

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <u>BROOKS DETACHED ACCESSORY DWELLING ON PROPERTY</u>			
Project Description: <u>1200 SQFT DAD IN-LAW QUARTERS</u>			
Project Address: <u>11000 OSAQE RD RENO NV 89508</u>			
Project Area (acres or square feet): <u>241,758 SQFT</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>2 MILES SOUTH OF REDROCK RD CORNER OF SILVER KNIFE AND OSAQE RD.</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>086-211-10</u>	<u>241,758 SQFT</u>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <u>ROBERT &amp; TAM BROOKS</u>		Name:	
Address: <u>11000 OSAQE RD RENO NV</u>		Address:	
Zip: <u>89508</u>		Zip:	
Phone: <u>775-502-6799</u> Fax:		Phone: Fax:	
Email: <u>BOB @ QDCDEMO.COM</u>		Email:	
Cell: <u>775-502-6799</u> Other:		Cell: Other:	
Contact Person: <u>ROBERT BROOKS</u>		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Property Owner Affidavit

**Applicant Name:** ROBERT BROOKS

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE    )

I, ROBERT BROOKS  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 086-211-10

Printed Name ROBERT BROOKS

Signed [Signature]

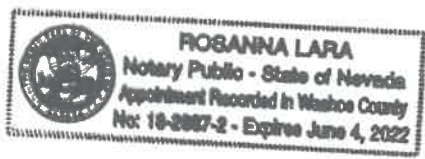
Address 11000 OSAGE RD RENO NV 89508

state of Nevada  
county of Washoe

Subscribed and sworn to before me this  
18<sup>th</sup> day of April, 2022.

(Notary Stamp)

[Signature]  
Notary Public in and for said county and state  
My commission expires: \_\_\_\_\_



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2449 SQFT

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1215 SQFT GUEST HOUSE  
505 SF ATTACHED GARAGE

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

ROOF MATERIALS, FACADE MATERIALS AND PAINT WILL MATCH  
THOSE OF MAIN DWELLING

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

NO VEGETATION ON SITE. GRAVEL DRIVEWAY TO UNIT  
2 PARKING SPOTS

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

NO NEGATIVE IMPACTS. NO VEGETATION ON SITE. 2 OUTSIDE  
LIGHTS

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	SEPTIC	2ND SEPTIC
Electrical Service	NO ENERGY	NO ENERGY
Solid Waste Disposal Service	WASTE MGMT	WASTE MGMT
Water Service	WELL	METERED WELL

# NEW DETACHED ACCESSORY DWELLING FOR TAMI & ROBERT BROOKS

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE SATISFIED AS TO THE MEANING AND INTENTION AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH. CONTACT THE OWNER OR REPRESENTATIVE IF CLARIFICATION IS NEEDED.

## GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IRC, LATEST EDITION, AND ALL APPLICABLE LOCAL REQUIREMENTS
- THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSPECT THE WORK SITE PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION THE ACTUAL SITE CONDITIONS. IF DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE OWNER OR REPRESENTATIVE FOR ADDITIONAL INFORMATION AND CLARIFICATION BEFORE SUBMITTING THEIR BID.
- THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR THE INDEPENDENT INVESTIGATION BY THE CONTRACTOR. THE CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON THE INFORMATION PROVIDED BY THE OWNER OR REPRESENTATIVE REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- THE CONTRACTOR AGREES TO:
  - CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK
  - REMOVE AND DISPOSE OF ALL TRASH, SCRAP, AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
  - MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
  - KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB.
- DO NOT SCALE DRAWINGS. IF A DIMENSION IS IN QUESTION, CONTACT THE OWNER OR REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING.

## SOIL AND FOUNDATION NOTES:

- THE FOUNDATION SYSTEM WAS DESIGNED ASSUMING THAT THE ON-SITE SOILS ARE ADEQUATE TO SUPPORT THE THE PROPOSED STRUCTURE. IF WET, UNUSUAL OR SUSPECT SOILS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER.
- BACKFILLING AND COMPACTING OF BELOW GRADE WALLS SHALL NOT TAKE PLACE UNTIL CONCRETE IS ALLOWED TO REACH 75% OF DESIGN STRENGTH. VERIFY THE NUMBER OF DAYS REQ'D TO REACH STRENGTH WITH THE CONCRETE SUPPLIER.
- ALL CONCRETE OR CMU WALLS IN DIRECT CONTACT WITH EARTH SHALL BE WATERPROOFED.

## CONCRETE NOTES:

- ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, LATEST EDITION
- COORDINATE WITH ALL TRADES TO ENSURE ALL REQUIRED HOLDOWNS, HARDWARE, SLEEVES, CONDUIT ARE PROPERLY PLACED PRIOR TO PLACING CONCRETE.
- DO NOT POUR CONCRETE ON WET OR FROZEN GROUND.
- 28 DAY COMPRESSIVE STRENGTH (FC) SHALL BE:  
WALLS & SLABS ON GRADE - 3,500 PSI  
  
NOTE DESIGN CALCULATIONS ARE BASED ON 2,500 PSI, THEREFORE SPECIAL INSPECTION IS NOT REQUIRED.
- MAXIMUM SLUMP SHALL BE 5". PLASTICIERS MAY BE USED TO INCREASE WORKABILITY PROVIDED THEY DO NOT INCREASE SHRINKAGE.
- CONCRETE COVERAGE FOR REINFORCEMENT STEEL SHALL BE THE CLEAR DISTANCE TO THE EXTERIOR FACE OF THE BAR AS FOLLOWS:  
3" - FOUNDATIONS POURED AGAINST GROUND  
2" - FORMED SURFACES EXPOSED TO GROUND OR WEATHER
- ALL REINFORCING STEEL SHALL BE 60 KSI DEFORMED STEEL BARS FREE FROM RUST AND DEBRIS.
- REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS.
- CONCRETE CONTRACTOR SHALL COORDINATE LOCATION OF HOLDOWNS W/ FRAMING CONTRACTOR PRIOR TO PLACING CONCRETE.
- ALL ADHESIVE ANCHORS SPECIFIED ON THE DRAWINGS SHALL BE SIMPSON SET OR APPROVED EQUAL. INSTALL PER THE RECOMMENDATIONS OF THE MANUFACTURE.
- ALL CONCRETE SLABS ON GRADE SHALL HAVE CRACK CONTROL JOINTS (SAW-CUT OR TOOLED) @ 10'-0" OC. UNO.
- SUSPENDED STRUCTURAL SLABS SHALL BE WET CURED FOR 7 DAYS MIN.

## WOOD NOTES:

- WOOD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE IRC
- UNLESS NOTED OTHERWISE, WOOD MEMBERS SHALL BE FASTENED PER TABLE 2304.10 OF THE 2018 IBC.
- FRAMING NAILS SHALL HAVE FULL ROUND HEADS AND CONFORM TO IBC STANDARDS WITH MINIMUM PROPERTIES LISTING IN THE TABLE BELOW:
 

NAIL SIZE	TYPE	LENGTH (IN)	DIA. (IN)
8D	COMMON	2.375	0.113
10D	COMMON	3	0.148
16D	SHORT	3	0.131
20D	COMMON	4	0.192
- ALL EXTERNAL SIDING FASTENERS SHALL BE HOT DIPPED GALVANIZED TREATED
- UNLESS NOTED OTHERWISE, MIN. DIMENSION LUMBER GRADES SHALL BE: BEAMS, RAFTERS & JOISTS: DF#2  
COLUMNS: DF#1  
WALLS: STUD
- ROOF DIAPHRAGMS SHALL BE COMPLETELY SHEATHED UNDER OVERBUILD.
- ALL HARDWARE SHALL BE INSTALLED PER THE MANUFACTURE'S RECOMMENDATIONS.
- ALL BOLTS SHALL COMPLY WITH ASTM A-307 OR BETTER
- SILL PLATES SHALL BE PRESSURE TREATED DOUGLAS FIR #2, FOUNDATION GRADE REDWOOD, OR ZINC BORATE TREATED LSL.
- ALL WOOD NOT PRESSURE TREATED MUST BE AT LEAST:
  - 6" ABOVE EARTH.
  - 2" ABOVE PAVED SURFACES.
- TYPICAL WOOD STUD BEARING WALL SHALL BE 2X6 DOUGLAS FIR @ 16" OC., UNLESS NOTED OTHERWISE.
- ENGINEERED LUMBER SHALL MEET OR EXCEED THE PROPERTIES IN THE TABLE BELOW:
 

MATERIAL	GRADE	E (psi x 1e6)	Fb (psi)	Fv (psi)	Fc (psi)	Fca (psi)	Sg
LVL	-	1.9	2,600	285	2,500	750	0.5
PSL	-	2.0	2,900	290	2,900	750	0.5
LSL	-	1.3	1,700	400	1,400	680	0.5
GLB	24F-V4	1.8	2,400	240	1,600	650	0.5

## ABBREVIATIONS

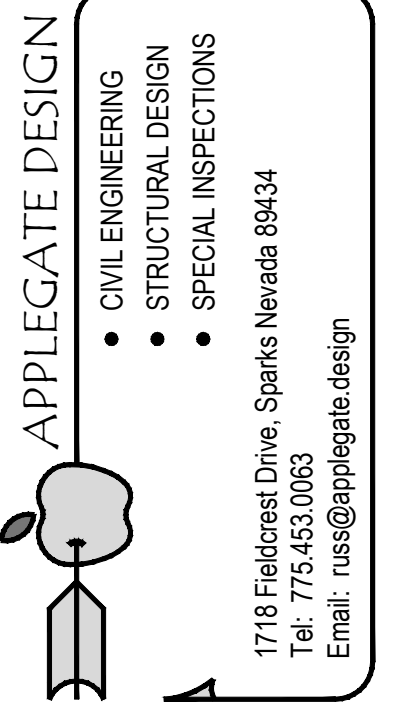
AB	- ANCHOR BOLT	FDN	- FOUNDATION	SG	- SPECIFIC GRAVITY
ABC	- AGGREGATE BASE COURSE	FF	- FINISH FLOOR	SH	- SINGLE HUNG
AFF	- ABOVE FINISH FLOOR	FG	- FINISH GRADE	SL	- SLIDER (HORIZONTAL)
BFF	- BELOW FINISH FLOOR	FTG	- FOOTING	SOG	- SLAB ON GRADE
BW	- BOTH WAYS	FURN	- FURNACE	SPECS	- SPECIFICATIONS
CA	- CASEMENT	GA	- GAUGE	SS	- SANITARY SEWER
CC	- CENTER TO CENTER	GB	- GLASS BLOCK	STD	- STANDARD
CJ	- CONSTRUCTION JOINT	GLB	- GLU-LAMINATED BEAM	STL	- STEEL
CMU	- CONCRETE MASONRY UNIT	HS	- HIGH STRENGTH	T&B	- TOP AND BOTTOM
CONC	- CONCRETE	HORIZ	- HORIZONTAL	TBC	- TOP BACK CURB
CONT	- CONTINUOUS	IR	- IGNITION RESISTANT	TOC	- TOP OF CONCRETE
CTR	- CENTER	LVL	- LAMINATED VENEER LUMBER	TF	- TOP OF FOOTING
DET	- DETAIL	LSL	- LAMINATED STRAND LUMBER	TS	- TUBE STEEL
DF	- DOUG FIR	MFG	- MANUFACTURE	TW	- TOP OF WALL
DH	- DOUBLE HUNG	MDD	- MAXIMUM DRY DENSITY	TYP	- TYPICAL
DWGS	- DRAWINGS	NIC	- NOT IN CONTRACT	UNO	- UNLESS NOTED OTHERWISE
EA	- EACH	OB	- OBSCURE	UTIL	- UTILITY
EF	- EACH FACE	OC	- ON CENTER	VERT	- VERTICAL
EL	- ELEVATION	OE	- OR EQUAL	W/	- WITH
EN	- EDGE NAIL	OD	- OUTSIDE DIAMETER	W/O	- WITHOUT
EQUIP	- EQUIPMENT	OSB	- ORIENTED STRAND BOARD	WTR	- WATER
EW	- EACH WAY	PSL	- PARALLEL STRAND LUMBER	WWW	- WELDED WIRE MESH
EXP	- EXPANSION	PW	- PICTURE WINDOW		
		REF	- REFERENCE		
		REINF	- REINFORCEMENT		
		REQD	- REQUIRED		
		FRIDGE	- REFRIGERATOR		

## SHEET LEGEND

- |    |                         |
|----|-------------------------|
| GN | - GENERAL NOTES         |
| C1 | - SITE PLAN             |
| C2 | - ENLARGED GRADING PLAN |
| A1 | - MAIN FLOOR PLAN       |
| A2 | - EXTERIOR ELEVATIONS   |
| A3 | - EXTERIOR ELEVATIONS   |
| A4 | - ROOF PLAN             |
| A5 | - BUILDING SECTION      |

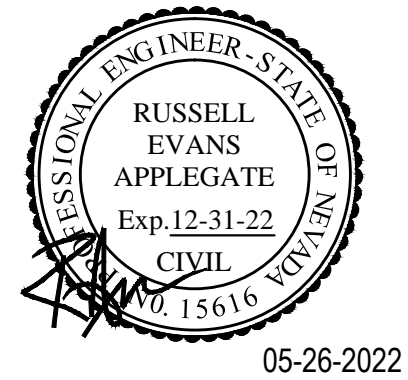
## DESIGN CRITERIA

DESIGN CODE	-	2018 IRC
ROOF LOADS:		
GROUND SNOW	-	30 PSF (ELEVATION < 5,000)
ROOF SNOW	-	23 PSF (cs=1.0; ce=1.0; ct=1.1;  s =1.0)
ROOF DL	-	20 PSF
FLOOR LOADS:		
FLOOR LL	-	40 PSF
FLOOR DL	-	20 PSF
WIND	-	120 MPH (V-ULT)
SEISMIC	-	CATEGORY D, SITE CLASS D
ALLOWABLE SOIL BEARING	-	1,500 PSF
FROST DEPTH	-	24"
WUI ZONE / IR CLASS	-	MODERATE / IR2 (CONFORMING DEFENSIBLE SPACE NON-CONFORMING WATER)



REVISION

DATE / NO.



PROJECT: NEW DETACHED ACCESSORY DWELLING FOR TAMI & ROBERT BROOKS

LOCATION: 110000 OSAGE ROAD WASHOE COUNTY, NV 89508 APN: 086-211-10

VERIFY SCALE  
THE PUBLISHED SCALE IS INTENDED FOR 24"x36" DRAWINGS

SCALE: SEE PLAN  
COMPUTER FILE: GN-NOTES.DWG  
DRAWN BY: RA  
ISSUE DATE: 05-26-2022  
JOB NUMBER: 22-0502  
SHEET TITLE:

GENERAL NOTES

DADAR SET

SHEET NUMBER

GN

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APPLEGATE DESIGN







**GRADING PLAN NOTES**

1. SLOPE FINISH GRADE AWAY FROM BUILDINGS AT THE FOLLOWING SLOPES:  
2.0% MIN. FOR IMPERVIOUS SURFACES  
5.0% MIN FOR EARTH & AND PERVIOUS SURFACES
2. REMOVE ALL VEGETATION IN PAVEMENT AND BUILDING AREAS PRIOR TO EXCAVATION.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT AND CONTROL SITE STORMWATER DISCHARGE DURING CONSTRUCTION TO PROTECT EXISTING SLOPES, ADJACENT PROPERTIES, AND WATER WAYS FROM EROSION DAMAGE AND SEDIMENT IN ACCORDANCE WITH THE TRUCKEE MEADOWS STORMWATER QUALITY MANAGEMENT PROGRAM.

**GRADING LEGEND**

- 5090--- EXISTING 10' CONTOUR
- 5088--- EXISTING 2' CONTOUR
- 5090— PROPOSED 10' CONTOUR
- 5088— PROPOSED 2' CONTOUR
- ∞∞∞∞∞ LANDSCAPE RETAINING WALL
- ...→ DRAINAGE SWALE
- - - - - PROPOSED / EXISTING GRADE CATCH LINE
- 5090.0 FG PROPOSED SPOT ELEVATION

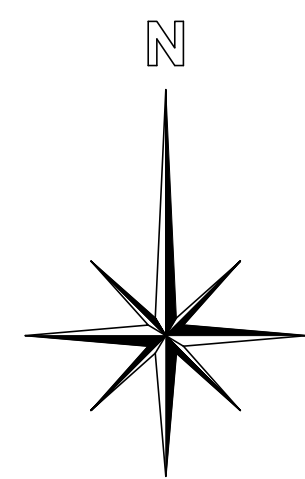
**OWNER INFORMATION**

ROB & TAMI BROOKS  
11000 OSAGE ROAD  
WASHOE COUNTY, NV 89508  
(775) 233-8832

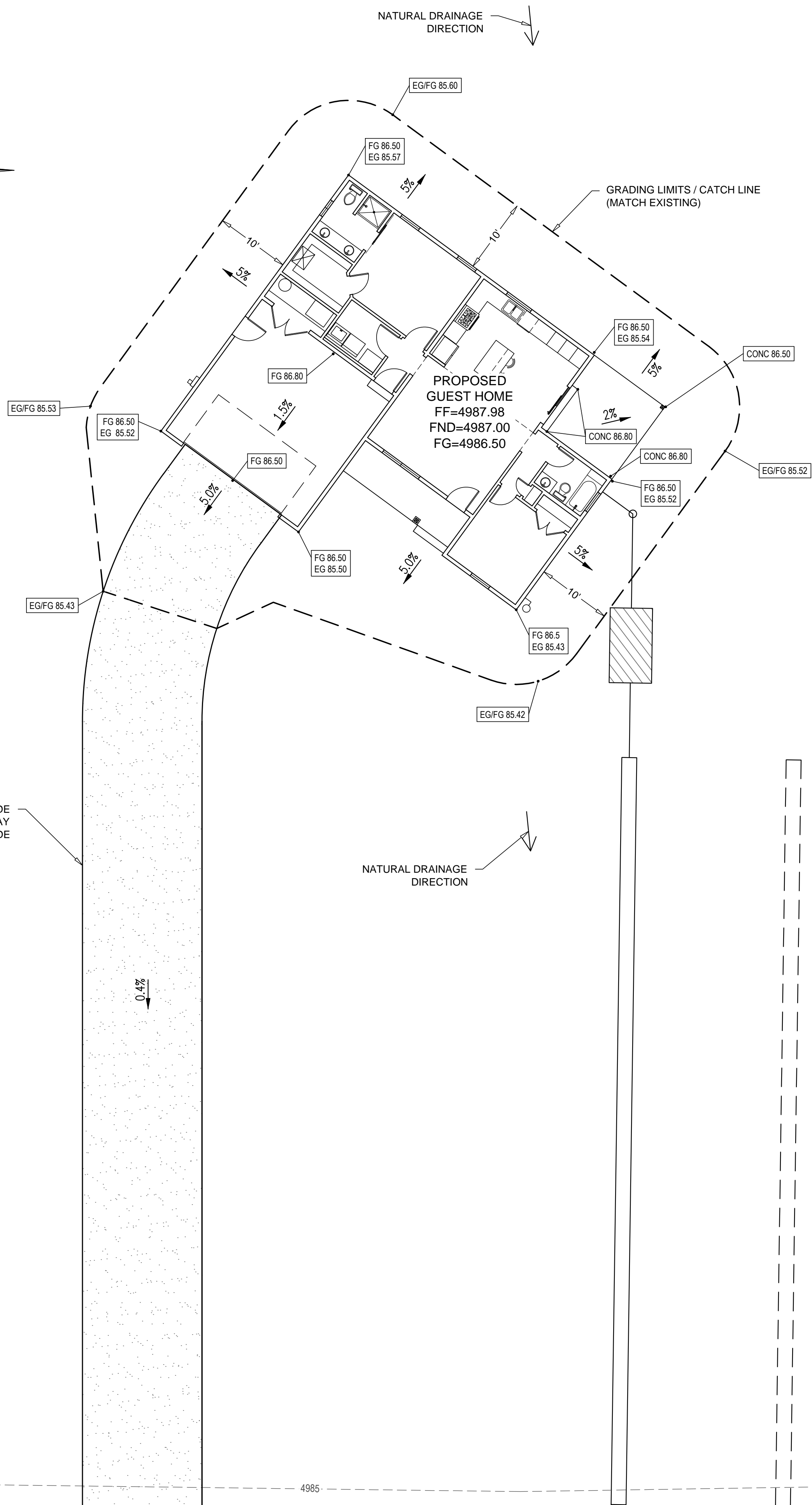
EARTHWORK QUANTITIES	
DISTURBED AREA (SF)	7,150 SF
CUT (CY)	88 CY
FILL(CY)	60 CY
NET (CY)	28 CY CUT

VOLUMES LISTED ABOVE ARE "NEAT LINE" IN-PLACE SOIL VOLUMES, AND ARE NOT ADJUSTED FOR SHRINKAGE OR BULKING  
  
VOLUMES ARE TAKEN FROM THE TOP OF AGGREGATE BASE LAYER AND INCLUDE THE AGGREGATE BASE LAYER. THE CONCRETE SLAB IS NOT INCLUDED.

PROPOSED 16' WIDE GRAVEL DRIVEWAY MATCH EX. GRADE



NATURAL DRAINAGE DIRECTION



**ENLARGED GRADING PLAN**  
1" = 10'



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**GRADING PLAN**

DADAR SET

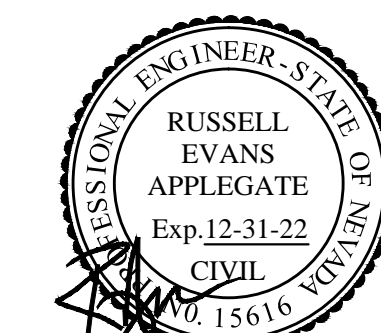
SHEET NUMBER

**C2**

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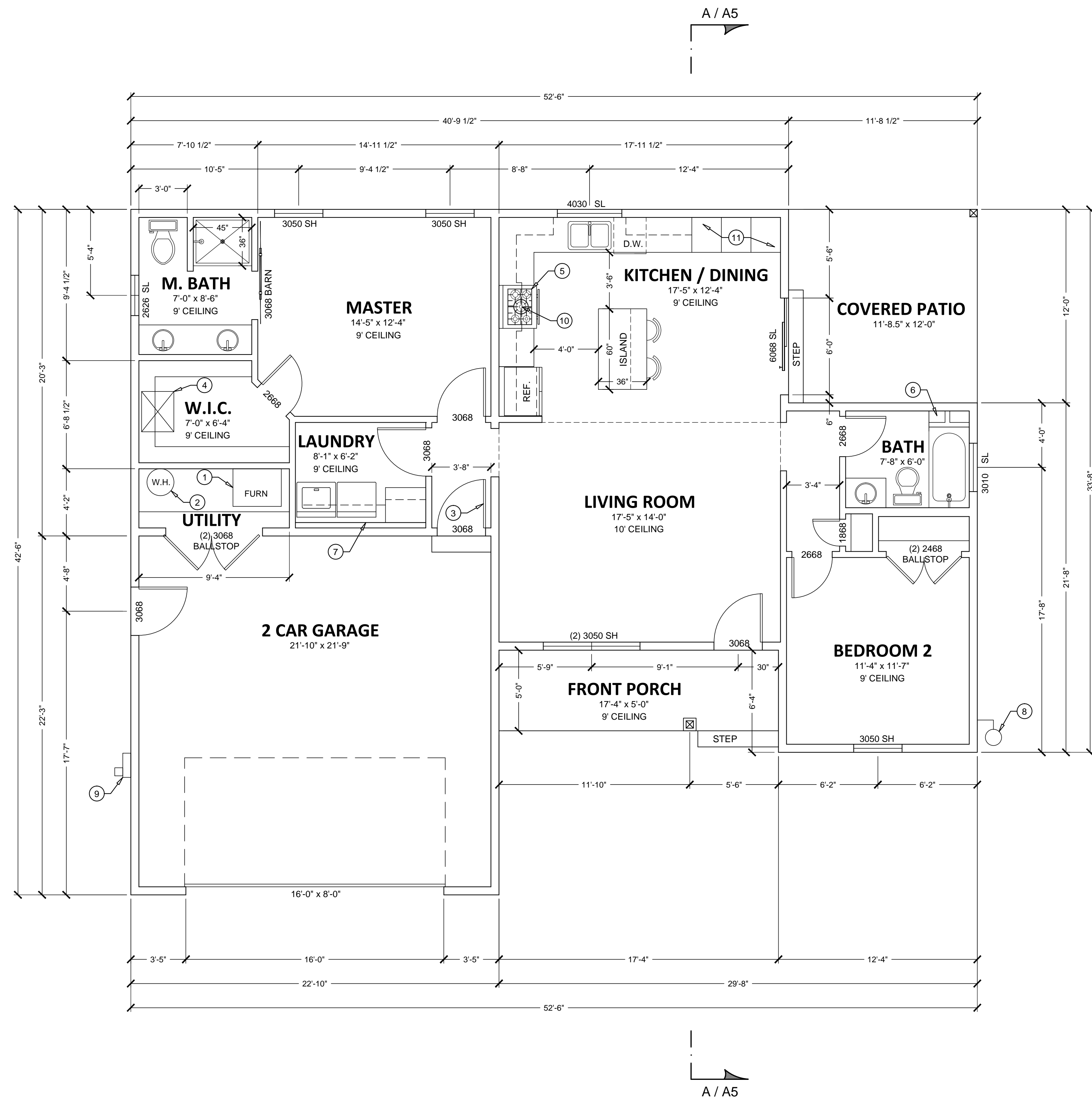


05-26-2022

**APPLEGATE DESIGN**

- CIVIL ENGINEERING
- STRUCTURAL DESIGN
- SPECIAL INSPECTIONS

1716 Fieldcrest Drive, Sparks Nevada 89434  
Tel: 775.453.0063  
Email: russ@appegate.design



MAIN FLOOR PLAN

1/4" = 1'

**WINDOW & DOOR GLAZING NOTE**

ALL WINDOW & DOOR GLAZING SHALL BE DOUBLE PANE, LOW E GLAZING WITH A MAX. U-FACTOR OF 0.32.

**KEYED NOTES**

1. GAS FURNACE. DESIGN BY CONTRACTOR. INSTALL ON PLATFORM 18" MIN. ABOVE GARAGE FLOOR.
2. GAS WATER HEATERS. DESIGN BY CONTRACTOR. INSTALL ON PLATFORM 18" MIN. ABOVE GARAGE FLOOR. PROVIDE SEISMIC BRACING PER M2801.8
3. GARAGE MANDOOR. SHALL BE 1 HOUR FIRE RATED W/ SELF CLOSING HINGES
4. 18" x 24" MIN. CRAWL SPACE ACCESS. REF. FLOOR FRAMING PLAN.
5. OVERHEAD COOKTOP EXHAUST HOOD. HOOD WIDTH MUST NOT BE LESS THAN COOKTOP. PROVIDE DUCTED VENT TO EXTERIOR WITH A BACKDRAFT DAMPER. PROVIDE 24" CLEARANCE FROM COOKTOP TO ANY COMBUSTIBLE MATERIAL. INSTALL PER MANUFACTURERS RECOMMENDATIONS. REF. IRC SECTION M1503.
6. LINEN SHELVES
7. 2x4 PLUMBING WALL FRAMED DIRECTLY TO INSULATED 2x6 GARAGE WALL. INSTALL WASHER PLUMBING IN PLUMBING WALL. NOTE: NO PLUMBING IS ALLOWED WITHIN THE INSULATED WALL ENVELOPE.
8. GAS METER. COORDINATE W/ NV ENERGY.
9. ELECTRICAL METER. COORDINATE W/ NV ENERGY.
10. MICROWAVE OVEN ABOVE RANGE. IN CABINETS.
11. PANTRY CABINET W/ SLIDING DRAWERS COORDINATE W/ OWNER.

**FLOOR AREA**

MAIN FLOOR - 1,215 SF  
GARAGE - 505 SF

**DIMENSIONS & FLOOR AREA NOTE**

1. UNLESS NOTED OTHERWISE, EXTERIOR DIMENSIONS GIVEN ARE TO OUTSIDE OF FOUNDATION WALL, AND INTERIOR DIMENSIONS ARE TO FINISH SURFACE.
2. FLOOR AREAS GIVEN ARE MEASURED FROM OUTSIDE OF EXTERIOR WALL AND INCLUDES STAIRWELLS AND INTERIOR WALL PARTITIONS.

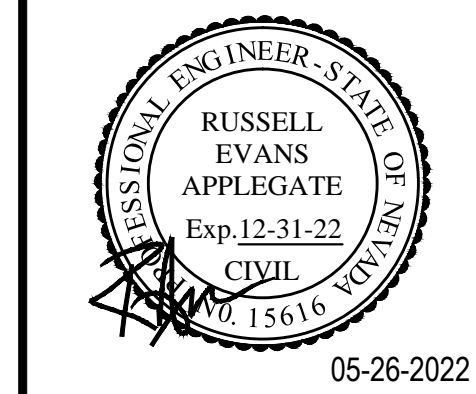
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Tel: 775.453.0063  
Email: russ@apppgate.design

DATE	NO.	REVISION



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<b>FLOOR PLAN</b>

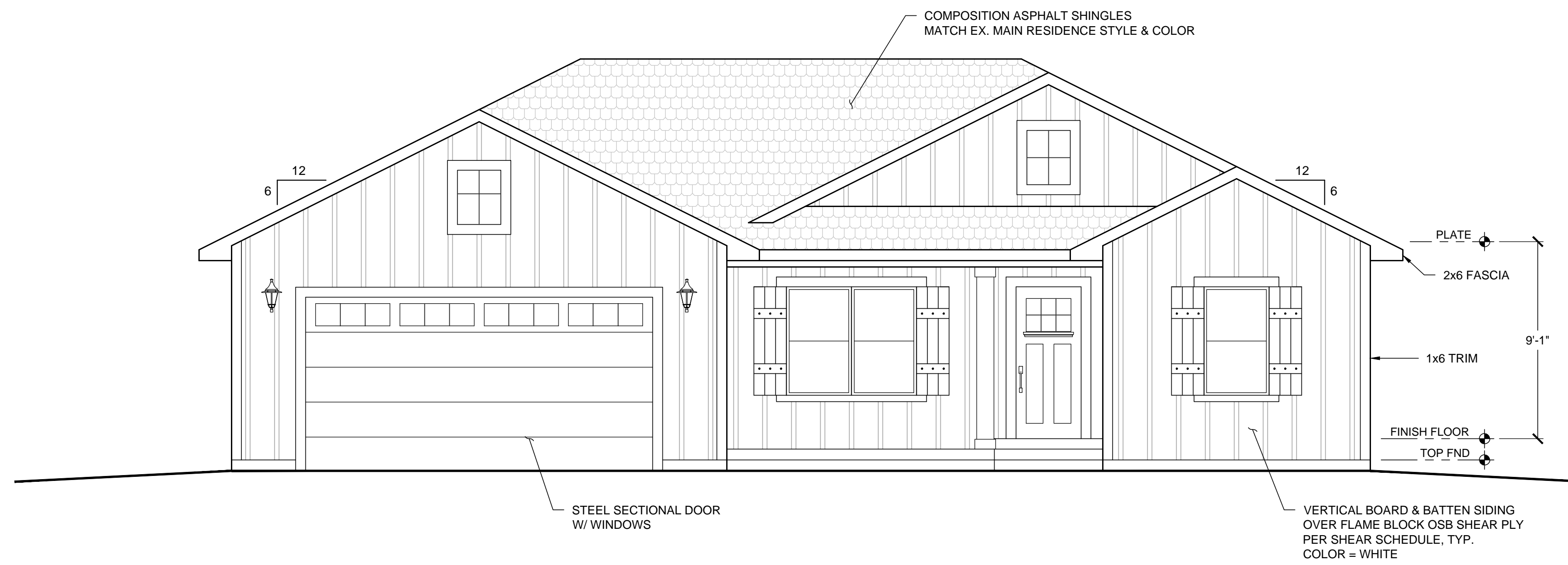
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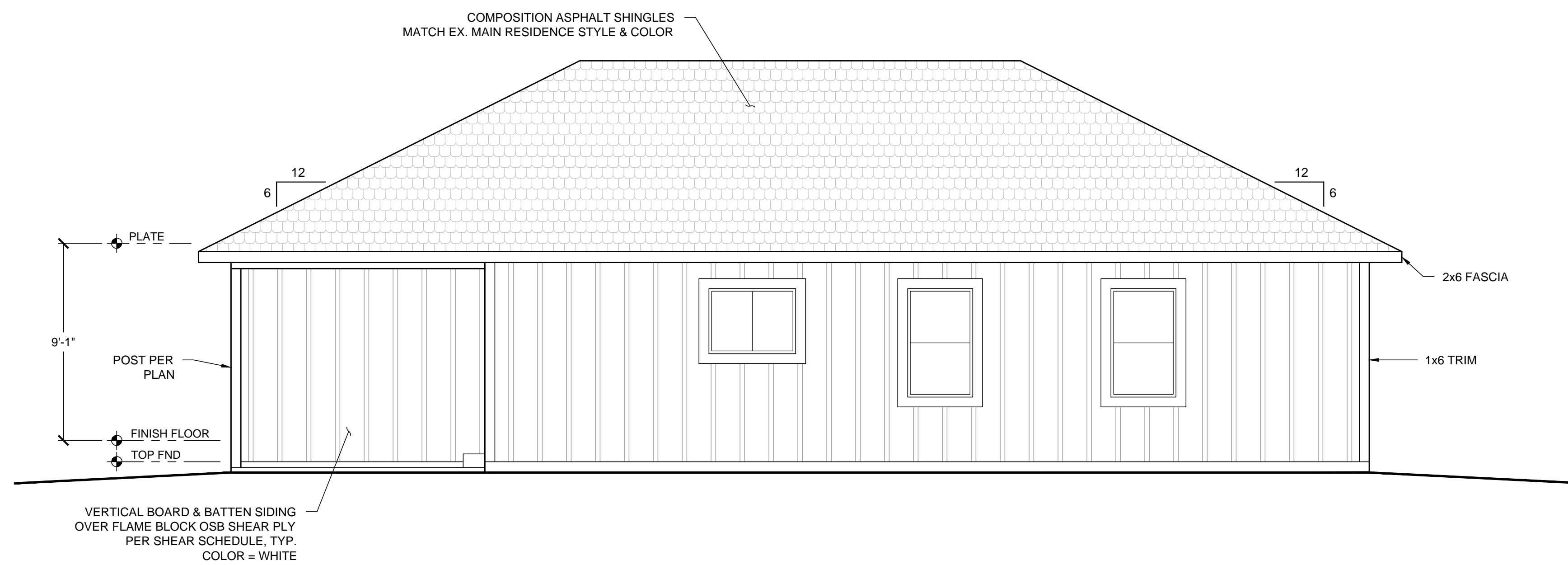
SHEET NUMBER

# A1





**FRONT ELEVATION**  
1/4" = 1'



**REAR ELEVATION**  
1/4" = 1'

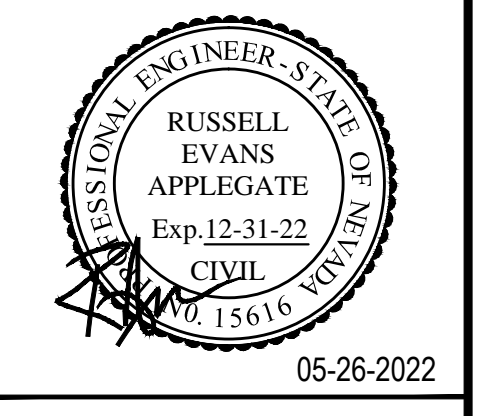
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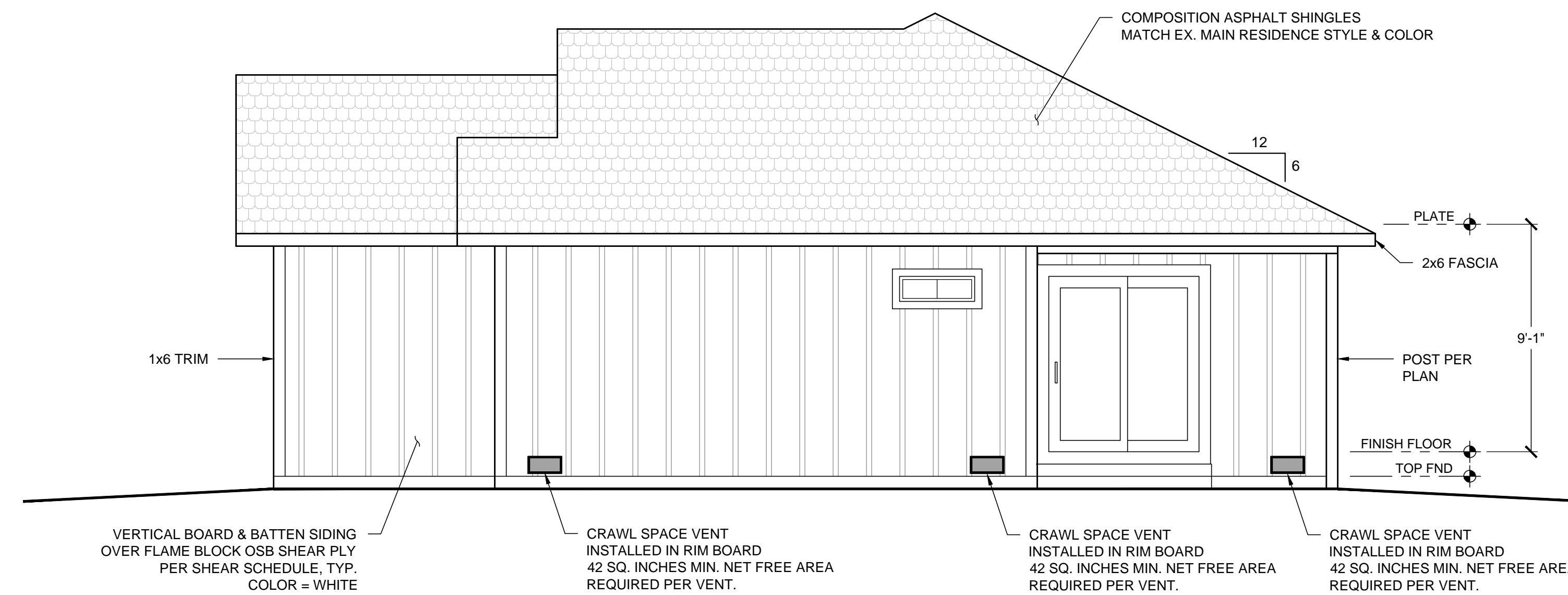
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SHEET TITLE:

**EXTERIOR ELEVATIONS**

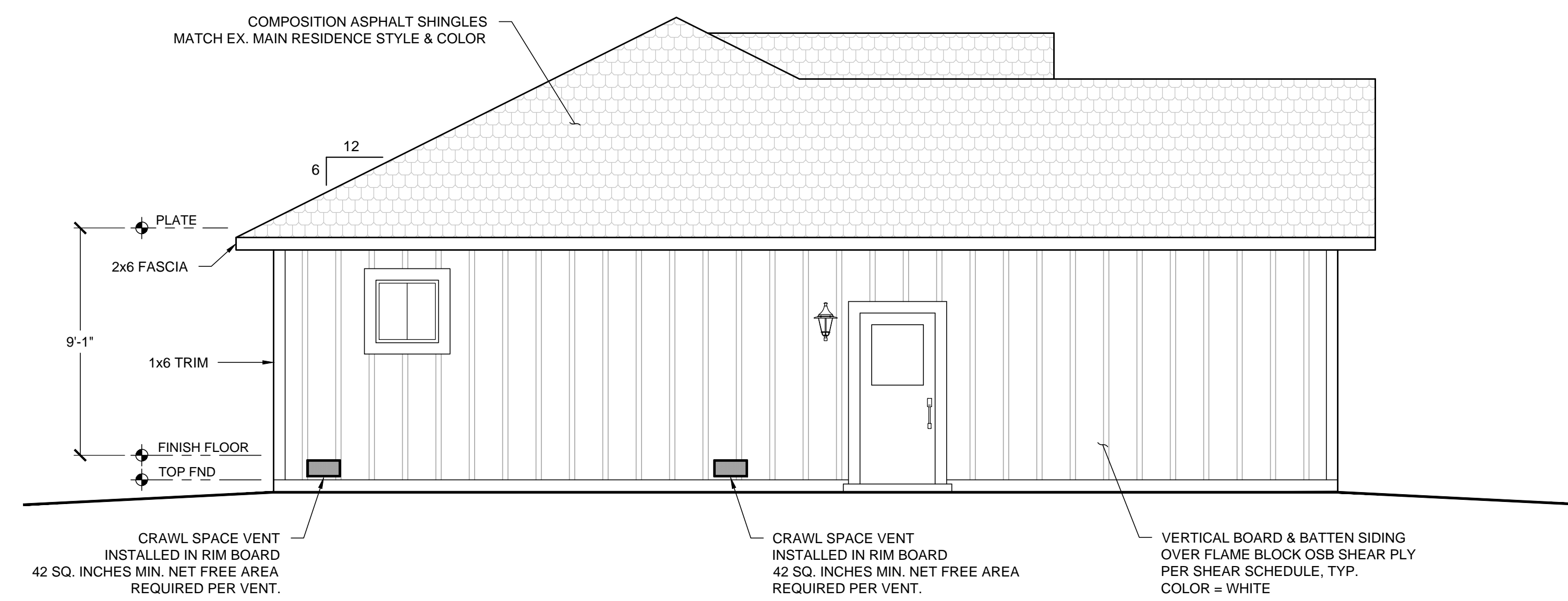
APPLGATE DESIGN

DADAR SET  
SHEET NUMBER

**A2**



**RIGHT ELEVATION**  
1/4" = 1'



**LEFT ELEVATION**  
1/4" = 1'

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**APPLGATE DESIGN**  
 • CIVIL ENGINEERING  
 • STRUCTURAL DESIGN  
 • SPECIAL INSPECTIONS  
 1716 Fieldcrest Drive, Sparks Nevada 89434  
 Tel: 775.453.0063  
 Email: russ@applgate.design

REVISION	DATE	NO.

**RUSSELL EVANS APPLGATE**  
 Exp. 12-31-22  
 CIVIL  
 No. 15616  
 05-26-2022

**PROJECT:** NEW DETACHED ACCESSORY DWELLING FOR TAMI & ROBERT BROOKS  
**LOCATION:** 110000 OSAGE ROAD WASHOE COUNTY, NV 89508  
 APN: 086-211-10

**VERIFY SCALE**  
 THE PUBLISHED SCALE IS INTENDED FOR 24"x36" DRAWINGS

SCALE: SEE PLAN  
 COMPUTER FILE:

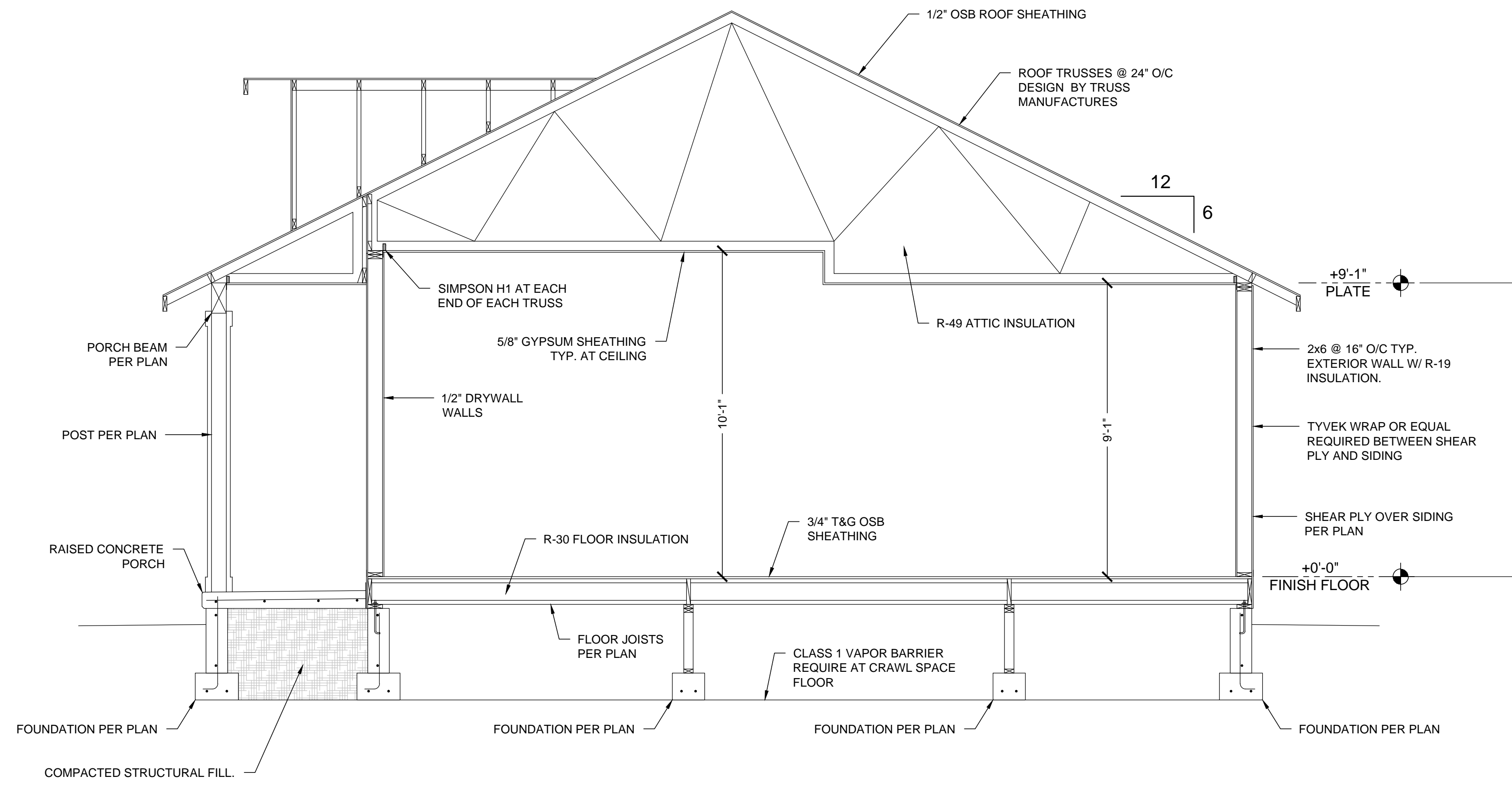
DRAWN BY: RA  
 ISSUE DATE: 05-26-2022  
 JOB NUMBER: 22-0502  
 SHEET TITLE: **EXTERIOR ELEVATIONS**

APPLGATE DESIGN

DADAR SET  
 SHEET NUMBER  
**A3**







SECTION A-A  
 3/8" = 1'

APPLEGATE DESIGN

**APPLEGATE DESIGN**  
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 1716 Fieldcrest Drive, Sparks Nevada 89434  
 Tel: 775.453.0063  
 Email: russ@appegate.design

REVISION	DATE	NO.

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05-26-2022

**PROJECT:** NEW DETACHED ACCESSORY DWELLING FOR TAMI & ROBERT BROOKS  
**LOCATION:** 110000 OSAGE ROAD WASHOE COUNTY, NV 89508 APN: 086-211-10

**VERIFY SCALE**  
 THE PUBLISHED SCALE IS INTENDED FOR 24"x36" DRAWINGS  
 SCALE: SEE PLAN  
 COMPUTER FILE: SECTIONS.DWG  
 DRAWN BY: RA  
 ISSUE DATE: 05-26-2022  
 JOB NUMBER: 22-0502  
 SHEET TITLE:

**SECTIONS**

DADAR SET  
 SHEET NUMBER  
**A5**