

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Heinrich DADU			
Project Description: Detached Accessory Dwelling Unit: New Manufactured home and 1000 gallon new septic system. <small>Please see attachments for documentation of 1966 parcel date, subsequent exemption from the lot size requirements of Section 040.020 and Table 1 of Washoe County Health District Sewage Water and Sanitation regulations with supporting email from same.</small>			
Project Address: 12400 Lemmon Drive Reno, NV 89506			
Project Area (acres or square feet): 1.116 Acres			
Project Location (with point of reference to major cross streets AND area locator):			
Major cross St: Lemmon Dr and Ramsey			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
086-283-32	1.116		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Michael S Heinrich		Name:	
Address: 12400 Lemmon Drive		Address:	
Reno NV	Zip: 89506		Zip:
Phone: 775-400-5114	Fax:	Phone:	Fax:
Email: mikesheinrich@gmail.com		Email:	
Cell: 775-400-5114	Other:	Cell:	Other:
Contact Person: Michael		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Michael S. Heinrich		Name:	
Address: 12400 Lemmon Drive		Address:	
Reno NV	Zip: 89506		Zip:
Phone: 775-400-5114	Fax:	Phone:	Fax:
Email: mikesheinrich@gmail.com		Email:	
Cell: 775-400-5114	Other:	Cell:	Other:
Contact Person: Michael		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

1544 sq ft 3 br 2 ba Manufactured Home

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

New manufactured home 772 sq ft. or exactly 50% of the main Structure

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

8 pt foundation (to match main dwelling unit) same Matching Front Porch, Roofing, Siding, Same color as main structure.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

6+ available off street parking spaces available. No Driveway or access improvements required.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

No negative impacts on adjacent properties. only 1 neighbor south. No lighting, view or any negative impacts expected Evergreen landscaping and trees to be planted..

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic Tank and Field	Septic Tank and Field
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	TMWA	TMWA

Property Owner Affidavit

Applicant Name: Michael S Heinrich

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, MICHAEL SCOTT HEINRICH
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 086-283-32

Printed Name MICHAEL SCOTT HEINRICH

Signed [Signature]

Address 12400 LEMMON DR RENO NV
89506

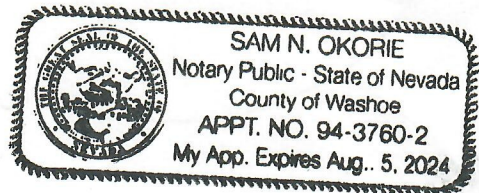
[Signature]

(Notary Stamp)

Subscribed and sworn to before me this
30 day of March 2021.

[Signature]
Notary Public in and for said county and state

My commission expires: 08/05/2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
Collection Cart	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
08628332	Active	3/27/2021 1:39:47 AM
Current Owner: HEINRICH, MICHAEL		SITUS: 12400 LEMMON DR
12400 LEMMON DR RENO, NV 89506		
Taxing District 4000	Geo CD:	

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$1,079.64	\$1,079.64	\$0.00	\$0.00	\$0.00
2019	\$1,047.19	\$1,047.19	\$0.00	\$0.00	\$0.00
2018	\$1,015.77	\$1,015.77	\$0.00	\$0.00	\$0.00
2017	\$986.38	\$986.38	\$0.00	\$0.00	\$0.00
2016	\$964.26	\$964.26	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

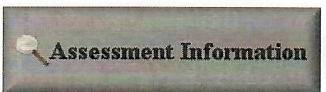
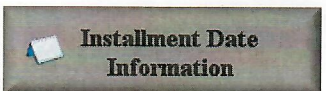
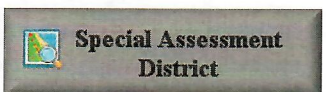
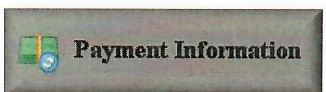
- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845





Christensen, Matthew 6/23/2020

to me ▾



Mike,

If your lot was parceled prior to October of 1972, 040.005 applies. I have attached a copy of the regs as well as provided a screenshot below. This essentially means that you are not restricted from building a separate septic system on your property. Please keep in mind that all sizing and setback requirements will still need to be met prior to project approval. If you have any questions moving forward, please contact me.

AREAS AND LOCATION REQUIREMENTS FOR CONSTRUCTION OF ON-SITE SEWAGE DISPOSAL SYSTEMS

- 040.005** Lots created prior to October 19, 1972 are exempt from the lot size requirements of Section 040.020 and Table 1.
- 040.006** Lots created after October 19, 1972 and prior to March 21, 1991 with an on-site water well shall contain a minimum area of one acre (43,560 square feet) and shall comply with the minimum requirements stipulated by 040.020 of these regulations.
- 040.010** Lots created prior to March 21, 1991 and served by a public water system shall contain a minimum area of one-third (1/3) acre (14,520 square feet) and shall comply with the minimum requirements stipulated by 040.020 of these regulations.
- 040.015** Lots created after March 21, 1991 and before October 23, 2001, that are to be served by on-site sewage disposal systems, shall be a minimum of one acre and shall comply with the minimum requirements stipulated by 040.020 of these regulations.
- 040.020** Minimum lot size shall be increased to account for the average original ground slope of the disposal area according to Table 1:

event of an accidental release of any solid waste, liquid waste, regulated substance or hazardous material, the contractor and/or person constructing the on-site sewage disposal system shall immediately notify the Health Authority and clean-up, remove, and properly dispose of the material within the time limits set by the Health Authority. This shall be in accordance with these regulations and the Washoe County District Board of Health Regulations Governing Solid Waste Management.

- 030.055** Whenever any violation occurs to any provision of these regulations, the Health Authority may issue a Stop Work Order to the contractor and/or person constructing the on-site sewage disposal system in person or by posting it in a conspicuous place on the work site. The Stop Work Order shall specify the violations. Upon receipt of the Stop Work Order, the contractor and/or person constructing the on-site sewage disposal system shall immediately stop all construction activities. The contractor and/or person constructing the on-site sewage disposal system shall not resume construction activities until the Stop Work Order has been rescinded by the Health Authority. It shall be unlawful for any person to continue construction activities, or to remove the posted Stop Work Order without prior authorization from the Health Authority.
- 030.060** After notification to the responsible person by the Health Authority of any violation to these regulations, it shall be unlawful for that person to refuse or fail to correct violations within the time limits set in the notice, unless a time extension is requested by the responsible party and granted by the Health Authority.
- 030.065** Failure to comply with an order by the Health Authority or to correct an existing violation shall be grounds to revoke the sewage disposal construction permit and/or operating permit. If a permit is revoked, a new construction permit shall be required prior to resuming construction.

SECTION 040

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- 040.020** Minimum lot size shall be increased to account for the average original ground slope of the disposal area according to Table 1:

TABLE 1
MINIMUM LOT SIZE ACCORDING TO SLOPE OVER DISPOSAL AREA

Average Slope of the Disposal Area	On-Site System with Well		On-Site System Community Water	
	Sq. Ft.	Acres	Sq. Ft.	Acres
Less than 5%	43,560	1.0 acre	14,520	.033
5% or more but less than 10%	54,450	1.25 acres	18,150	.042
10% or more but less than 20%	65,340	1.5 acres	21,780	0.50
20% or more but less than 30%	87,120	2.0 acres	29,040	0.67

- 040.025** On-site sewage disposal fields are prohibited in areas where the original ground slope is greater than 30%.
- 040.030** The minimum lot size for new subdivisions and a second or subsequent parcel map from the original parcel as it existed on October 23, 2001, proposing to use on-site sewage disposal, shall be 5 acres. The Health Authority may reduce the minimum lot size requirement to as small as one acre per lot if the applicant for division can show to the satisfaction of the Health Authority that adequate measures have been taken to ensure that the smaller lot area will not have a greater impact to the groundwater quality than the 5-acre lot size. In any case, no division shall be approved if the parcel density exceeds the standard established by the Nevada Division of Environmental Protection. Staff decisions regarding the adequacy of the proposed measures shall be approved by the Sewage Wastewater and Sanitation Hearing Board and the District Board of Health through the variance procedure outlined in these regulations. Existing lots and the first four parcels created from an existing parcel shall be a minimum area of 1 acre.
- 040.035** For other than a single family dwelling, the required minimum area shall be consistent with Table 1 and shall be computed at twenty-two (22) square feet per gallon of estimated sewage. Current Uniform Plumbing Code fixture unit values shall be rated at not less than twenty-five (25) gallons per fixture unit per day. One-half (1/2) of the required area shall be reserved for sewage disposal only.
- 040.040** In all instances, the lot shall contain sufficient area for the installation of two (2) complete disposal trench systems including all applicable and required setbacks as outlined in these regulations (original plus reserve area for future replacement).
- 040.045** The disposal trench sidewall shall have a minimum horizontal set back of twenty (20) feet from the face of the finished slope, as measured at the level of the perforated disposal pipe (See Figure 1).
- 040.050** The minimum setback for disposal trenches from the flow line of a watercourse (irrigation ditches, rivers, ponds, as defined in section 010.305) may be reduced from 100 feet to 50 feet depending upon site conditions, field observations, water flow, and upon approval by the Health Authority.
- 040.060** The Health Authority shall determine and map septic constraint areas within the Health District. Such maps shall, by District Board of Health action, become part of these regulations. In determining the boundaries of septic constraint areas, the Health Authority shall determine if the geologic and hydrologic conditions would be in compliance with the standards stipulated in these regulations. Legal notices for adoption of septic constraint areas

DEED

9852A

4807A

OCT 4 1967

Rev 485

(5)

This Indenture, made this 30th day of November, 1966, between Lemmon Valley Land Company, Inc., a Nevada Corporation, as the party of the first part, and Lee B. Purcell - an unmarried man of 7935 Lena Ave., Canoga Park, California as the part Y of the second part,

WITNESSETH:

That the said party of the first part, for and in consideration of the sum of Ten (\$10.00) Dollars, lawful money of the United States of America, and other valuable considerations, to it in hand paid by the said part Y of the second part, the receipt whereof is hereby acknowledged, does by these presents, grant, bargain, sell and convey and confirm unto the said part Y of the second part, his heirs and assigns forever, all that certain lot, piece or parcel of land situated in the County of Washoe, State of Nevada, and more particularly described as follows, to-wit:

- Parcel # 1 - Section 27
Parcel # 2 - Section 34

See attached legal descriptions:



Parcel # 1 - Section 27

Beginning at the SE corner of Section 27, T 21 N, R 19 E, MDB&M, thence North 690' along section line; thence West 430'; thence South 690'; thence East 430' to point of beginning; except for 100' along Easterly section line for road, and 30' along Southerly section for road. Containing an area of 5 acres more or less.

Parcel # 2 - Section 34

Commencing at the section corner common to Sections 26, 27, 34, and 35, a point on the center line of Lemmon Drive. Thence N 89° 48' 30" W 100.00 feet along the section line common to Sections 27 & 34 to the point of intersection of said section line and the West edge of Lemmon Drive. Thence S 00° 44' 30" W 334.88 feet along said West edge of Lemmon Drive to a point of curve; thence said edge of Lemmon Drive on said curve to the right having a radius of 900.00 feet, through a central angle of 03° 32' 04" for an arc distance of 55.52 feet to the true point of beginning; thence continuing along said curve to the right thru a central angle of 37° 51' 18" for an arc distance of 594.62 feet to a point on the curve; thence leaving said road N 43° 14' 15" W 668.33 feet to a point on a curve to the left whose tangent bears N 29° 08' 05" E; thence along said curve to the left having a radius of 240.00 feet through a central angle of 13° 27' 22" for an arc distance of 56.36 feet to a point; thence S 89° 48' 30" E 666.43 feet to the true point of beginning. Containing an area of five acres more or less, and being situated in the NE 1/4 of the NE 1/4 of said Section 34, T 21 N, R 19 E, MDB&M.

9852A

BOOK 280 PAGE 82

UCI 4 967

Together With, all and singular, the tenements, hereditaments and appurtenances thereunto belonging or appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

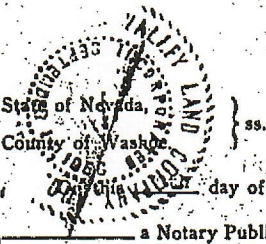
Subject To all those restrictions appearing under File No. _____ and recorded in Volume _____ of 183 _____ in the Records of the County Recorder's Office of Washoe County, Nevada.

To Have And To Hold, all and singular, the said premises together with the appurtenances unto the said party of the second part, his heirs and assigns forever.

In Witness Whereof, the said party of the first part has hereunto set its hand and seal the day and year in this certificate first above written.

Lemmon Valley Land Company, Inc.

By: M.S. Peek
M.S. Peek, President



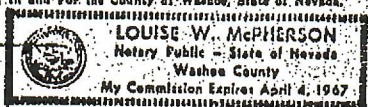
_____ day of November, 1966, personally appeared before me the undersigned _____ a Notary Public in and for said County of Washoe, M.S. Peek

known to me to be the President of the corporation as above designated; that he is acquainted with the seal of said corporation and that the seal affixed to said instrument is the corporate seal of said corporation; that the signature to said instrument was made by an _____ officer of said corporation as indicated after said signature; and that the said corporation executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned.

In Witness Whereof, I have hereunto set my hand and affixed my Official Seal at my office in the County of Washoe the day and year in this certificate first above written.

Louise W. McPherson
Notary Public, in and For the County of Washoe, State of Nevada.

My Commission expires: 08524



BOOK 280 PAGE 84

98524

OFFICIAL RECORDS
WASHOE COUNTY, NEV.
RECORD REQUESTED BY
LAWYERS TITLE INSURANCE CORPORATION

OCT 4 - 1967 3:35 PM

DONALD QUESTA
COUNTY RECORDER

FEE 4.00 DEP. BAH

*James Raddy Ford
P.O. Box 367
Reno, Nev.*

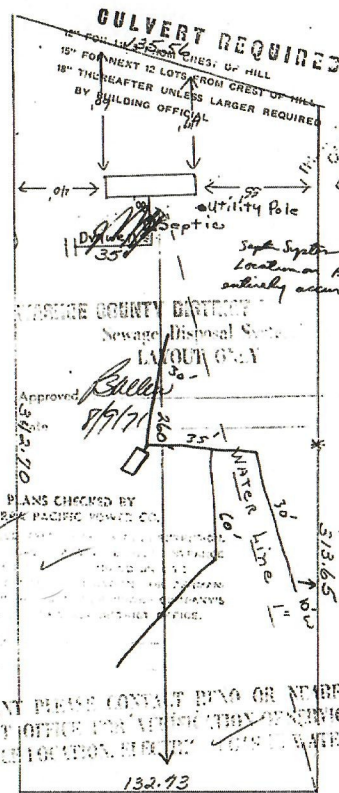
When Recorded
Return To:

OCT 4 1967

83

VALLEY VILLAGE SUB # _____
LEMMON VALLEY, WASHOE COUNTY, NEV.

PLOT PLAN
LOT # _____



WASHOE COUNTY APPROVED
9/17/71
NOTE: Entire Structure Must Be Within Subst. Lines

972-1533
NAME: *[Signature]*
ADDRESS: *[Signature]*
COUNTY: *[Signature]* DATE: 8/17/71
LAND AREA: 1.6 AC. TYPE: *[Signature]*

APPLICANT PLEASE CONTACT BINGO OR NEAREST
ENGINEER OFFICE FOR ANY CITY OR COUNTY
ENTRANCE LOCATION, HEIGHT, AND WATER LINE

Approved
Washoe County Building
& Safety Dept.
Under Provisions of
Sec. 302 U.B.C. Ord. #83
Per: *[Signature]* Date: AUG 10 1971

OWNER: ROSS ADDRESS: 12400 LEMMON DRIVE

ARCH. CHECK: _____ IN - LEMMON VALLEY LAND CO. '65

WASHOE COUNTY BUILDING & SAFETY DEPARTMENT
1205 MILL STREET, RENO, NEVADA, 795-4214

**POST THIS PERMIT
IN A CONSPICUOUS PLACE
SEPTIC TANK INSPECTION**

Permit No. S 1041

Date 8/11/71

Owner Reed

Location 12400 Lannon Valley Dr.

Contractor Quinn

Bldg. Permit No. _____

Permit Fee 2 00

Septic 10 00

Misc. _____

Total Fee 12 00

H. Johnson
Building Official

INSPECTIONS

Rough _____

Final _____

IT IS UNLAWFUL TO REMOVE THIS CARD
UNTIL ALL FINAL INSPECTIONS HAVE
BEEN MADE. NOTIFY BUILDING INSPECTOR
FOR INSPECTION.

HEALTH DEPT.
795-4227

BLDG. DEPT.
795-4214

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT

BUILDING PERMIT # S-1041 NAME Ross
 BEDROOMS Trailer ADDRESS 12400 Lemmon Dr.
 BATHS _____ DATE 8-9-71
 BASEMENT _____ LOT (S) BLOCK
 WATER SUPPLY Comm. SUBDIVISION Lemmon Valley
Valley Village.

GARBAGE GRINDER _____

 SEPTIC TANK: Washoe 1,000

Distance from well Comm. feet; Foundation _____ feet; Material Concrete
 Number of compartments 1; Inside length 7'6" feet. Inside width
4'8" feet. Inside liquid depth 4' feet. Total liquid capacity 1,000
 gallons. Tees in entrance and exit Yes. Distance from entrance tee to
 top of tank 3 inches. Distance from exit tee to top of tank _____
 inches. Number of Baffles None. Depth of Baffles _____ inches. Distance from
 inlet (1) _____ (2) _____ (3) _____ (4) _____.

TILE FIELD:
 Distance from well Comm. feet. Nearest lot line 10 feet, direction West
 _____ Total length of lines (seepage pit) 125 feet. Number of lines
3. Distance between lines See Diagram feet. Total effective absorption
 area in bottom of trenches, side wall of seepage pit, approx 1250 square feet. Trench
 width 24 inches. Length of each line, seepage pit 30-35-60 feet. Depth,
 top of tile to finish grade 2' average inches. Depth of trench or seepage pit
7 ft. average. Type of filler material Ver-lite. Depth of filler material above
 tile 8"± inches; below tile 5 ft. average inches. Depth of cover over filler
 material 16 inches. Approximate direction of surface drainage of lot North
 Approximate slope per hundred feet _____.

SOIL: Sand & Gravel Fine Sand Sandy Loam Clayey Sand Sandy Clay Clay

DISTRIBUTION BOX: D.G. Tight D.G.

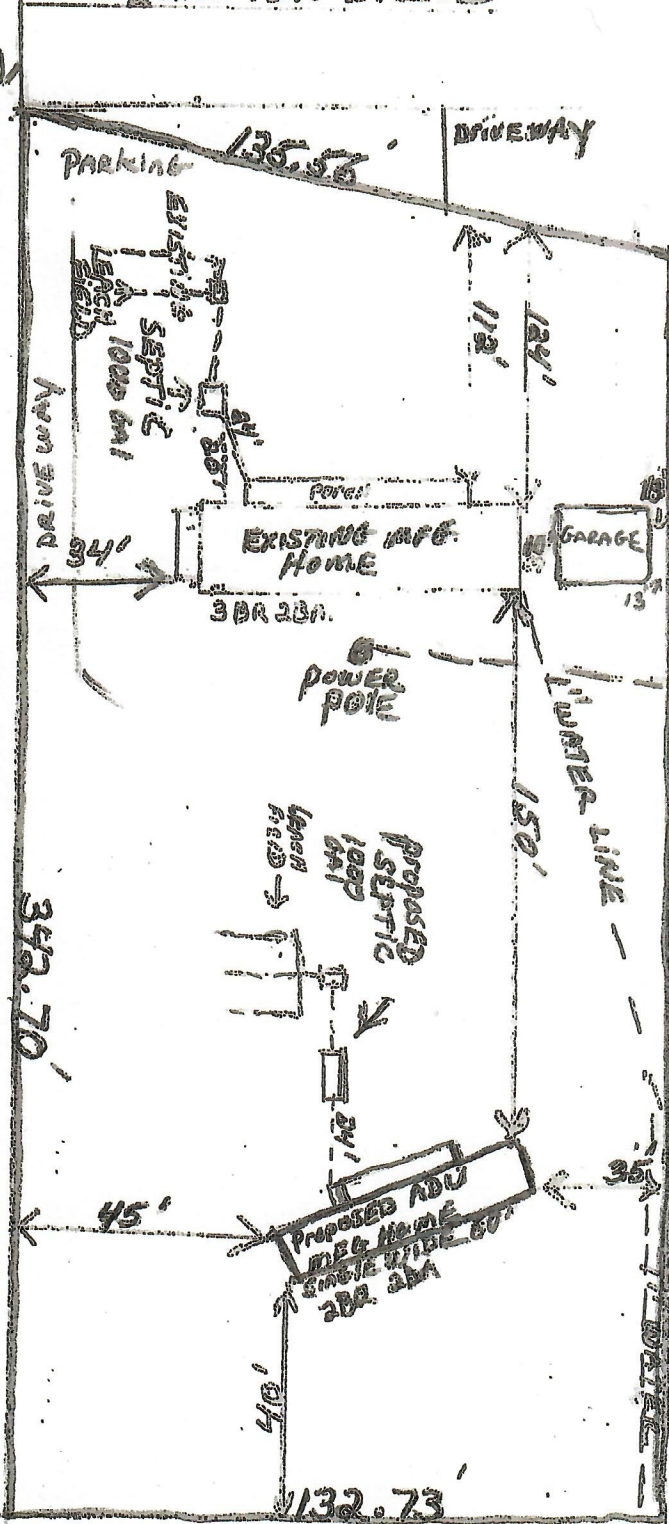
Size _____ L X _____ W
 INSTRUCTIONS:
 Date _____, 19____
 INSPECTED BY [Signature]
 DATE 9/7/71 DJM/ca
 FINAL APPROVAL BY [Signature]
 DATE 9/15/71 DJM/ca

Test Hole No.	Percolation Rate	
	Min.	inch
1.		
2.		
3.		
4.		
5.		
6.		

On reverse side indicate plot plan and locate Septic System, house and well and percolation tests.

LEMMON DRIVE

60' UTILITY EASEMENT FROM CENTER OF LEMMON DRIVE

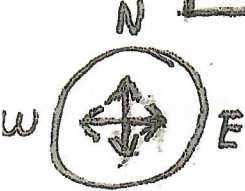


313.65'

342.70'

132.73'

Scale: 1" = 50'



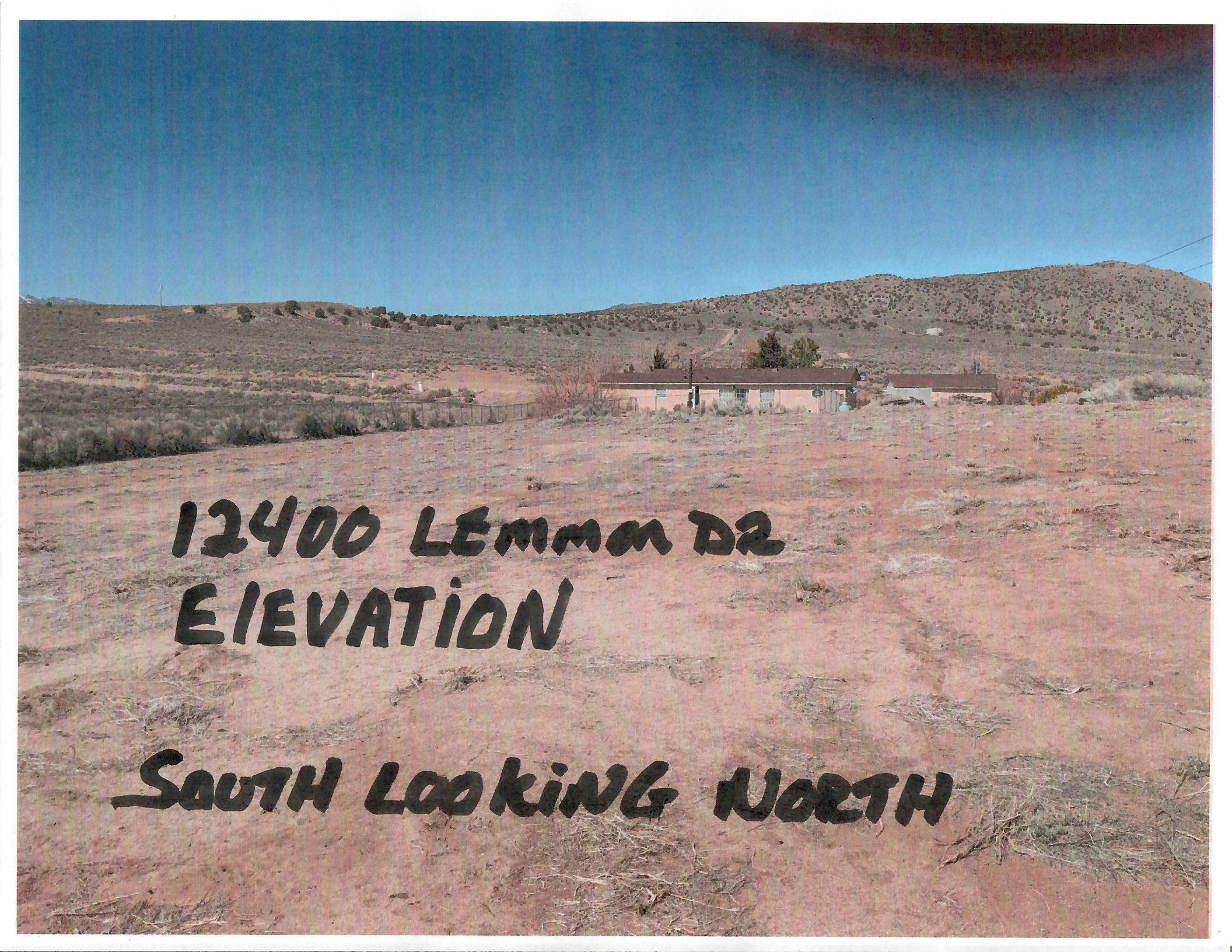
S 12400 LEMMON DRIVE

PREPARED BY: MICHAEL S. NETURICH
 775-400-5114 3/26/2021

SITE PLAN SPECIFICATIONS



**ELEVATION
12400 LEMMON DR.
FROM LEMMON DRIVE
NORTH LOOKING SOUTH**

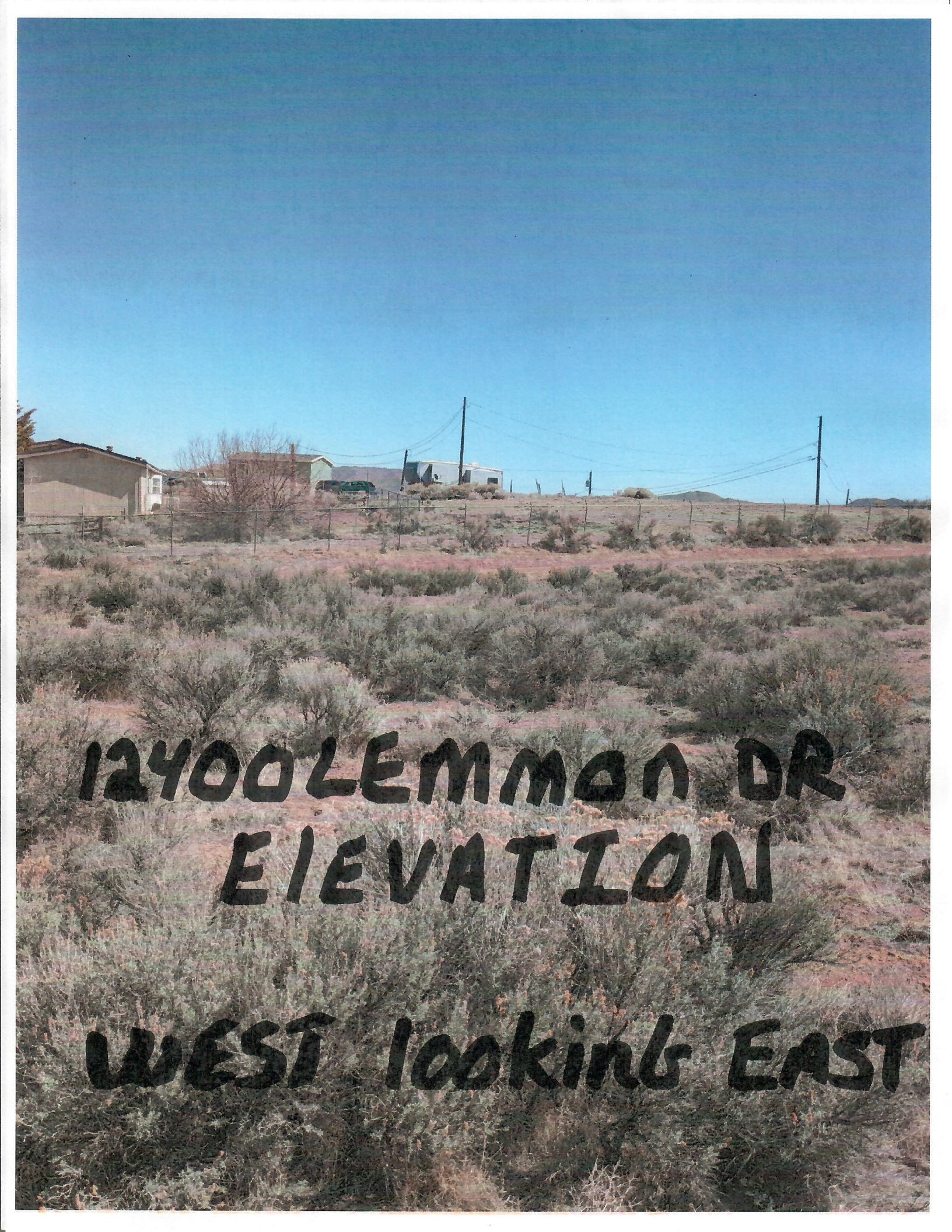


**12400 LEMMON DR
ELEVATION**

SOUTH LOOKING NORTH

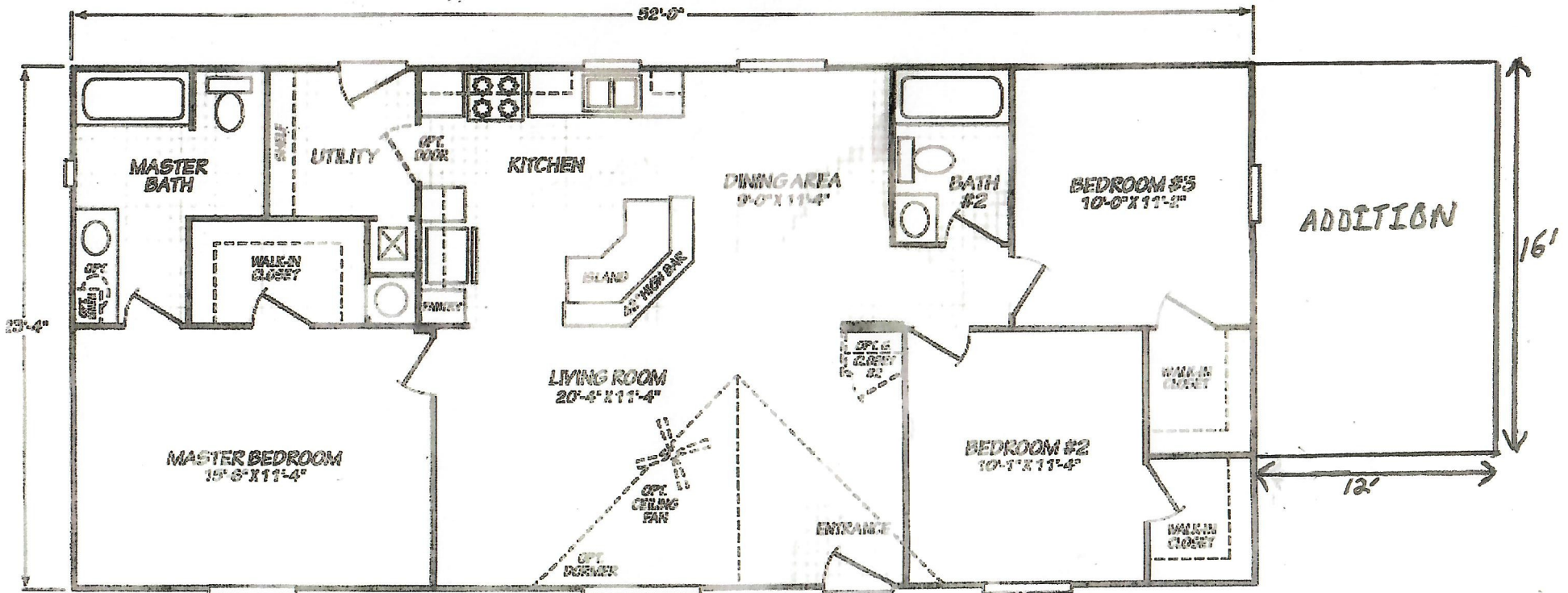
13400 LEMMON DR
ELEVATION

EAST Looking west



12400 LEMMON DR
ELEVATION

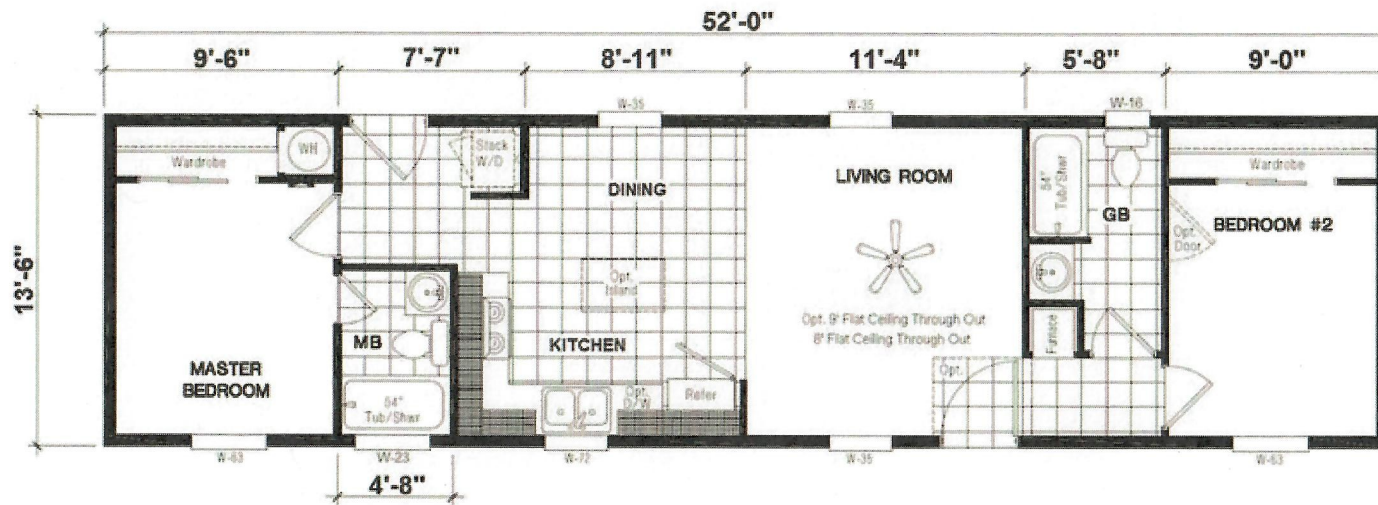
WEST looking EAST



2001 FLEETWOOD BONNEVILLE MANUFACTURED HOME
 12400 LEMMON DRIVE
 EXISTING DWELLING FLOOR PLAN

PROPOSED ADU 12400 LEMMON DRIVE

SINGLE WIDE



INSPIRATION *GOLD*
The MADRONE 14x52 INS 521M
TWO BEDROOM, TWO BATH - 702 SQ. FT.