OF 12" ABOVE THE TUB OR SHOWER FINISH FLOOR.
 - MECHANICAL SYSTEM SHALL PROVIDE FOR CONDITIONED MAKEUP AIR INTAKE WHEN KITCHEN HOOD IS TURNED ON.

- ENERGY NOTES:**
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND LOCATED IN AN APPROVED LOCATION THE LISTS THE FREEDOMANT R-VALUES OF THE INSULATION INSTALLED IN THE CEILING / ROOF, WALLS, FOUNDATION AND DUCTS OUTSIDE CONDITIONED SPACES, AND U-FACTORS FOR FENESTRATION.
 - THE ATTIC ACCESS DOOR FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES (ATTIC) SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
 - THE AIR BARRIER SHALL BE VERIFIED BY A BLOWER DOOR TEST. PER IECC R402.4.11
- PLUMBING NOTES:**
- HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERE OR PRESSURE TYPE VACUUM BREAKER.
 - THE WATER HAMMER ARRESTOR ARE REQUIRED AT THE QUICK-CLOSING VALVES, I.E. DISHWASHER & CLOTHES WASHER.
 - THE REQUIRED TEMPERATURE LIMITING DEVICE FOR BATHTUBS AND SHOWERS SHALL BE SET AT 120°F.
 - BACKWATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
 - JETTED TUBS SHALL HAVE A 12" x 12" ACCESS OPENING. IF THE PUMP IS LOCATED WITHIN 2' FROM THE ACCESS OPENING THE OPENING SHALL BE 18" x 18"
 - HOT WATER PIPING SHALL BE INSULATED WITH R-3 MIN.
 - PROVIDE A WATER PRESURE REGULATOR IN ACCORDANCE WITH 2018 UPC WHEN CITY WATER SUPPLY EXCEEDS 80 PSI.
 - PROVIDE A WATER HEATER PAN AND DRAIN.
 - PROVIDE A 2-WAY CLEANOUT IN THE BUILDING DRAIN WITHIN 36" OF THE BUILDING FOUNDATION PERIMETER.

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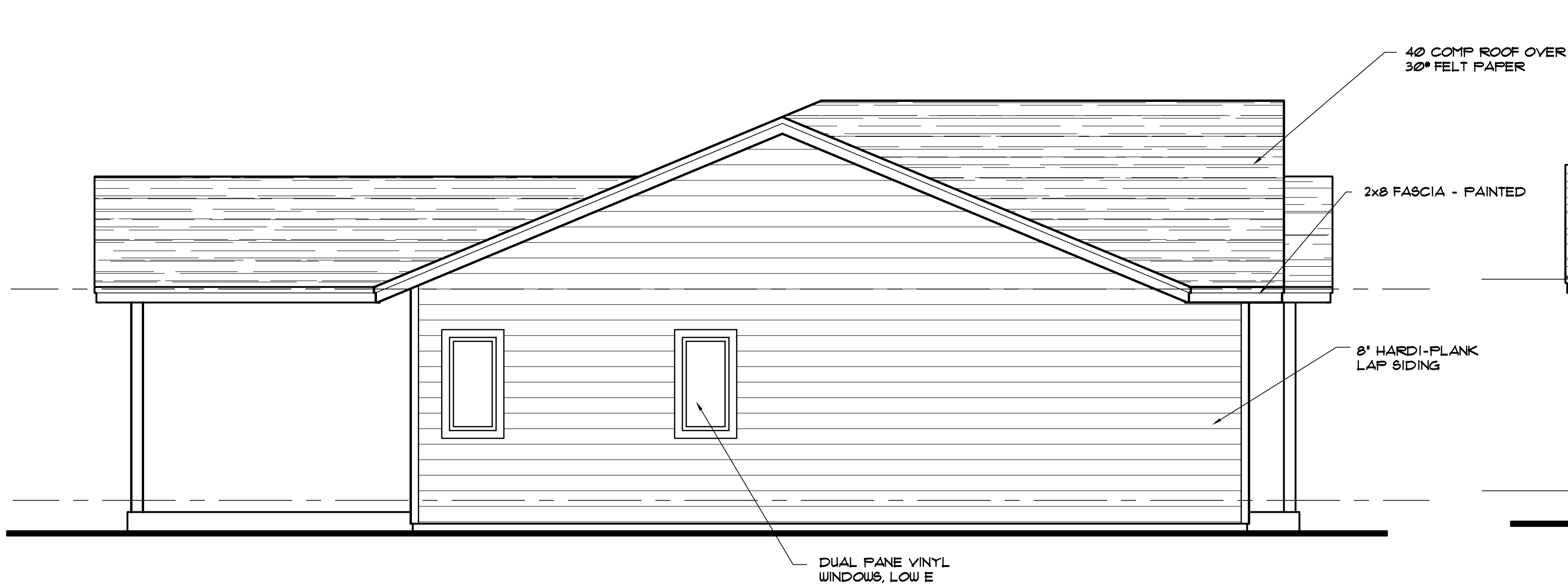


A New Residence For
Margarita Stanfield
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Washoe County, Nevada

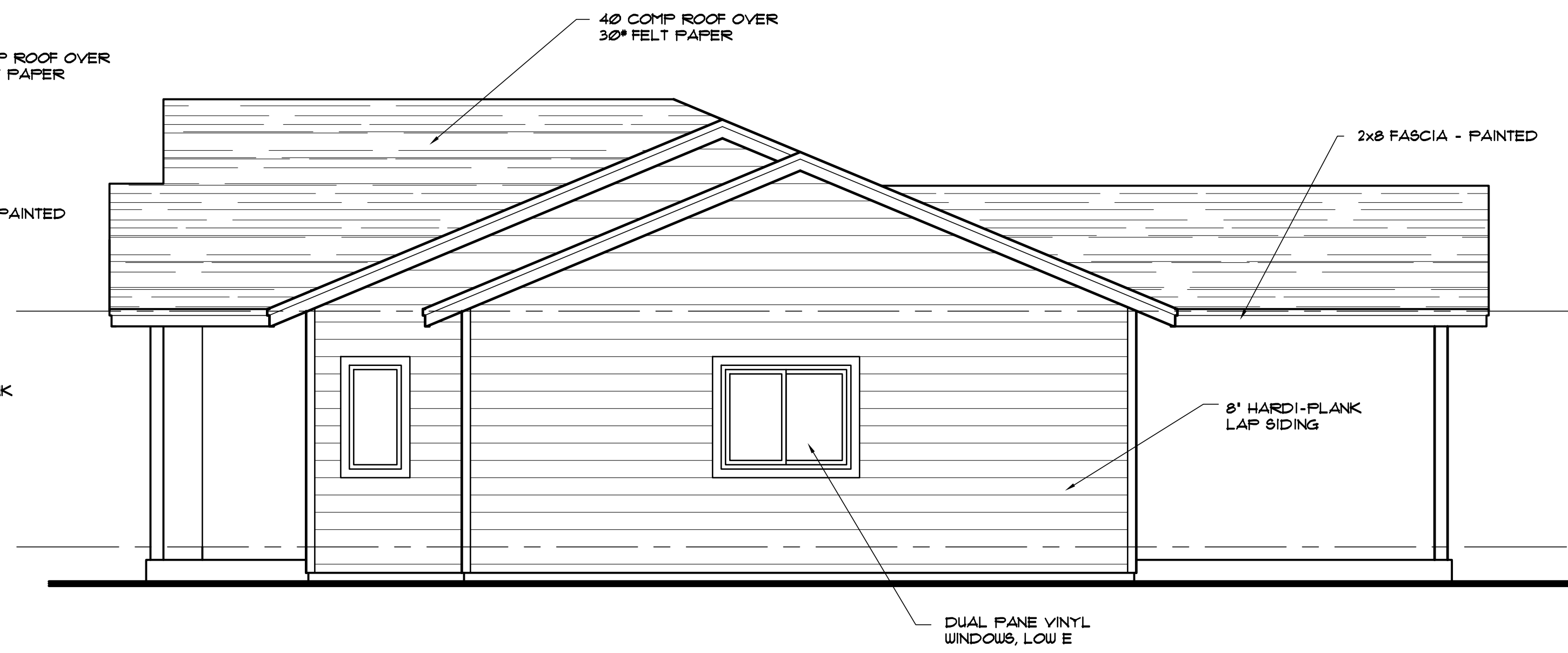
Revisions		
Mark	Date	Description

Drawn By: M.T.P. Date: September 25, 2020
Checked By: M.T.P. Project No.: 2047

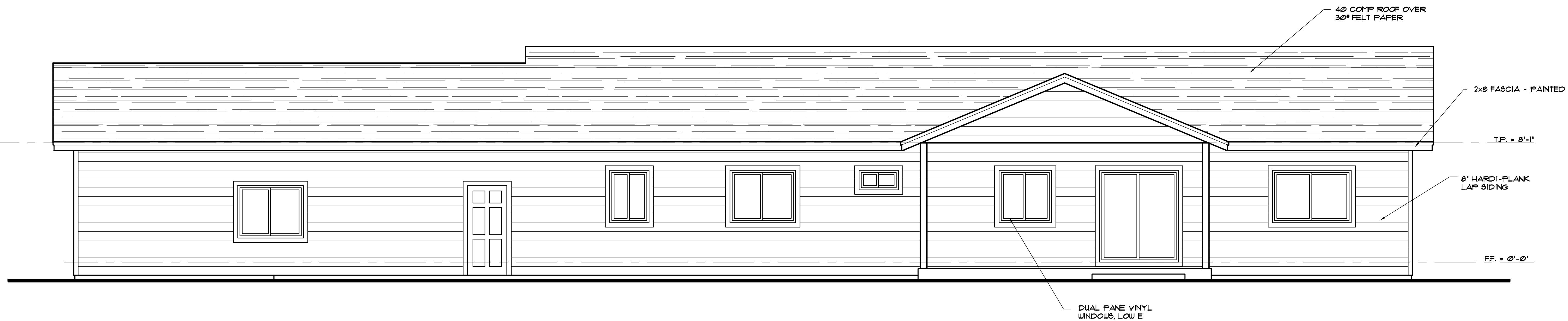
Sheet Title
FLOOR PLAN
Sheet Number
A-2
Final Submittal



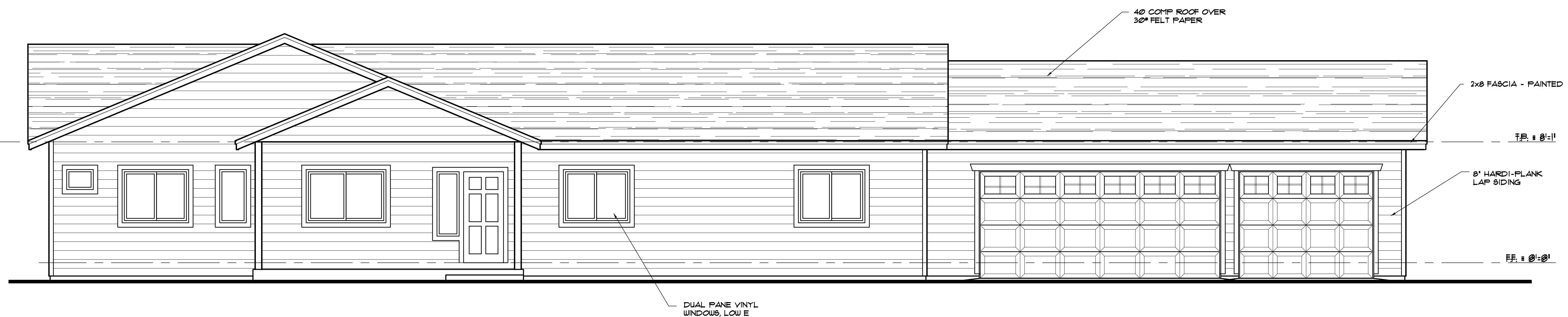
LEFT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"

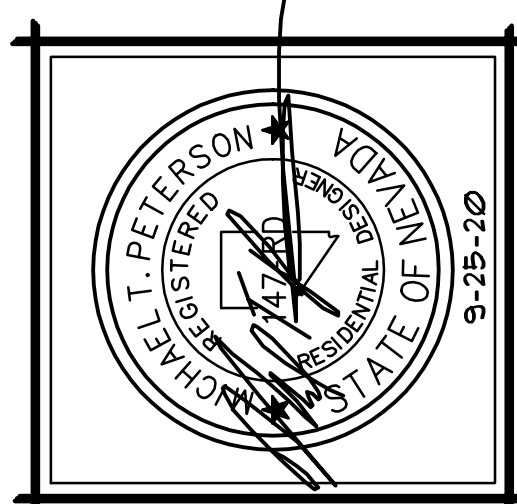


REAR ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"

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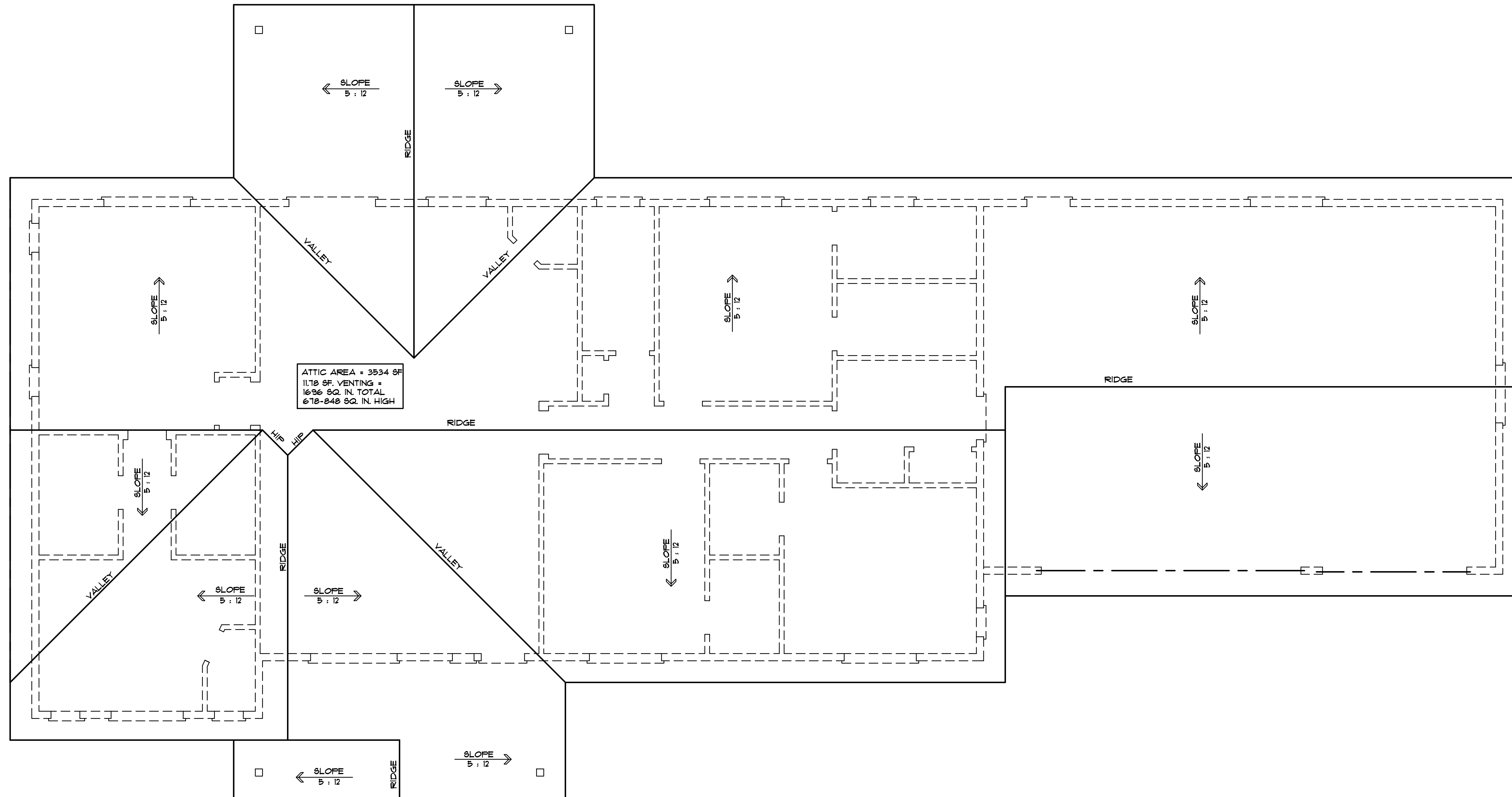
Revisions	Mark	Date	Description

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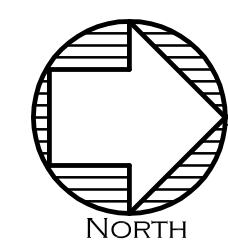
Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A-3

Final Submittal



ATTIC AREA = 3534 SF
 1178 SF VENTING =
 1626 SQ. IN. TOTAL
 678-848 SQ. IN. HIGH



ROOF PLAN

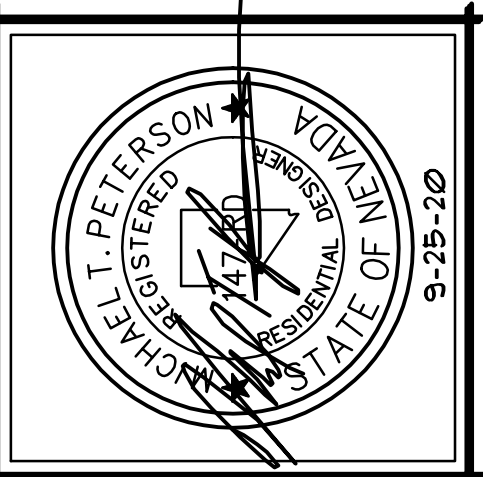
SCALE: 1/4"=1'-0"

NOTES:

1. ROOFING SHALL BE 40 YR CLASS C MIN. COMP. MATERIAL OR AN APPROVED NON-COMBUSTIBLE ROOFING MATERIAL OVER 30# FELT PAPER.
2. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER MIN. 36' WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 12 POUND MINERAL SURFACED, NONPERFORATED CAPSHEET COMPLYING WITH ASTM D 3909 RUNNING THE FULL LENGTH OF THE VALLEY.
3. GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL.
4. PROVIDE METAL DRIP EDGE ALONG ALL ROOF EAVES AND GABLES IN ACCORDANCE WITH IRC SECTION R905.2.2.5.

ATTIC VENT CALCULATION

PROVIDE 1 SQ. FT. OF VENTILATION PER 300 SQ. FT. OF ATTIC SPACE.
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Revisions		
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Sheet Title
ROOF PLAN
 Sheet Number
A-4

Final Submittal