



Washoe County  
1001 E Ninth St  
Reno, NV 89501

Date: 2023-07-08

**SUBJECT:** 25 Arabian Way et. Al. RENG Project #  
APN's 078-142-22, 078-400-01, 078-142-16, 078-142-15 1-2287-01.004  
WSUP23-0013  
Special Use Permit – Response to Preliminary Review

Robison Engineering submitted a Special Use Permit (SUP) application for this property in April, 2023. Processing of the SUP was postponed twice, following preliminary reviews by Washoe County Planning which determined that the application, as submitted, would have been recommended for denial due to extraordinary unpermitted construction and community impact.

The unpermitted construction consists of clearing approximately 26 acres across several parcels of vegetation, and approximately 18,000 cubic yards of cut/fill earthwork within about 5 acres of the parcel owned by the applicants. Both the vegetation clearance and earthwork are in violation of several Washoe County codes, in addition to being done without approved plans or issued permits. This application documents these impacts and proposes remedial work to restore code compliance. This application also incorporates the approval, by signed Property Owner Affidavit, of the owners of each of the adjacent affected parcels.

The unpermitted vegetation removal was done under the mistaken understanding that clearing and grubbing to reduce fire danger was desirable and allowed; this understanding was shared by the owners of neighboring parcels, and similar work is visible in other parcels in the area. Though the action was wrongful, it was not willfully malicious.

The unpermitted grading was done out of frustration with an extraordinary delay in building permitting, and without due care to refer to allowable earthwork without permits. The constructed pad reflects the owners' desired residential home and grounds, and facilitated bringing electrical service and a well onto the parcel, which were desired improvements and were properly permitted with the utility and Nevada Division of Water Resources. Again, the wrongful action was not malicious and was felt by the owners to be a material improvement to the land.

All work violates a number of Section 110 codes and the North Valleys Area Plan, however the most challenging quantified section, and the driver of the attached plans, is below:

**1) Section 110.438.45 Grading of Slopes**

- a) Finish grading shall not vary from the natural slope by more than ten (10) feet in elevation. Exposed finish grade slopes greater than ten (10) feet in height may be allowed upon the approval of a director's modification of standards by the Director of Community Development upon recommendation by the County Engineer. Approval of a director's modification of standards requires a determination that:
  - i) The proposed cut and/or fill slopes include stepped-back structural containment (retaining walls) that form terraces, and;



- ii) The proposed terraces include landscaping, are a minimum of six (6) feet in width, and have a slope flatter than three horizontal to one vertical (3:1)
- iii) Retaining walls used to create terraces are limited to a maximum vertical height of ten (10) feet, when located outside any required yard setback.
- iv) Terrace widths shall be at least sixty (60) percent of the height of the higher of the two (2) adjacent retaining walls.
- v) Bench widths shall be at least four (4) feet.

*As shown on sheet C0.1 of the plans (Attachment 3), comparing the existing grade to original, there is one area where a cut of approximately 20ft was made in violation of the above code. The plans show two potential grading designs to bring the site into compliance: Sheet C1.0 shows a design including a pair of proposed stepped retaining walls which are compliant with the above specifications, but would be subject to a Director's Modification. A director's modification of standards application is included in this submittal – see Attachment 3. While this stepped wall design does remedy the code violation and accomplishes compliance, it may incur great financial cost to the owner, and the granting of a Director's Modification is not certain. As such, the plans include an alternative grading design that also brings the site into compliance by reducing all cuts to less than 10 feet, and omits any retaining walls. Sheet C2.0 of the plans shows both the proposed grading design. We request that both options be approved so that their feasibility can be determined.*

Below is a list of written comments provided by Washoe County in preliminary review, followed by an explanation of how the proposed site improvements respond to these concerns.

In response to Chris' email of 2023-04-13, we offer the following:

- The property was graded without permits and vegetation was removed entirely on the property (Appears so on Satellite)
  - The application should account for all disturbed areas including the areas that were cleared of vegetation and/or if any areas were grubbed.  
*The application includes an earthwork summary that accounts for all grubbed/cleared areas – see Attachment 1.*
  - Currently the application identifies 208,000sf or 4.77 acres of sf. The site is 24.180 acres roughly – and appears to have been fully disturbed.  
*The application includes an earthwork summary that accounts for all grubbed/cleared areas – see Attachment 1.*
- The satellite views on Washoe Regional Mapping System show that the property owners graded over 3 additional properties.
  - If the other property owners would want to legalize the grading/clearing done on their property we would need affidavits and their area included on the application.  
*The amount of neighboring area that was graded is now summarized in the earthwork summary on the plans, and all topography and disturbance areas are calculated from a new aerial survey performed by Robison Engineering. See Attachment 5 for owner affidavits.*



- The application needs a narrative explaining what happened, why the property got graded without permits, why the property got cleared of vegetation without permits etc.  
*Please see the introductory remarks above. Robison Engineering has met extensively with the Williams and the appropriate Washoe County reviewing staff, and sincere efforts are being made to ensure this development will accomplish code compliance*
- A narrative explaining the project request overall would be beneficial.  
*The ultimate project request is to construct a single family residence – a home to live in – and to create more usable area on this land. Mark and Michelle regret their original design and permitting path, and have retained a reliable home designer, Landmark Home and Land Company, Inc for ‘inside the walls’, and Robison Engineering ‘outside the walls,’ as well as L.A. Studio Nevada to design a robust revegetation and irrigation plan, in order to assure a permitted, buildable, livable structure, and restore the visual integrity and natural vegetative nature of the property. This SUP application is the first step back into viability.*
- A narrative explaining how the proposed grading meets the requirements of Article 424 (Listed Below) is required – You would want to provide a blurb on each item and how the project meets it – I can provide an example others have utilized for this If requested.  
*To be clear, the grading that has been performed is not currently compliant with Washoe County Code, and the below responses justify how the proposed grading will bring the site into compliance when compared to the original, untouched site.*

**Section 110.424.00 Purpose.** The purpose of this article, Article 424, Hillside Development, is to regulate hillsides in a manner different from regulation of flat terrain. This article establishes provisions for developing, preserving and protecting hillsides and ridgelines within Washoe County. The intent of these regulations is to protect the public health, safety and welfare by:

- (a) Minimizing use of slopes subject to instability, erosion, landslide, flood hazards or drainage problems;  
*As shown on the plans, all cleared/grubbed areas are proposed to be revegetated with native plant mixes with the intention of restoring the site to original vegetative conditions, which did not have any significant erosion issues. Existing conditions include areas with slopes steeper than 3:1 and are unvegetated, with little to no stabilization. The proposed grading and landscape plans correct this – all graded slopes shall be 3:1 or gentler, and revegetated for permanent stability.*
- (b) Minimizing the careless alteration of and disruption to the natural topography and landscape;  
*The performed earthwork cannot be undone, but the solution has been prepared with an exceptional level of care to bring the site into compliance – the intention of these plans is to present a site design that would have been acceptable to The County had it been presented prior to any earthwork.*
- (c) Providing safe and adequate vehicular and pedestrian access to and within hillside areas, including emergency access;



*The cut-fill and up-contour roads improved vehicular access to the community-owned APN 078-400-01. Per Attachment 3, most of these roads will be reclaimed, however their routes may provide emergency response access. Final building plans will be developed in coordination with the Rancho Haven Property Owners Association to preserve desirable access, if appropriate.*

- (d) Establishing stormwater runoff and erosion control techniques to minimize adverse water quality impacts resulting from non-point runoff;  
*Attachments 3 and 4 preliminarily presents best management practices. The terminal receiving waters; an unnamed stream draining Lees Flat, is miles of developed land removed from erosion on the parcel.*
- (e) Encouraging innovative grading techniques and building design which respond to the hillside terrain and natural contours of the land;  
*As previously mentioned, the proposed grading design has been prepared with great care and extensive analysis of the original grade, the existing grade, and the proposed grade. The level of detail and information on the plans far exceeds what is usually provided for a residential construction project, and appropriately so given the circumstances of this application.*
- (f) Minimizing impacts on existing trees and vegetation which reduce erosion, stabilize steep hillsides, enhance visual quality, protect water quality and preserve critical watershed recharge areas;  
*The damage to existing vegetation was performed in good faith to reduce fire danger, and as previously mentioned, there is no way to completely undo it. However, the owners have the clear intention to restore the vegetative conditions as closely as possible to what previously existed as shown by the recruitment of L.A. Studio Nevada.*
- (g) Encouraging the transfer of density to avoid hazardous areas and to protect environmentally sensitive and open space areas; and  
*The intent of this provision is slightly improved by the combination of two potential developed parcels into one parcel; particularly in that Lot 266/former APN 078-142-13 was nearly 100% comprised of land steeper than 15%. Generally, given the size of the parcel and general location (Red Rock), there exist no density issues, and the proposed site design removes potentially hazardous areas (erosional gullies and over-steepened areas).*
- (h) Minimizing impacts on prominent ridgelines, significant viewsheds, canyons and visually prominent rock outcroppings which reflect the visual value and scenic character of hillside areas.  
*The impact will be mitigated by the proposed vegetation per the landscape plan, restoring, in compliance with code, the natural visual value and scenic character.*



- Currently the application identifies the southern/south west portion of the fill? Slope as 2:1 – this is not allowed per Article 438 or the North Valleys Area Plan Policy - NV.9.3.  
*The plans show a revised grading design where no grades slopes steeper than 3:1 are proposed, and any existing slopes steeper than 3:1 have been remedied.*
- The application is showing fill slopes of greater than 10 feet. Some look to be in the range of 25 to 30 feet. This is not allowed per Washoe County Code, however the code section which will be pasted below outlines the process to allow it via a directors mod (Which can be just part of the SUP request)  
*The introductory code analysis provided at the beginning of this letter addresses this comment. See Attachment 2 for the director's modification application.*
- The site does show rocks organized in piles on the northern section of the graded pad, the grading proposal should include these rocks as part of the request, so if you assume that it's 2,300 cy of additional material or whatever it may be – it should be reflected on the plans.  
*See Attachment 4: the site-sourced and imported rock (obtained during cut/fill earthwork, and in some cases donated by friends and neighbors eager to have their stone piles off their parcels) will be incorporated into the remedial grading plan.*
- The grading application should also identify what is going to happen to the rocks, will they be exported? Will they be used for walls?  
*All of the rock material found onsite will be used for rockery walls or grading stabilization as specimen on-slope rocks embedded to at least ½ their total size (similar to highway bank stabilization currently utilized by NDOT).*
- Please note that the satellite view of the parcel does show vehicles on site, having vehicles stored on vacant parcels is not permissible under Washoe County Code  
*The owners have been made aware of the requirement to remove the vehicles and have complied: no construction materials, vehicles, temporary buildings, shipping containers, or other manmade items except the well and electrical service remain on the parcel as of the date of this re-submittal.*
- Revegetation of the entire site will be a condition related to the application.  
*See Attachment 4.*
- Please note that temporary irrigation will be required on all revegetation areas, as part of the revegetation condition.  
*See Attachment 4.*

Robison Engineering Company, Inc  
846 Victorian Ave, Suite 20, 89431  
775-852-2251  
www.robisoneng.com



Please contact me or Luke Doyle at [luke@robisoneng.com](mailto:luke@robisoneng.com) or 775-852-2251 x 736 with any questions regarding this application.

Sincerely,

ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS  
Principal Engineer  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)  
(775) 852-2251 x 700



Attachments:

1. Special Use Permit Development Application – revised.
2. Director's Modification of Standards
3. Civil Engineering Plans
4. Landscape and Irrigation Plans
5. Neighbor Affidavits

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: <u>WSUP23-0013</u>	
Project Name: <b>25 Arabian Way - Major Grading</b>			
Project Description: This application intends to remedy the illegal grading of 25.6 acres on four contiguous parcels			
Project Address: 25 Arabian Way			
Project Area (acres or square feet): 25.6 acres total disturbance: see breakdown by parcel below.			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>Properties directly south of the intersection of Red Rock Rd and Arabian Way</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
078-142-22	23.7	078-142-16	0.3
078-400-01	0.4	078-142-15	1.3
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: WILLIAMS, MICHELLE A & MARK A		Name: Robison Engineering Company, Inc	
Address: 25 ARABIAN WAY		Address: PO Box 1505	
RENO	Zip: 89508	Sparks	Zip: 89432
Phone: (707) 570-7286	Fax:	Phone: (775) 852-2251	Fax: 852-9736
Email: mamclure@icloud.com		Email: luke@robisoneng.com	
Cell:	Other:	Cell: (775) 297-5573	Other:
Contact Person: Michelle Williams		Contact Person: Luke Doyle	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: owner		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	PRIVATE - SEPTIC
b. Electrical Service	PUBLIC - NVE (EXISTING)
c. Telephone Service	PUBLIC (AT&T)
d. LPG or Natural Gas Service	PRIVATE - PROPANE (FUTURE)
e. Solid Waste Disposal Service	PUBLIC (WASTE MANAGEMENT/ EXISTING NEIGHBORHOOD ROUTE)
f. Cable Television Service	PUBLIC (TBD)
g. Water Service	PRIVATE - WELL (EXISTING)

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	NOT APPLICABLE	acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	RED ROCK VOLUNTEER FD (1.3 MILES NORTH)
b. Health Care Facility	RENOWN URGENT CARE (24.9 MILES SOUTH)
c. Elementary School	SILVER LAKE
d. Middle School	O'BRIEN
e. High School	TMCC / HUG
f. Parks	SILVER LAKE PARK
g. Library	NORTH VALLEYS LIBRARY
h. Citifare Bus Stop	MOYA BLVD



**Special Use Permit Application  
for Grading  
Supplemental Information**  
(All required information may be separately attached)

1. What is the purpose of the grading?

The purpose of the grading is to repair illegal grading to conform, to the highest degree possible, to Sections 424 and 438 which were violated by that grading.

2. How many cubic yards of material are you proposing to excavate on site?

Approximately 18,000 cubic yards has been excavated onsite. An additional 5,000 cubic yards of repair earthwork is proposed with this application.

3. How many square feet of surface of the property are you disturbing?

25.6 acres (~1.1 million sf) across the subject parcel and three adjacent parcels.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Approx. 18,000 cy has been graded over an area of 4.77 acres. An additional 5,000 cy is proposed over an area of 1.20 acres for remedial earthwork only.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. The illegally disturbed area and volume of earthwork both exceed major grading thresholds, therefore this SUP is necessary to respond to that work. See cover letter discussion.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

The grading of approximately 18,000 cy and the clearing of approximately 25.6 acres of vegetation across the four properties has already been performed. Please see the cover letter included with this application for an in-depth explanation.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, all areas that have and will be disturbed by grading are shown on the plan.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

The disturbed area can be seen from Arabian Way from the northwest, and Red Rock Road from the northeast of the property, and by the neighboring properties.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

N/A.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Currently, graded slopes are as steep as 2:1. The proposed reclamation grading per these plans will reconstruct all graded slopes to be 3:1 max. Both temporary and permanent (revegetation) BMPs will be used to prevent erosion, per these plans.

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Rockery walls with max heights of 6.0 ft are required and shown on the plans.

13. What are you proposing for visual mitigation of the work?

Revegetation of all disturbed areas will reduce the current visual impact.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No tree removal is required; no trees exist in the subject area. Approximately 25.6 acres of sage and other woody shrubs were removed; see accompanying cover letter.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

See final revegetation plans prepared by a licensed Landscape Architect.

16. How are you providing temporary irrigation to the disturbed area?

See final revegetation plans prepared by a licensed Landscape Architect.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

Yes, and their suggestions have been incorporated.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No <input checked="" type="checkbox"/>	If yes, please attach a copy.
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## Director's Modification of Standards Supplemental Information

(All required information may be separately attached)

1. What modification or deviation are you requesting? **Be specific.**

A cut with a height of approximately 20ft was graded, and per Washoe County Development Code Section 110.438.45, terraced retaining walls are proposed to bring this area of grading into compliance.

2. Why is the modification or deviation necessary to the success of the project/development? **Be specific.** Are there any extenuating circumstances or physical conditions on the proposed project/development site?

Much of the subject property originally had slopes that were too steep to construct on or to otherwise make use of. The purpose of the performed grading was to expand the amount of usable area on the property.

3. Are you proposing to mitigate the effect of the modification or reduction?

Inherently, the design is the proposed mitigation as this sort of wall system is specifically required per Section 110.438.45(c).

4. What section of code are you requesting to modify or deviate? **Be specific.** List the code section and if there are specific requirements for the modification, provide detailed information. For deviation, provide the percentage of the deviation.

Washoe County Development Code Section 110.438.45(c) - "Exposed finish grade slopes greater than ten (10) feet in height may be allowed upon the approval of a director's modification of standards by the Director of Community Development upon recommendation by the County Engineer."

5. For Minor Deviation request; list what properties/parcels are affected by the deviation? Explain if there will be any impacts to the affected neighboring properties. (At a minimum, affected property owners are those owners of parcels that immediately abut the location of the proposed minor deviation.)

The subject property is the only one directly affected: 25 Arabian Way, APN: 078-142-22. The only way the neighboring property owners are "affected" is that the wall features may be visible to them if they look at the property.

# 25 ARABIAN WAY SPECIAL USE PERMIT WASHOE COUNTY, NEVADA

## PROJECT AUTHORITY

OWNER: MICHELLE & MARK WILLIAMS  
25 ARABIAN WAY  
RENO, NV 89508  
(707) 570-7286  
m\_williams1013@outlook.com

CIVIL ENGINEER: ROBISON ENGINEERING COMPANY  
NATHAN ROBISON, PE  
846 VICTORIAN AVE, STE 20  
SPARKS, NV 89431  
(775) 852-2251 / 700  
(775) 852-9736 fax  
nathan@robisoneng.com

## SHEET INDEX

C0.0 TITLE SHEET, ORIGINAL CONDITIONS & TOPOGRAPHY  
C0.1 EXISTING CONDITIONS & TOPOGRAPHY  
C1.0 GRADING PLAN  
C2.0 GRADING PLAN - ALTERNATIVE DESIGN

## ABBREVIATIONS

APN ASSESSOR'S PARCEL NO.  
(E) EXISTING  
HDPE HIGH-DENSITY POLYETHYLENE  
LF LINEAR FEET  
NTS NOT TO SCALE  
(P) PROPOSED  
(R) DRAWN FROM RECORD  
R.O.W. RIGHT OF WAY

## PROJECT SUMMARY

JURISDICTION: WASHOE COUNTY  
COUNTY: WASHOE COUNTY, NEVADA  
ASSESSORS' PARCELS: 078-142-22 (PRIMARY), 078-400-01, 078-142-16, 078-142-15 (ADJACENT)  
PROPERTY: LOT 266 PER TM 5505  
ZONING: LDR  
FEMA FLOOD ZONES: X; FIRM MAP NO. 32031C2625H, REVISED JUNE 18, 2013  
SUMMARY OF WORK: CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, ON-SITE SEWAGE DISPOSAL SYSTEM, DOMESTIC WELL, ELECTRICAL SERVICE

## LEGEND

--- PROPERTY BOUNDARY  
--- ADJOINING PROPERTY BOUNDARY  
--- SETBACK  
--- EASEMENT  
/// (E) BUILDING  
--- (E) FLOW LINE  
--- (E) ROAD CENTERLINE  
F F (E) FIBER OPTIC  
E E (E) ELECTRICAL  
OHE OHE (E) OVERHEAD ELEC.  
TOE TOE (E) TOE OF SLOPE  
TOP TOP (E) TOP OF SLOPE  
--- (E) TOP OF SLOPE  
--- (P) LIMITS OF GRADING  
--- (P) FLOW LINE

## BASIS OF BEARINGS & ELEVATIONS:

• BASIS OF BEARINGS PER THE LINE BETWEEN WASHOE COUNTY CONTROL MONUMENTS N22SM01070 & N22SM0171  
• BASIS OF ELEVATIONS IS APPROXIMATE NAVD88 PER USGS 3DEP LIDAR

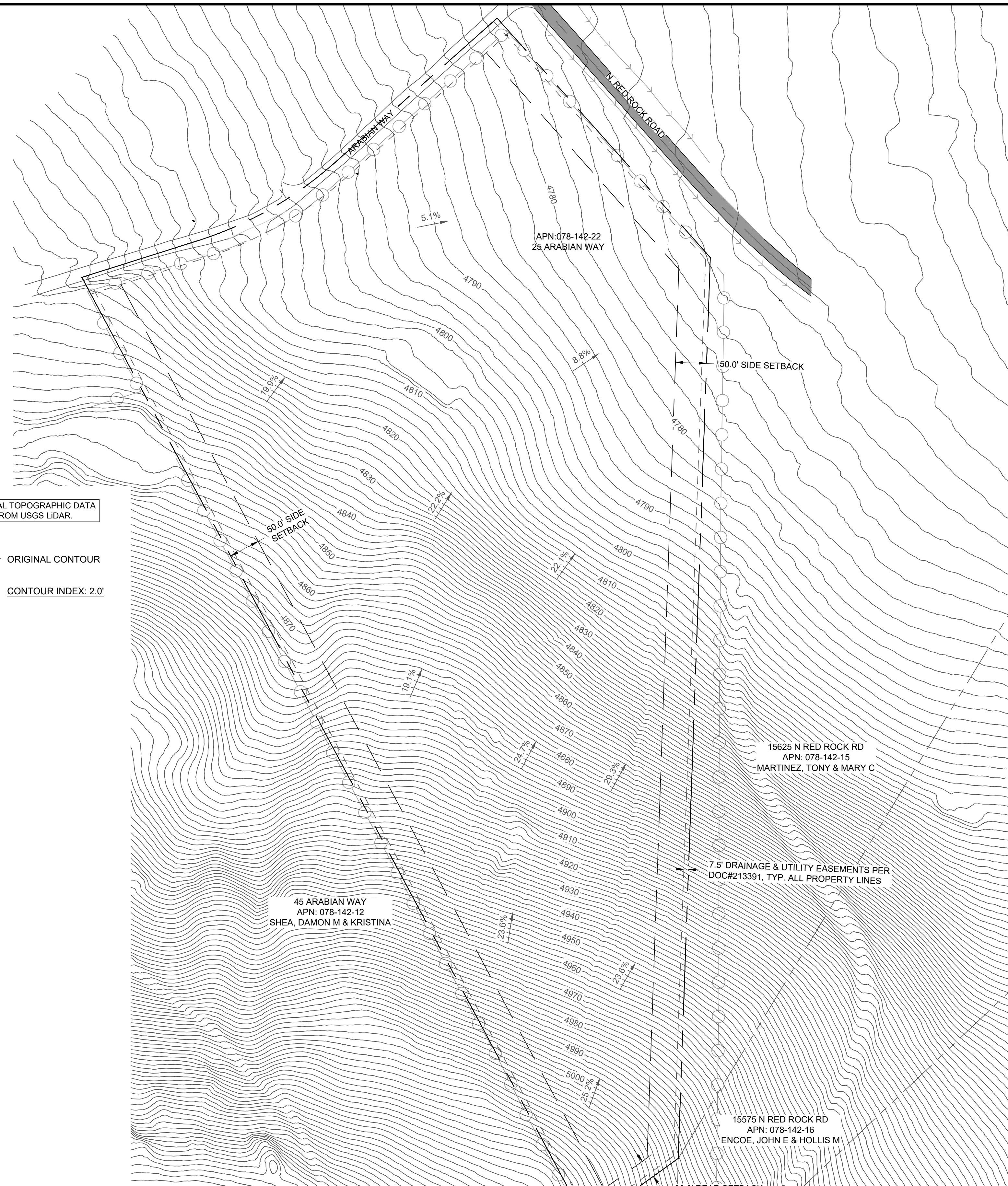
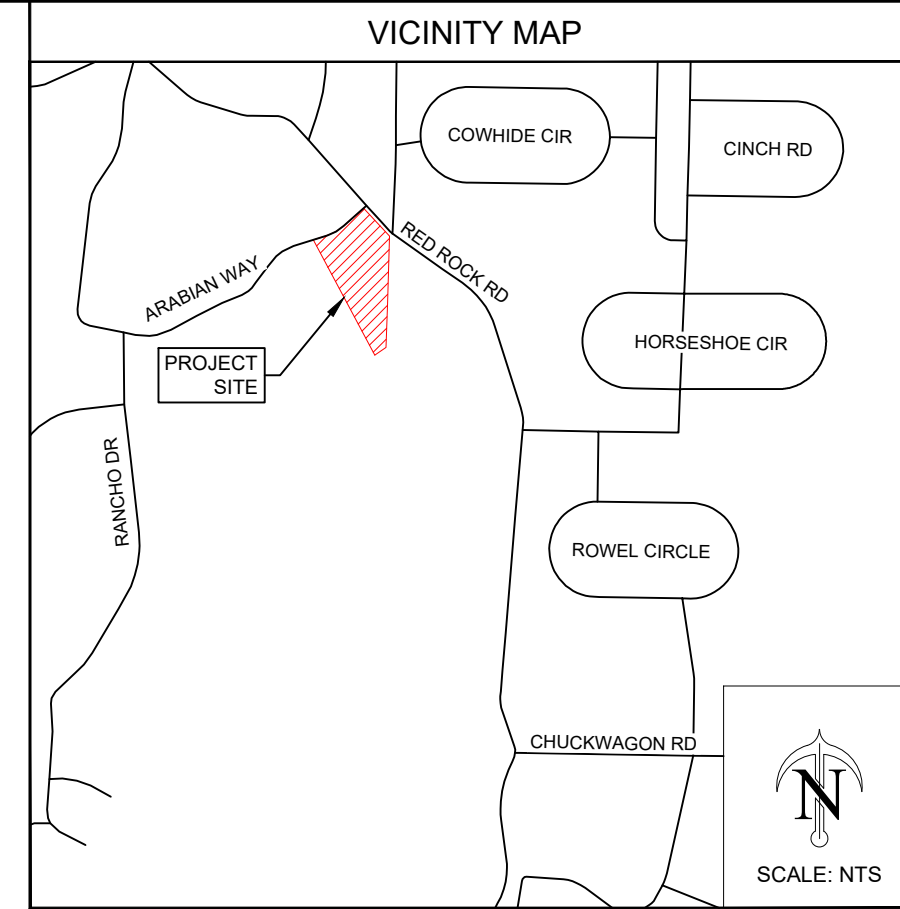
## EARTHWORK SUMMARY - ORIGINAL TO EXISTING CONDITIONS:

GRADED AREA: 25.95 ACRES  
CUT: 18,000 CY  
FILL: 18,000 CY  
NET: 0 CY (BALANCED)  
AREA DISTURBED\*\*:  
24.0 ACRES (APN: 078-142-22)  
0.34 ACRES (APN: 078-400-01)  
0.31 ACRES (APN: 078-142-16)  
1.30 ACRES (APN: 078-142-15)  
**25.95 ACRES (TOTAL)**

\*EARTHWORK SUMMARY FOR SUP DOCUMENTATION ONLY.  
\*\*APPROXIMATELY 25.95 ACRES OF THE WAS CLEARED OF EXISTING VEGETATION ACROSS THE SUBJECT PARCEL AND THREE ADJACENT/NEIGHBORING PARCELS.

## EARTHWORK SUMMARY - PROPOSED REPAIRS:

SEE GRADING PLANS.



NOTE: ORIGINAL TOPOGRAPHIC DATA IS SOURCED FROM USGS LIDAR.

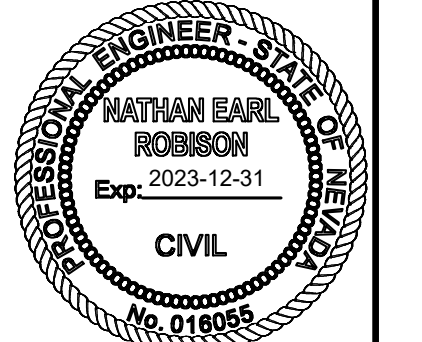
4850 ORIGINAL CONTOUR  
CONTOUR INDEX: 2.0'

## 25 ARABIAN WAY SPECIAL USE PERMIT

THE WETSTAMPED AND  
SIGNED COPY OF THIS PLAN  
SHALL BE SUBMITTED TO THE  
SUPERVISOR OF PLANNING  
AND ELECTRONIC  
NOTES AND CONTRACT  
AGREEMENT.

PREPARED FOR:  
**MICHELLE & MARK  
WILLIAMS**

**Robison Engineering**  
846 VICTORIAN AVENUE  
SPARKS, NV 89431  
WWW.ROBISONENG.COM  
(775) 852-2251



NO	DESCRIPTION	DATE	BY	CHKD
1	TM 5505	AUGUST 2022		
2	PERC TEST REPORT FROM RTGA	2023-02-15	LJD	
3	USGS LIDAR TOPOGRAPHIC DATA	2023-02-17	LJD	
4	ROBISON LIDAR TOPO. SURVEY APRIL 2023	2023-04-03	LJD	
5		2023-05-08	LJD	
6		2023-07-06	LJD	
7				
8				

## REFERENCES

NO	DESCRIPTION	DATE	BY	CHKD
P1	CLIENT REVIEW	2023-02-15	LJD	
P2	CLIENT REVIEW	2023-02-17	LJD	
0	SPECIAL USE PERMIT	2023-04-03	LJD	
1	SPECIAL USE PERMIT - REV1	2023-05-08	LJD	
2	SPECIAL USE PERMIT - REV2	2023-07-06	LJD	

## REVISIONS

NO	DESCRIPTION	DATE	BY	CHKD

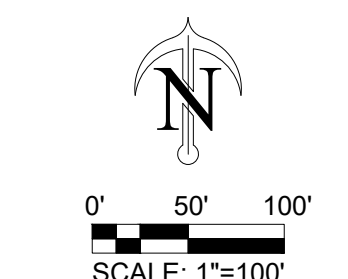
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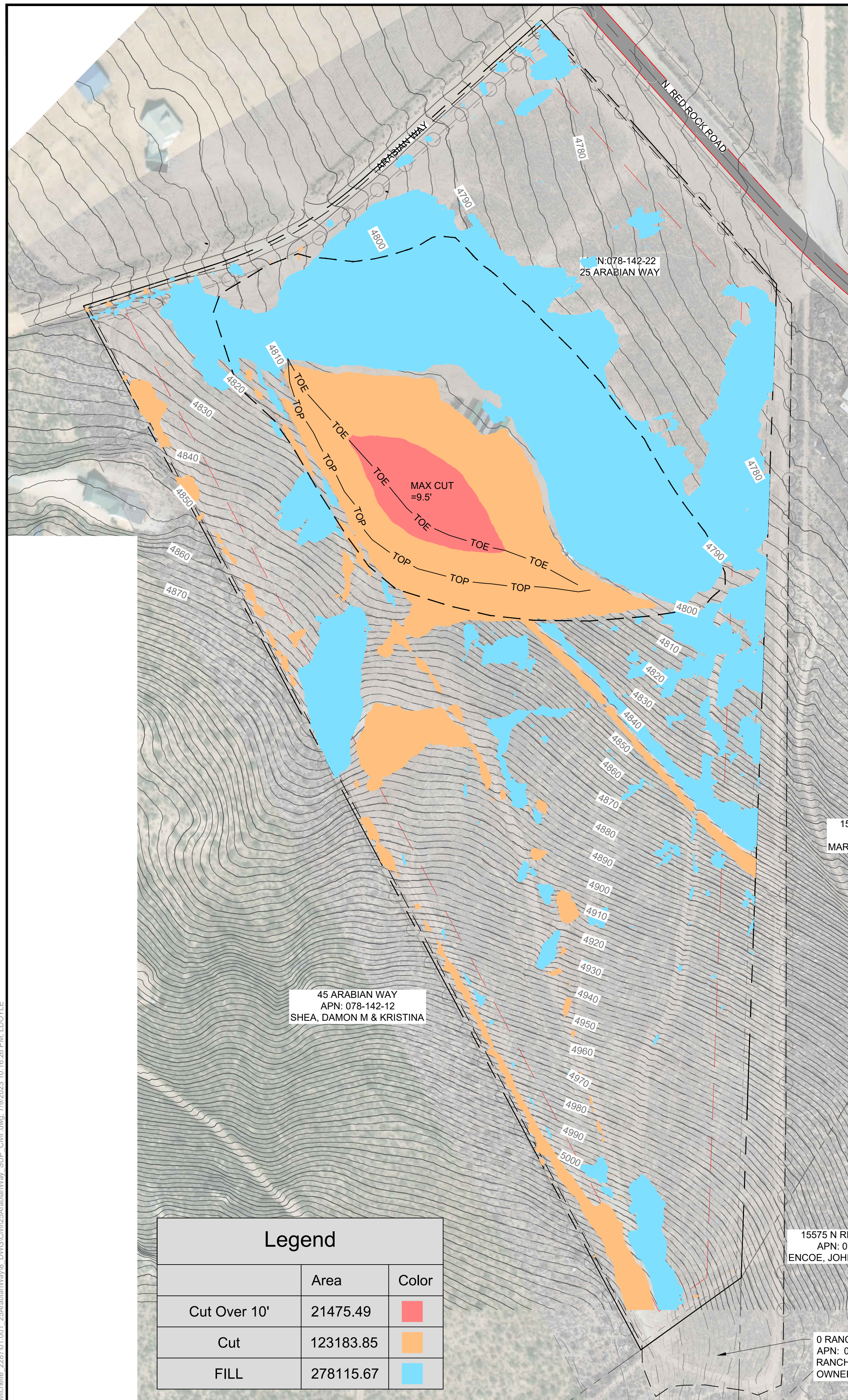
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SHEET 1 OF 4

TITLE SHEET, ORIGINAL CONDITIONS & TOPOGRAPHY  
WASHOE COUNTY  
PROJECT NO: 1-2287-01-001

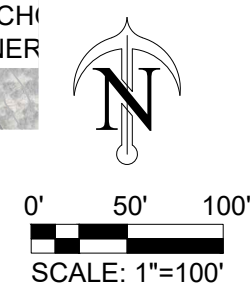
C:\Users\dmccarthy\OneDrive\Documents\25ArabianWay\25ArabianWay\_SUP\_Civil.dwg 7/6/2023 10:45:50 PM LDDVLE





Legend		
	Area	Color
Cut Over 10'	21475.49	Red
Cut	123183.85	Orange
FILL	278115.67	Blue

EXISTING CONDITIONS - CUT & FILL HEIGHTS FROM ORIGINAL GRADE

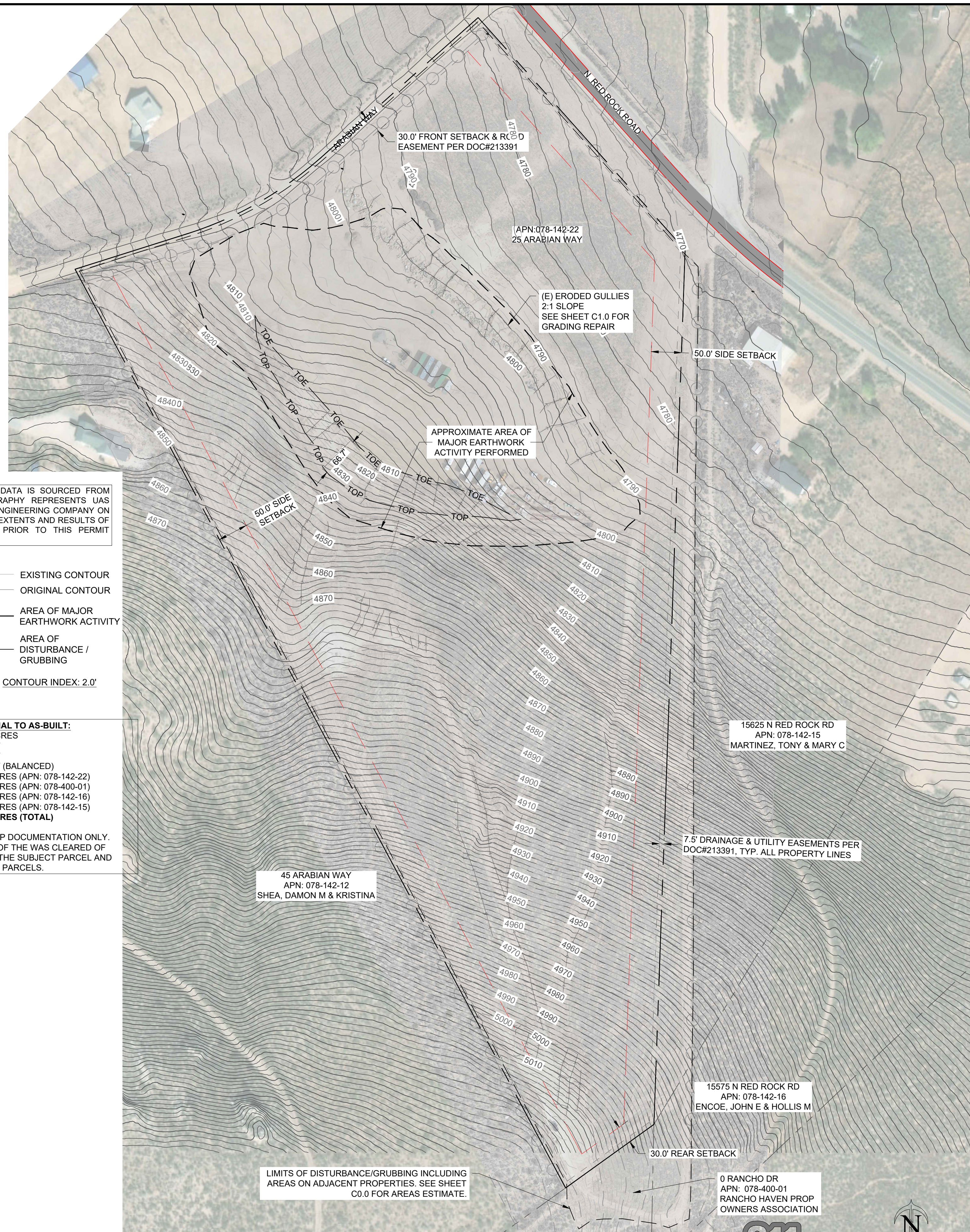


NOTE: ORIGINAL TOPOGRAPHIC DATA IS SOURCED FROM USGS LIDAR. EXISTING TOPOGRAPHY REPRESENTS UAS DATA COLLECTED BY ROBISON ENGINEERING COMPANY ON APRIL 14, 2023, AND SHOWS THE EXTENTS AND RESULTS OF THE EARTHWORK PERFORMED PRIOR TO THIS PERMIT APPLICATION.

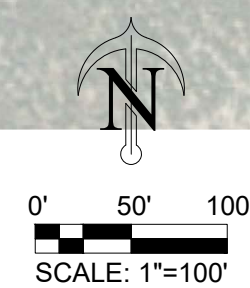
- 4850 --- EXISTING CONTOUR
  - 4850 --- ORIGINAL CONTOUR
  - --- AREA OF MAJOR EARTHWORK ACTIVITY
  - --- AREA OF DISTURBANCE / GRUBBING
- CONTOUR INDEX: 2.0'

**EARTHWORK SUMMARY - ORIGINAL TO AS-BUILT:**  
 GRADED AREA: 25.95 ACRES  
 CUT: 18,000 CY  
 FILL: 18,000 CY  
 NET: 0 CY (BALANCED)  
 AREA DISTURBED\*\*:  
 24.0 ACRES (APN: 078-142-22)  
 0.34 ACRES (APN: 078-400-01)  
 0.31 ACRES (APN: 078-142-16)  
 1.30 ACRES (APN: 078-142-15)  
**25.95 ACRES (TOTAL)**

\*EARTHWORK SUMMARY FOR SUP DOCUMENTATION ONLY.  
 \*\*APPROXIMATELY 25.95 ACRES OF THE WAS CLEARED OF EXISTING VEGETATION ACROSS THE SUBJECT PARCEL AND THREE ADJACENT/NEIGHBORING PARCELS.



EXISTING CONDITIONS

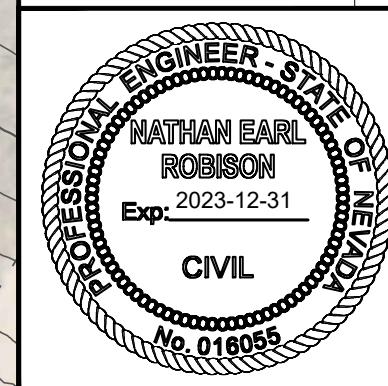


THE METASTAMPED AND  
 COPY OF THIS PLAN  
 SUPERSEDES ALL OTHER  
 COPIES AND ELECTRONIC  
 NOTES AND CONTRACT  
 AGREEMENT.

1" = 100'  
 1/2" = 50'

PREPARED FOR:  
**MICHELLE & MARK WILLIAMS**  
 35 ARABIAN WAY  
 RENO, NV 89508  
 (707) 570-7286

**Robison Engineering**  
 846 VICTORIAN AVENUE  
 RENO, NV 89505  
 (775) 852-2251  
 www.robisoneng.com



NO	DESCRIPTION	DATE	BY	CHKD
1	PERC TEST REPORT FROM RTGA	2023-02-15	LJD	
2	USGS LIDAR TOPOGRAPHIC DATA	2023-02-17	LJD	
3	ROBISON UAS TOPO SURVEY APRIL 2023	2023-04-03	LJD	
4		2023-05-08	LJD	
5		2023-07-06	LJD	
6				
7				
8				

NO	DESCRIPTION	DATE	BY	CHKD
1	CLIENT REVIEW	2023-02-15	LJD	
2	CLIENT REVIEW	2023-02-17	LJD	
3	SPECIAL USE PERMIT	2023-04-03	LJD	
4	SPECIAL USE PERMIT - REV1	2023-05-08	LJD	
5	SPECIAL USE PERMIT - REV2	2023-07-06	LJD	

APPROVALS

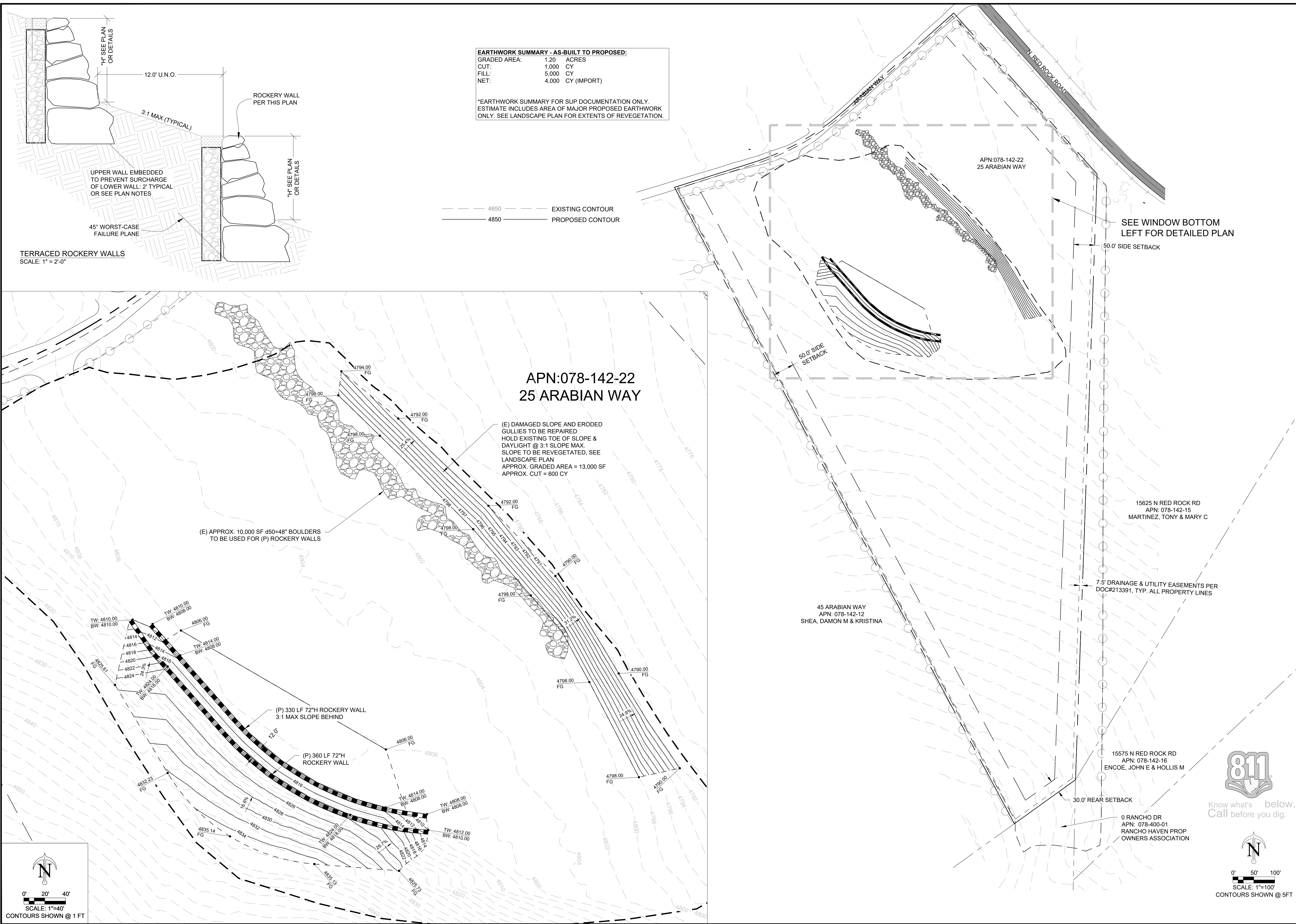
**C0.1**

SHEET 1 OF 4



25 ARABIAN WAY  
 SPECIAL USE PERMIT  
 EXISTING CONDITIONS AND TOPOGRAPHY  
 WASHOE COUNTY  
 PROJECT NO: 1-2287-01-001

C:\Users\dmcclellan\OneDrive\Documents\25ArabianWay\25ArabianWay\_SUP\_Civil.dwg 7/6/2023 10:16:28 PM LDOYLE



**EARTHWORK SUMMARY - AS-BUILT TO PROPOSED:**  
 GRADED AREA: 1.20 ACRES  
 CUT: 1,000 CY  
 FILL: 5,000 CY  
 NET: 4,000 CY (IMPORT)

\*EARTHWORK SUMMARY FOR SUP DOCUMENTATION ONLY. ESTIMATE INCLUDES AREA OF MAJOR PROPOSED EARTHWORK ONLY. SEE LANDSCAPE PLAN FOR EXTENTS OF REVEGETATION.

--- 4850 --- EXISTING CONTOUR  
 --- 4850 --- PROPOSED CONTOUR

TERRACED ROCKERY WALLS  
 SCALE: 1" = 2'-0"

**APN:078-142-22  
 25 ARABIAN WAY**

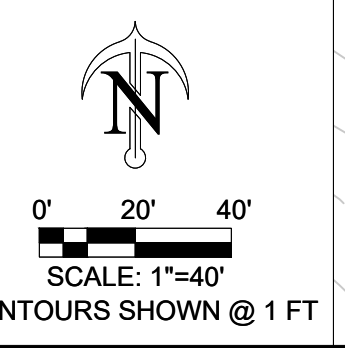
(E) DAMAGED SLOPE AND ERODED GULLIES TO BE REPAIRED HOLD EXISTING TOE OF SLOPE & DAYLIGHT @ 3:1 SLOPE MAX. SLOPE TO BE REVEGETATED, SEE LANDSCAPE PLAN. APPROX. GRADED AREA = 13,000 SF. APPROX. CUT = 600 CY

(E) APPROX. 10,000 SF d50=48" BOULDERS TO BE USED FOR (P) ROCKERY WALLS

(P) 330 LF 72" H ROCKERY WALL 3:1 MAX SLOPE BEHIND

(P) 360 LF 72" H ROCKERY WALL

C:\Source\dwg\2023\25ArabianWay.dwg 25ArabianWay.dwg SUP Civil.dwg 7/20/2023 10:45:30 PM LDOYLE



**811**  
 Know what's below.  
 Call before you dig.

**25 ARABIAN WAY  
 SPECIAL USE PERMIT**

GRADING PLAN

WASHOE COUNTY  
 PROJECT NO: 1-2287-01-001

PREPARED FOR:  
**MICHELLE & MARK  
 WILLIAMS**  
 25 ARABIAN WAY  
 RENO, NV 89508  
 (707) 570-7296

**Robinson Engineering**  
 846 VICTORIAN AVENUE  
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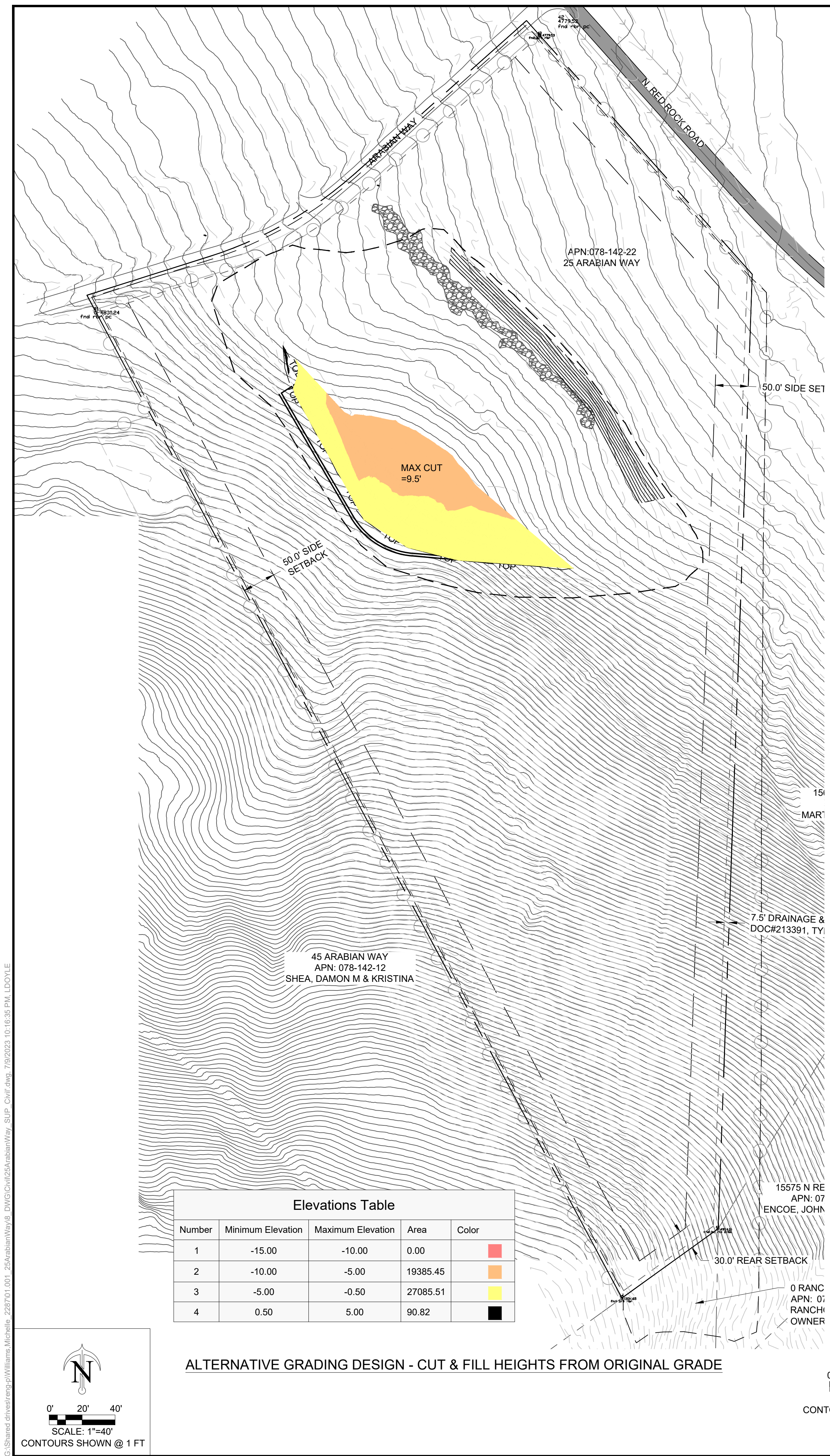
NO	DESCRIPTION	DATE	BY	CHKD
1	TM 5505 AUGUST 2022			
2	PERC TEST REPORT FROM RTGA	2023-02-15	LJD	
3	USGS LIDAR TOPOGRAPHIC DATA	2023-02-17	LJD	
4	ROBINSON LIAS TOPO. SURVEY APRIL 2023	2023-04-03	LJD	
5	SPECIAL USE PERMIT - REV1	2023-05-08	LJD	
6	SPECIAL USE PERMIT - REV2	2023-07-06	LJD	
7				
8				

NO	DESCRIPTION	DATE	BY	CHKD
1	CLIENT REVIEW	2023-02-15	LJD	
2	CLIENT REVIEW	2023-02-17	LJD	
3	SPECIAL USE PERMIT	2023-04-03	LJD	
4	SPECIAL USE PERMIT - REV1	2023-05-08	LJD	
5	SPECIAL USE PERMIT - REV2	2023-07-06	LJD	

APPROVALS

**C1.0**

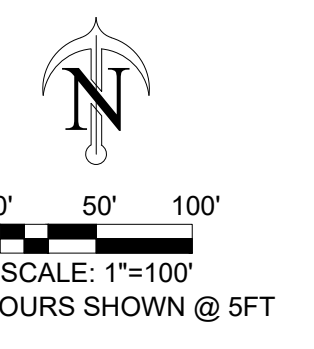
SHEET 3 OF 4



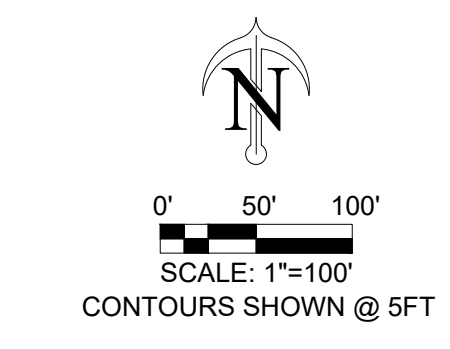
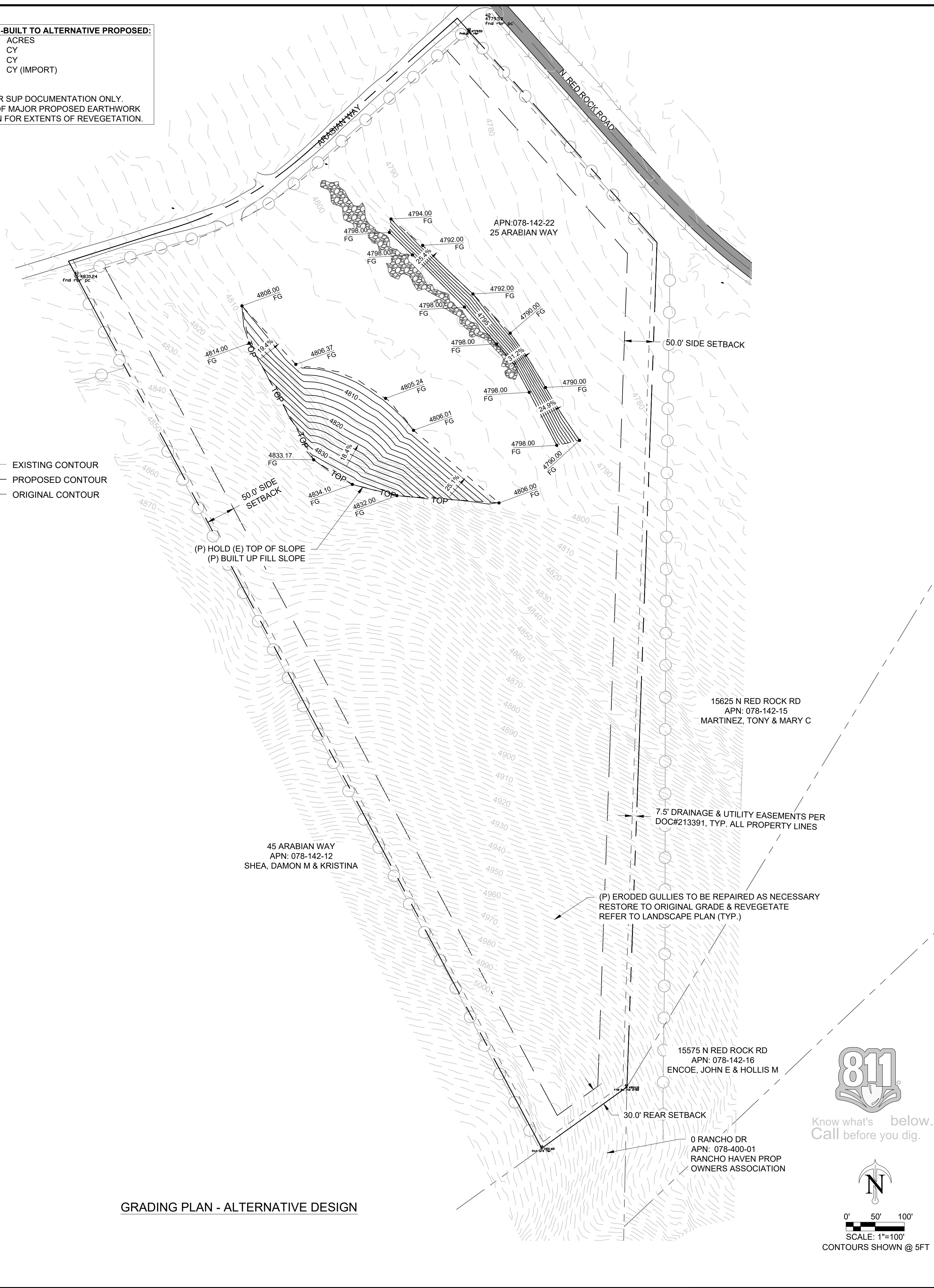
**EARTHWORK SUMMARY - AS-BUILT TO ALTERNATIVE PROPOSED:**  
 GRADED AREA: 1.38 ACRES  
 CUT: 0 CY  
 FILL: 8,300 CY  
 NET: 8,300 CY (IMPORT)

\*EARTHWORK SUMMARY FOR SUP DOCUMENTATION ONLY. ESTIMATE INCLUDES AREA OF MAJOR PROPOSED EARTHWORK ONLY. SEE LANDSCAPE PLAN FOR EXTENTS OF REVEGETATION.

--- 4850 --- EXISTING CONTOUR  
 --- 4850 --- PROPOSED CONTOUR  
 --- 4850 --- ORIGINAL CONTOUR



ALTERNATIVE GRADING DESIGN - CUT & FILL HEIGHTS FROM ORIGINAL GRADE



GRADING PLAN - ALTERNATIVE DESIGN

**25 ARABIAN WAY SPECIAL USE PERMIT**

THE BEST STAMPED AND SIGNED COPY OF THIS PLAN SHALL BE SUBMITTED TO THE SUPERVISOR'S OFFICE WITH COPIES AND ELECTRONIC NOTES AND CONTRACT AGREEMENT.

PREPARED FOR: **MICHELLE & MARK WILLIAMS**  
 35 ARABIAN WAY  
 RENO, NV 89508  
 (707) 570-7286

**Robison Engineering**  
 848 VICTORIAN AVENUE  
 RENO, NV 89505  
 (775) 852-2251  
 www.robisoneng.com

**NATHAN EARL ROBINSON**  
 Exp. 2023-12-31  
 CIVIL  
 No. 018093

1	TM 5505 AUGUST 2022	CHKD	
2	PERC TEST REPORT FROM RTGA	BY	
3	USGS LIDAR TOPOGRAPHIC DATA	DATE	
4	ROBINSON LIAS TOPO. SURVEY APRIL 2023		
5			
6			
7			
8			

15625 N RED ROCK RD  
 APN: 078-142-15  
 MARTINEZ, TONY & MARY C

15575 N RED ROCK RD  
 APN: 078-142-16  
 ENCOE, JOHN E & HOLLIS M

0 RANCHO DR  
 APN: 078-400-01  
 RANCHO HAVEN PROP OWNERS ASSOCIATION

7.5' DRAINAGE & UTILITY EASEMENTS PER DOC#213391, TYP. ALL PROPERTY LINES

(P) ERODED GULLIES TO BE REPAIRED AS NECESSARY RESTORE TO ORIGINAL GRADE & REVEGETATE REFER TO LANDSCAPE PLAN (TYP.)

7.5' DRAINAGE & DOC#213391, TYP.

50.0' SIDE SETBACK

30.0' REAR SETBACK

APN: 078-142-22  
 25 ARABIAN WAY

APN: 078-142-12  
 45 ARABIAN WAY  
 SHEA, DAMON M & KRISTINA

APN: 078-142-15  
 15625 N RED ROCK RD  
 MARTINEZ, TONY & MARY C

APN: 078-142-16  
 15575 N RED ROCK RD  
 ENCOE, JOHN E & HOLLIS M

0 RANCHO DR  
 APN: 078-400-01  
 RANCHO HAVEN PROP OWNERS ASSOCIATION

0 RANC APN: 07 RANCHI OWNER

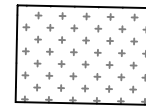
REVISIONS

APPROVALS

**C2.0**

SHEET 4 OF 4



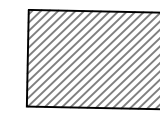


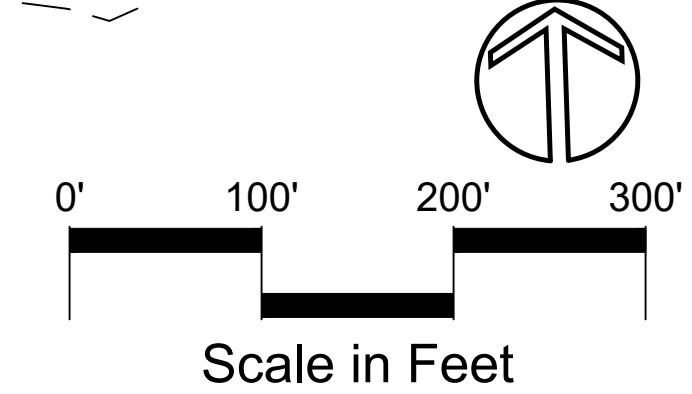
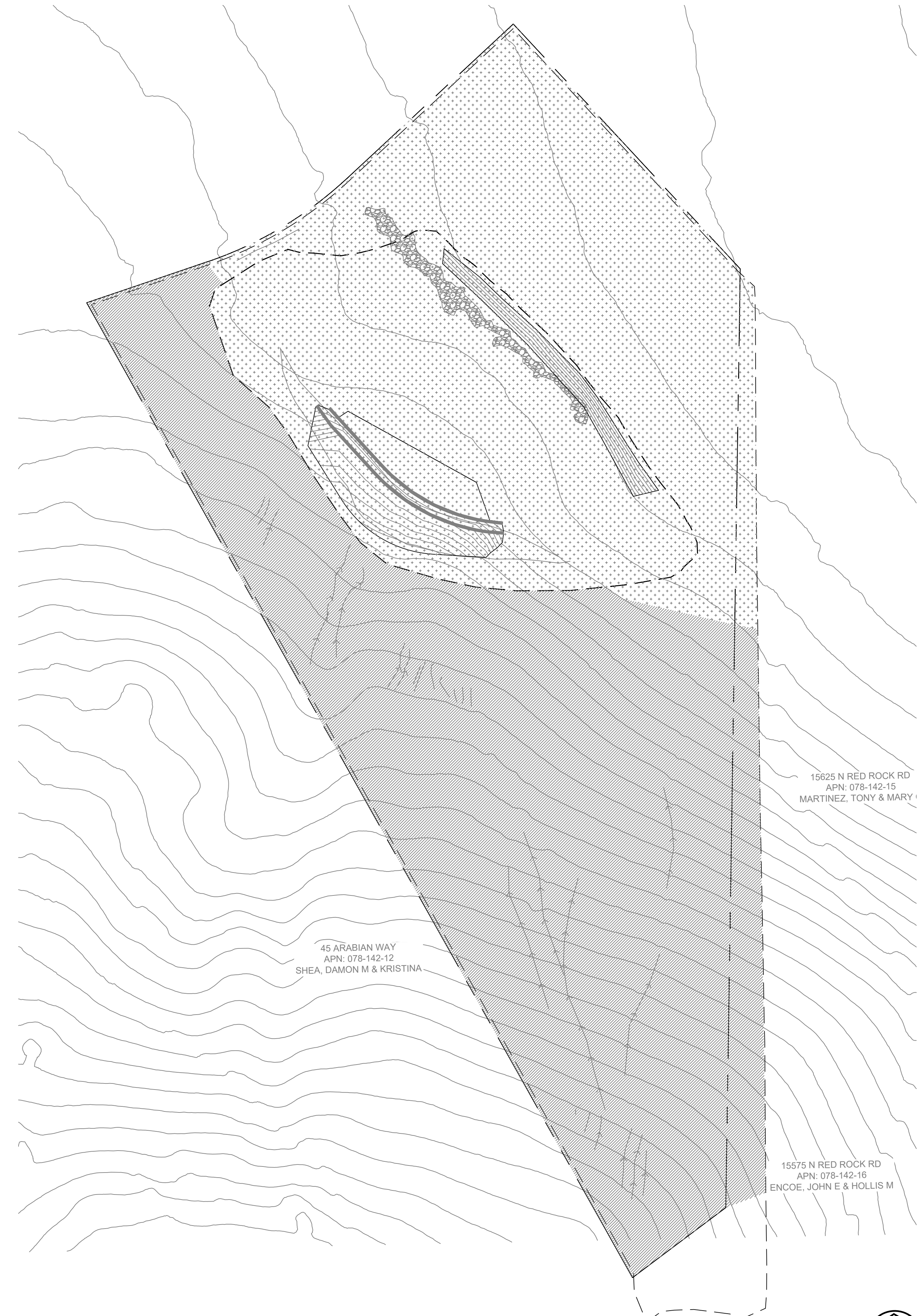
# REVEGETATION SPECIFICATIONS WITH TEMPORARY IRRIGATION

- STRIP & STOCKPILE EXISTING 6" OF NATIVE SITE TOPSOIL. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR STOCKPILED TOPSOIL AS REQUIRED BY REGULATORY AGENCIES.
- FOLLOWING COMPLETION OF ROUGH GRADING RE-APPLY A MINIMUM OF 6" OF STOCKPILED TOPSOIL TO RE-VEGETATION AREAS. TOPSOIL SHALL CONSIST OF NATURAL SURFACE SOIL, FRIABLE, AND LOAMY IN CHARACTER. TOPSOIL SHALL BE FREE OF LARGE BRUSH OR STUMPS, OBJECTIONABLE WEEDS, LARGE STONES OR ROCKS (EXCEPT AS DEPICTED ON PLANS) AND SUBSTANCES TOXIC TO PLANTS.
- SCARIFY PLACED TOPSOIL TO CREATE FRIABLE CONDITIONS, EVENLY BLENDING PLACED TOPSOIL WITH TOP 6" OF SUBGRADE SOIL MATERIAL.
- RE-VEGETATION SEED BLENDS MAY BE APPLIED IN HYDRO-SEED SLURRY. THE APPLICATION RATE (LBS PER ACRE) SHALL BE APPLIED AT A MINIMUM RATE OF 31 PLS LBS/ACRE. ALL SEEDING SHALL BE CONDUCTED IN THE FALL OR SPRING. RE-VEGETATION SEEDING SHALL NOT BE CONDUCTED IN HEAT OF SUMMER.
- FOLLOWING SEEDING, APPLY HYDRO-SLURRY MIX OVER SEEDED SLOPE PER MF6'S SPECIFICATIONS. SLURRY SHALL CONSIST OF THE FOLLOWING:
  - FERTILIZER: 0-10-10 @ 200 LBS/ACRE
  - TACKIFIER: M-BINDER @ 60 LBS/ACRE
  - MULCH: FIBER MULCH @ 1650 LBS/ACRE
  - SEED: RE-VEGETATION SEED BLEND
- PROVIDE UNIFORM IRRIGATION COVERAGE TO ALL RE-VEGETATED AREAS PER PLAN, UNTIL SEEDING IS ESTABLISHED. ALL IRRIGATION SHALL REMAIN IN PLACE AND IN GOOD OPERATING CONDITION UNTIL RECEIPT OF FINAL WRITTEN APPROVAL OF THE SLOPES FROM OWNER'S REPRESENTATIVE. REMOVE ALL ABOVE-GROUND TEMPORARY IRRIGATION COMPONENTS UPON RECEIPT OF WRITTEN APPROVAL.
- SET IRRIGATION SCHEDULE AS NEEDED TO MAINTAIN MOIST SOIL SURFACE CONDITIONS DURING GERMINATION AND ESTABLISHMENT. THE WATERING SCHEDULE SHALL INCLUDE SHORT, FREQUENT WATERING CYCLES CONDUCIVE TO CREATING A MOIST SOIL SURFACE WHILE MINIMIZING ANY SURFACE RUNOFF OR RILLS.
- REPAIR ANY SURFACE EROSION/RILLS UPON DISCOVERY.
- CONTRACTOR SHALL MAINTAIN SEEDING UNTIL ESTABLISHED. REPAIR ANY SURFACE EROSION/RILLING UPON DISCOVERY.
- COVERAGE REQUIREMENT: ADDITIONAL ANNUAL SEEDING APPLICATIONS (INCLUDING APPROPRIATE TACKIFIER TREATMENTS) MAY BE REQUIRED TO INSURE SUCCESSFUL GERMINATION AND ESTABLISHMENT. FURTHER APPLICATIONS WILL BE REQUIRED UNTIL COVERAGE REQUIREMENTS (CONSISTENT WITH NON-DISTURBED NATURAL CONDITIONS) ARE ACHIEVED AND ACCEPTED BY THE REVIEW AGENCY.

SEED BLEND	
SPECIES	PLS #/ACRE
<b>GRASSES</b>	
WHEATGRASS STREAMBANK	4.00
BLUEGRASS SANDBERG	3.00
MILDRYE GREAT BASIN	2.00
FESQUE SHEEP	3.00
INDIAN RICEGRASS	5.00
<b>SHRUBS</b>	
SAGEBRUSH WYOMING	.50
RABBITBRUSH RUBBER	.50
SALTBUCH FLOURING	2.00
MORMON TEA GREEN	.50
BITTERBRUSH	1.00
SPINY HOPSAGE	.50
DESERT PEACH	1.00
<b>FLOWERS</b>	
DRYLAND AGGRESSIVE BLEND	2.00
NURSE CROP	6.00
RYEGRASS ANNUAL	
TOTAL PLS #/ACRE:	31.00

SEED AVAILABLE FROM COMSTOCK SEED, MINDEN NV












 MOWED AREA WITH (E) RE-ESTABLISHED NATIVE VEGETATION. VEGETATIVE SURVEY FOUND APPROX. 60 NATIVE SHRUBS IN 20X10 SURVEY PLOT. TEMPORARY IRRIGATION IS NOT NEEDED IN THIS AREA AND WOULD ONLY SERVE TO INCREASE NOXIOUS/NUISANCE WEED GROWTH (I.E. DOWNY BROME/CHEATGRASS).



No.	Revision Date

LA No: 617-506-06-23  
 Designed: DRJ  
 Drawn: DRJ  
 Checked: RWH  
 Date: 7/1/2023

# TEMPORARY IRRIGATION LEGEND

-  IRRIGATION CONTROL CLOCK: RAIN BIRD ESP-LXME/F CONTROLLER W/ RAIN BIRD ANEMOMETER WIND SENSOR. INSTALL CLOCK AND SENSOR PER MF6'S SPECIFICATIONS. COORDINATE PLACEMENT OF CLOCK AND POWER SOURCE WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
-  P.O.C. - EXISTING WELL. OWNER TO PROVIDE FLOW AND PRESSURE DATA.
-  BACKFLOW PREVENTER - AS REQUIRED PER WATER AUTHORITY STANDARDS/REQUIREMENTS
-  MANUAL DRAIN VALVE: 3/4" BRASS GATE VALVE. (GRINNELL OR OAE) INSTALL AT ALL LOW POINTS ALONG MAINLINE
-  MASTER VALVE
  - BUCKNER SUPERIOR 3900 NORMALLY OPEN W/ "NO MINIMUM FLOW FEATURE". AVAILABLE IN SIZES 1-1/2" TO 3"
-  BRASS GATE VALVE: GRINNELL (OAE) FOR MAINLINE ISOLATION. SAME SIZE AS MAINLINE.
-  SPRAY VALVE: RAIN BIRD PESB (WITH PRS-D MODULE TO PREVENT MISTING IF NEEDED DUE TO HIGH PRESSURE). SIZE PER PLAN.
-  VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.
-  MAINLINE: ALL MAINLINES SHALL BE SCH. 40 PVC. INSTALL ALL MAINLINES AT 24" MINIMUM DEPTH. SIZE PER PLAN.
-  LATERAL PIPES: SCH. 40 PVC LATERAL - SIZE PER CHART. INSTALL AT GRADE PER TEMPORARY IRRIGATION DETAIL.
-  VALVE BOXES (NOT SHOWN): ALL VALVES SHALL BE LOCATED IN RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES PER DETAILS.

## DESIGN PRESSURE NOTE:

ASSUMED AVAILABLE WATER PRESSURE AT P.O.C. IS 65 PSI. ASSUMED FLOW IS 12 GPM @ 5 FPS. CONTRACTOR TO VERIFY PRIOR TO SYSTEM INSTALLATION. FUTURE PRESSURES MAY VARY DUE TO NEW DEVELOPMENT AND/OR OTHER UNFORESEEN CIRCUMSTANCES. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR FUTURE DEVIATIONS IN PRESSURE AND ANY RESULTING EFFECTS ON THE PERFORMANCE OF THE IRRIGATION SYSTEM.

IRRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. WHERE POSSIBLE, ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN PLANTING BEDS.

## SPRINKLER HEADS - TEMPORARY IRRIGATION

CONTRACTOR SHALL SELECT SPECIFIC ARC AND NOZZLE AS REQUIRED FOR OPTIMUM SPRAY COVERAGE. INSTALL TEMPORARY IRRIGATION ON ALL REVEGETATION AREAS AS INDICATED ON THE PLANS (EXCLUDING AREAS DESIGNATED FOR DRYLAND/NON-IRRIGATED SEEDING). CONTRACTOR SHALL REMOVE ALL ABOVE-GROUND TEMPORARY IRRIGATION PIPING UPON ESTABLISHMENT AND ACCEPTANCE OF THE REVEGETATED AREAS.

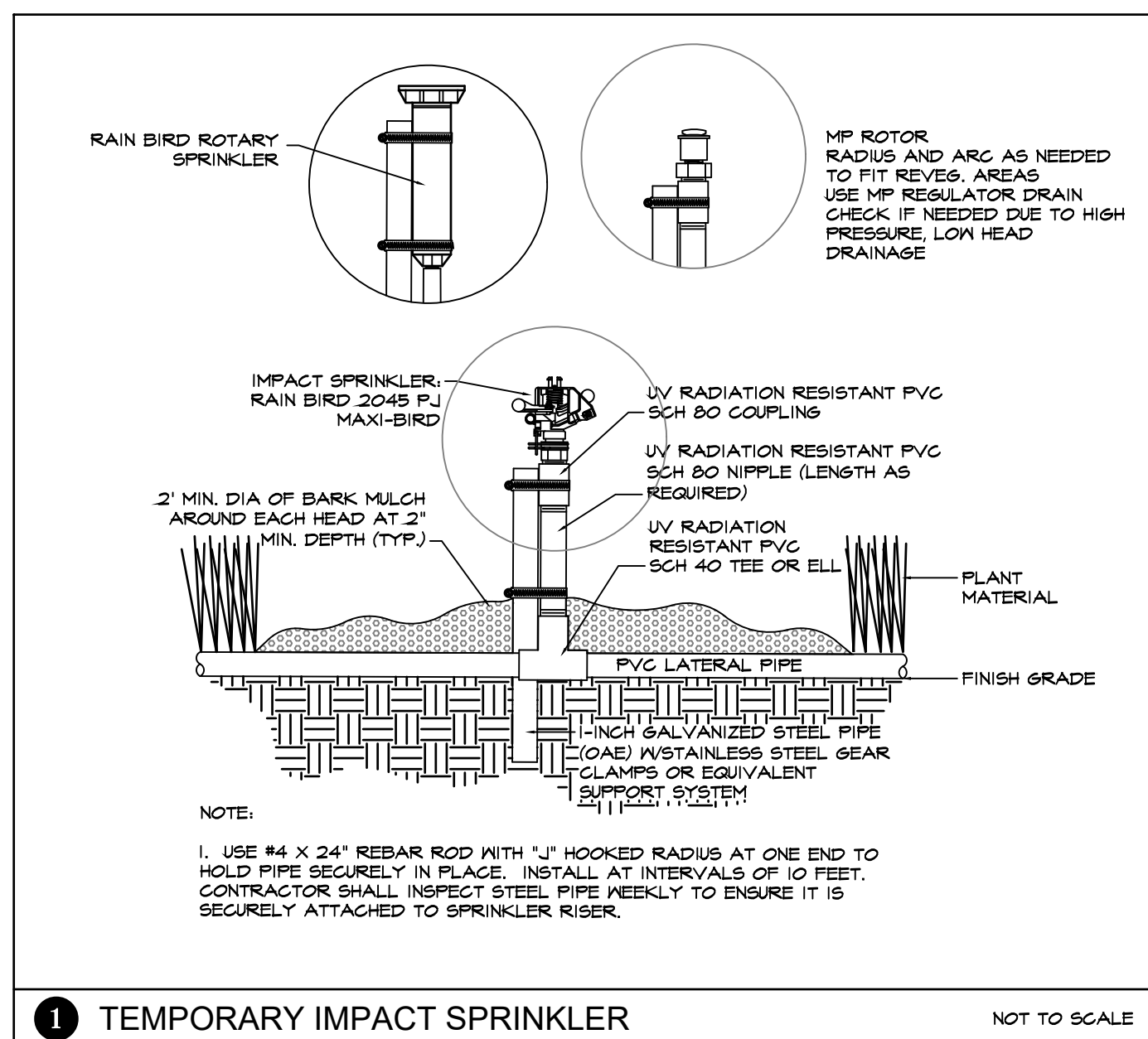
### SYM SPRINKLER HEAD DESCRIPTION

- RAIN BIRD 2045-PJ MAXI-BIRD, 37' RAD. @ 35 PSI (NOZZLE 01 AT 2.7 GPM) HEAD SPACING ON PLAN IS SHOWN AT APPROX. 35 FT.

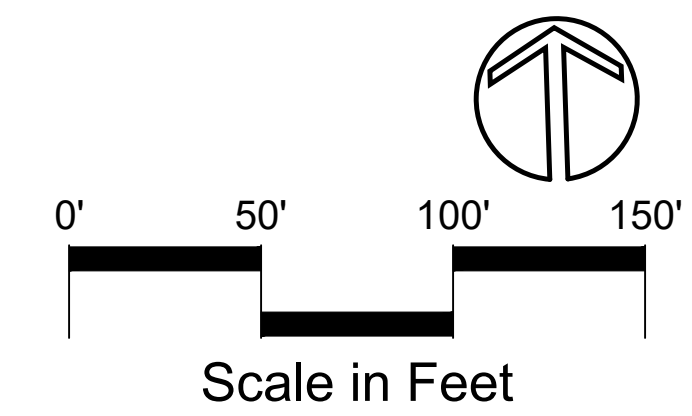
## TEMPORARY IRRIGATION NOTE

THIS IRRIGATION LAYOUT IS SCHEMATIC AND MAY NEED TO BE FIELD MODIFIED BASED ON AVAILABLE FLOW AND PRESSURE DATA FOR THE EXISTING WELL, TO BE PROVIDED BY THE OWNER.

FIELD MODIFICATIONS REQUIRED MAY INCLUDE SMALLER ZONES AND/OR APPLICATION OF TEMPORARY IRRIGATION IN STAGES (I.E., ESTABLISH ONE SECTION OF REVEGETATION BEFORE MOVING ON TO OTHER AREAS).

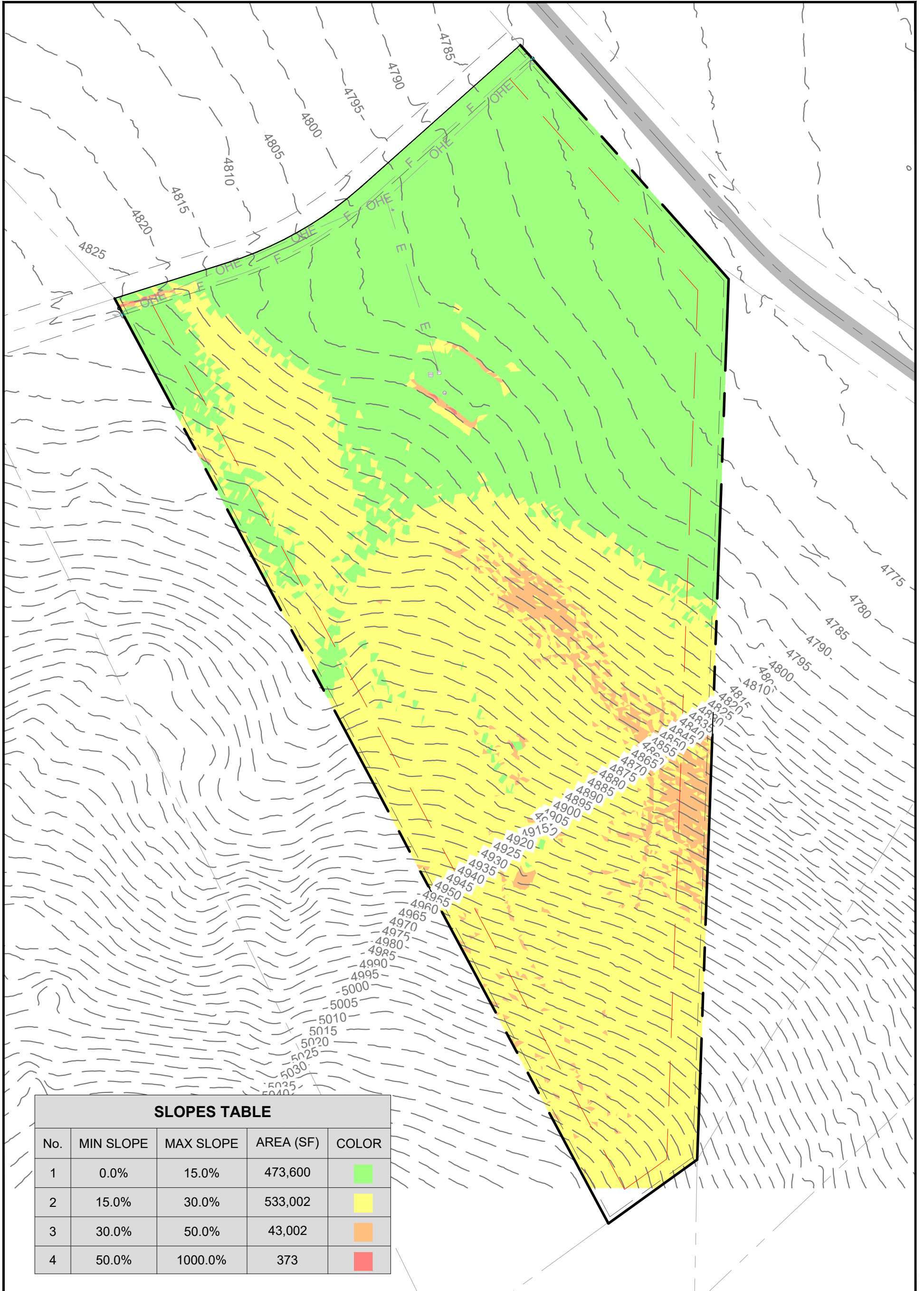


1 TEMPORARY IMPACT SPRINKLER NOT TO SCALE

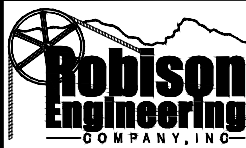


No.	Revision	Date

LA No: 617-506-06-23  
 Designed: DRJ  
 Drawn: DRJ  
 Checked: RWH  
 Date: 7/1/2023



SLOPES TABLE				
No.	MIN SLOPE	MAX SLOPE	AREA (SF)	COLOR
1	0.0%	15.0%	473,600	Green
2	15.0%	30.0%	533,002	Yellow
3	30.0%	50.0%	43,002	Orange
4	50.0%	1000.0%	373	Red



846 VICTORIAN AVENUE  
SPARKS, NV 89431  
www.robisoneng.com

DRAWN:LJD  
DATE:PENDING

PREPARED FOR:  
**MARK & MICHELLE  
WILLIAMS**

25 ARABIAN WAY  
RENO, NV 89508  
(707) 570-7286



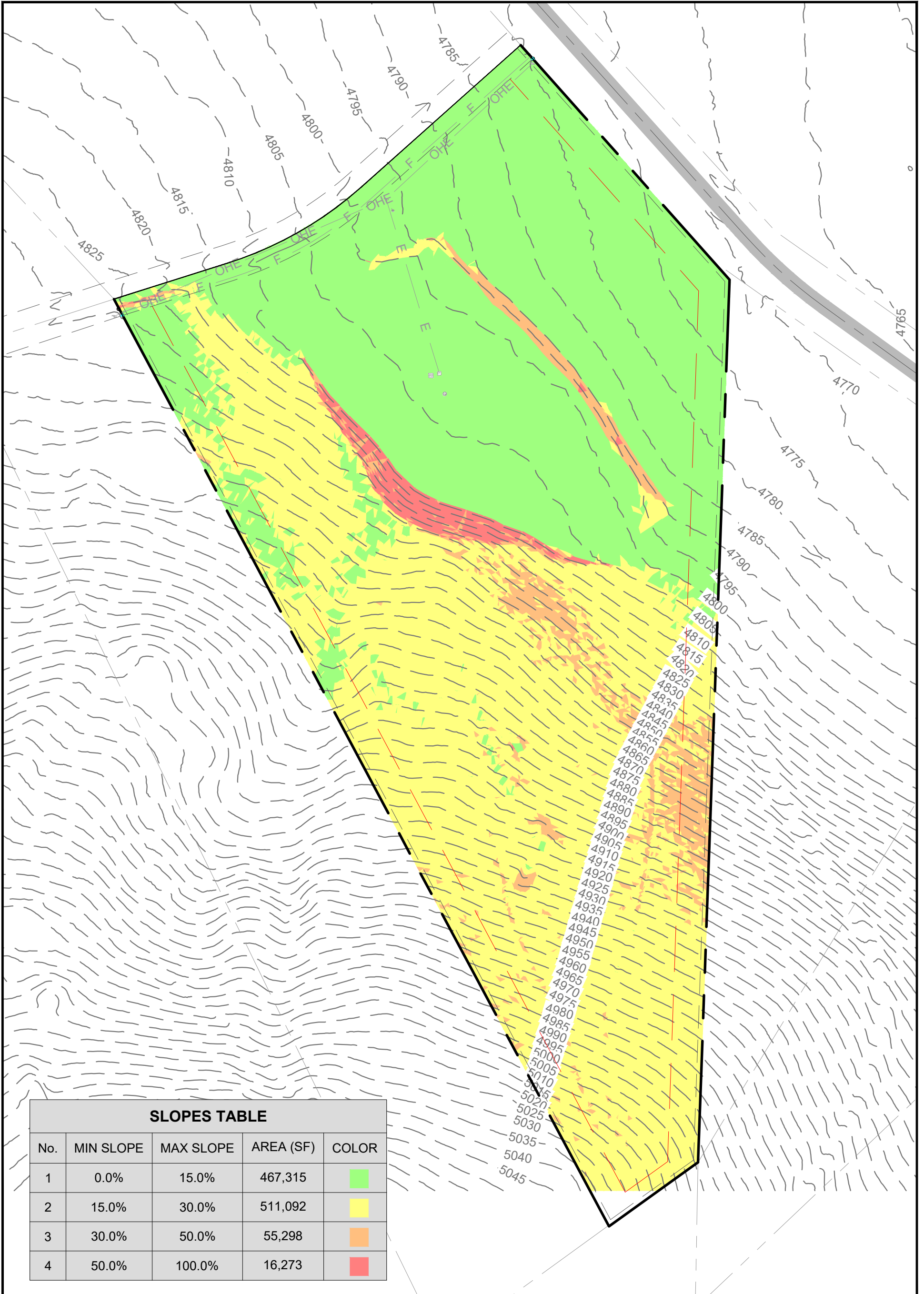
0 1/2 1/1  
INCH@FULL SCALE

**25 ARABIAN WAY  
SPECIAL USE PERMIT**

EXHIBIT A  
ORIGINAL GRADE SLOPE ANALYSIS

WASHOE COUNTY  
PROJECT NO:1-2287-01.001

NEVADA



SLOPES TABLE				
No.	MIN SLOPE	MAX SLOPE	AREA (SF)	COLOR
1	0.0%	15.0%	467,315	Green
2	15.0%	30.0%	511,092	Yellow
3	30.0%	50.0%	55,298	Orange
4	50.0%	100.0%	16,273	Red



846 VICTORIAN AVENUE  
SPARKS, NV 89431  
www.robisoneng.com

DRAWN:LJD  
DATE:PENDING

PREPARED FOR:  
**MARK & MICHELLE  
WILLIAMS**

25 ARABIAN WAY  
RENO, NV 89508  
(707) 570-7286



0 1/2 1/1  
INCH@FULL SCALE

**25 ARABIAN WAY  
SPECIAL USE PERMIT**

EXHIBIT B  
EXISTING GRADE SLOPE ANALYSIS

WASHOE COUNTY  
PROJECT NO:1-2287-01.001

NEVADA

**RE: Geotechnical Summary Letter  
25 Arabian Way, APN: 078-142-22  
Washoe County, Nevada**

Dear Mr. Robison:

This letter is to summarize the preliminary geotechnical findings and recommendations for our investigation performed at 25 Arabian Way (APN: 078-142-22). A final geotechnical report will be issued at a later date. The project will involve the remediation of large cut and fill slopes as well as evaluation of existing undocumented fills which were excavated from a hillside without a permit. The project civil engineer, Robison Engineering Company, Inc. is preparing a special use permit (SUP) in order to provide plans to remediate the slopes and revegetate the site. The excavation will either be remediated with engineered slopes using on-site materials or with rockery retaining walls. Additionally, the homeowner plans to construct a residence at this property following successful remediation of the slopes.

### Site Conditions

A large, relatively level fill pad has been constructed on the property, without permit. This pad was constructed using cut to fill methods and the materials were sourced from the existing slope on the southwest side of the property. This pad is a wedge-shaped fill, tapering from 0 feet in thickness on the southwest side to approximately 8 feet in thickness on the northeast side. This fill was placed without the inspection or testing of an engineer and therefore is to be considered undocumented fill. Our field investigation and hand auger borings indicate that the native soils and fill materials consist of granular, granitic sands with granitic boulders. The boulders excavated from the native slopes have been excluded from fills and are currently stockpiled on the ground surface. These boulders range in size from 1.5 to 4 feet in diameter.

The existing manmade slopes onsite do not meet Washoe County Code as they are steeper than 3H:1V (horizontal to vertical), are unvegetated and have no other means of erosion control. Both the cut and fill slopes exhibit large eroded gullies and runnels due to the extremely wet winter of 2022/2023. Slopes will require stabilization and erosion control to meet local building code requirements.



**Site Conditions, Looking Southwest**



Additionally, nearly all of the existing vegetation onsite was cleared without permit. The native vegetation in this area consists of sage, grasses, and other desert brush.

## Site Investigation

Black Eagle Consulting, Inc. (BEC) performed a field investigation of the site by excavating 2 hand auger borings to sufficient depths to adequately reveal subsurface soil conditions. Cut and fill slopes were also logged. Representative samples were returned to our laboratory and are currently being tested to characterize the index properties of foundation soils, such as moisture content, grain size distribution, and plasticity. Relative density (compaction) of the in-place fill soils was not tested as the fills are considered undocumented without previous testing.

## Preliminary Conclusions and Recommendations

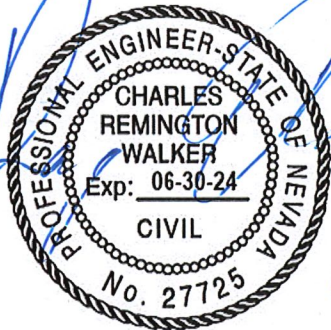
1. These recommendations and conclusions are preliminary and are strictly for use as part of a SUP application. A final geotechnical report will be issued later which will contain final recommendations for design and construction.
2. The on-site cut and fill slopes are steeper than the maximum 3H:1V slopes allowed by Washoe County building codes and will require remediation with additional fill. Slopes between 3H:1V and 5H:1V can be stabilized by hydroseeding. All fill placed on hillsides steeper than 5H:1V shall be keyed into existing materials in equipment-wide benches. The maximum vertical separation between benches shall be 6 feet. Slopes steeper than 5H:1V may be created as part of the grading; as such, proper benching and key-in of fill materials is necessary.
3. Temporary and permanent erosion control of disturbed areas will be required in accordance with local standards. Dust potential at this site will be high during dry periods. The homeowner shall prevent dust from being generated during construction in compliance with all applicable city, county, state, and federal regulations.
4. The native soils and undocumented fills are exclusively granular and are suitable for reuse as structural fill. Existing fill soils are undocumented and are not suitable for the direct support of any proposed improvements such as buildings, driveways etc.
5. Undocumented fills may be reworked to their full depth and inspected by an engineer for proper compaction (per ASTM D1557), or future improvements may be supported on deep foundations.
6. The existing boulders stockpiled onsite are generally suitable for the construction of rocky walls. Some boulders may be excessively weathered/decomposed and shall be excluded.



7. Positive surface drainage shall be established away from structures and maintained throughout the life of the structure. Positive surface drainage may be established by providing a slope of 5 to 10 percent away from structures in landscape areas and 2 to 5 percent in paved areas. Downspouts should extend beyond the backfill zone and discharge at least 5 feet away from the structure onto surfaces that convey water away from the structure.

Sincerely,

**Black Eagle Consulting, Inc.**



C. Remington Walker, P.E.  
Project Engineer

CRW:SK:mrc



Rancho Haven POA  
c/o Terra West Management Services  
1575 Delucchi Lane, #103  
Reno, NV 89502  
Phone: (775) 853-9777 : FAX: (775) 853-9771 : [www.terrawest.com](http://www.terrawest.com)

Chris Bronczyk  
Senior Planner, Planning & Building Division  
Community Services Department  
1001 East Ninth Street, Reno, NV 89512

June 28, 2023

Property Address:  
25 Arabian Way  
Reno, NV 89508

Dear Chris Bronczyk;

The Board of Directors for Rancho Haven POA have met and reviewed the affidavit. Please note that the POA is only signing the affidavit for the brush removal that was performed on Rancho Haven POA property and does not tie Rancho Haven POA into the special permit application.

Please note Rancho Haven POA is not endorsing the property application, but only responding to the vegetation removal on Rancho Haven POA property.

Sincerely,

Board of Directors  
Rancho Haven Property Owners Association



STATE OF NEVADA

**BARBARA K. CEGAVSKE**  
Secretary of State



Commercial Recordings & Notary Division  
202 N. Carson Street  
Carson City, NV 89701  
Telephone (775) 684-5708  
Fax (775) 684-7138  
North Las Vegas City Hall  
2250 Las Vegas Blvd North, Suite 400  
North Las Vegas, NV 89030  
Telephone (702) 486-2880  
Fax (702) 486-2888

**KIMBERLEY PERONDI**  
Deputy Secretary for  
Commercial Recordings

OFFICE OF THE  
SECRETARY OF STATE

Sharon Raber  
6655 S. Cimarron Rd., Suite 200  
Las Vegas, NV 89113, USA

**Work Order #:** W2022082201418  
August 22, 2022  
Receipt Version: 1

**Special Handling Instructions:**

**Submitter ID:** 4532

**Charges**

Description	Fee Description	Filing Number	Filing Date/Time	Filing Status	Qty	Price	Amount
Annual List	Fees	20222562163	8/22/2022 1:03:03 PM	Approved	1	\$50.00	\$50.00
Total							\$50.00

**Payments**

Type	Description	Payment Status	Amount
Credit Card	6611985736846771903075	Success	\$50.00
Total			\$50.00

**Credit Balance:** \$0.00

Sharon Raber  
6655 S. Cimarron Rd., Suite 200  
Las Vegas, NV 89113, USA

STATE OF NEVADA

**BARBARA K. CEGAVSKE**

*Secretary of State*



OFFICE OF THE  
SECRETARY OF STATE

*Commercial Recordings Division*

*202 N. Carson Street*

*Carson City, NV 89701*

*Telephone (775) 684-5708*

*Fax (775) 684-7138*

*North Las Vegas City Hall*

*2250 Las Vegas Blvd North, Suite 400*

*North Las Vegas, NV 89030*

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*Fax (702) 486-2888*

**KIMBERLEY PERONDI**

*Deputy Secretary for  
Commercial Recordings*

**Business Entity - Filing Acknowledgement**

08/22/2022

**Work Order Item Number:** W2022082201418 - 2329068  
**Filing Number:** 20222562163  
**Filing Type:** Annual List  
**Filing Date/Time:** 08/22/2022 13:03:03 PM  
**Filing Page(s):** 2

**Indexed Entity Information:**

**Entity ID:** C2061-1971

**Entity Name:** RANCHO HAVEN  
PROPERTY OWNERS ASSOCIATION

**Entity Status:** Active

**Expiration Date:** 08/09/2021

Commercial Registered Agent

KGDO HOLDING COMPANY

6655 S CIMARRON RD STE 200, LAS VEGAS, NV 89113, USA

The attached document(s) were filed with the Nevada Secretary of State, Commercial Recording Division. The filing date and time have been affixed to each document, indicating the date and time of filing. A filing number is also affixed and can be used to reference this document in the future.

Respectfully,

A handwritten signature in black ink that reads "Barbara K. Cegavske".

BARBARA K. CEGAVSKE  
Secretary of State



BARBARA K. CEGAVSKE  
 Secretary of State  
 202 North Carson Street  
 Carson City, Nevada 89701-4201  
 (775) 684-5708  
 Website: [www.nvsos.gov](http://www.nvsos.gov)  
[www.nvsilverflume.gov](http://www.nvsilverflume.gov)

# Annual or Amended List and State Business License Application

ANNUAL  AMENDED (check one)

**List of Officers, Managers, Members, General Partners, Managing Partners, Trustees or Subscribers:**

<b>RANCHO HAVEN PROPERTY OWNERS ASSOCIATION</b>	<b>NV19711002696</b>
NAME OF ENTITY	Entity or Nevada Business Identification Number (NVID)

**TYPE OR PRINT ONLY - USE DARK INK ONLY - DO NOT HIGHLIGHT**

**IMPORTANT:** Read instructions before completing and returning this form.

Please indicate the entity type (check only one):

- Corporation
  - This corporation is publicly traded, the Central Index Key number is:
- Nonprofit Corporation (see nonprofit sections below)
- Limited-Liability Company
- Limited Partnership
- Limited-Liability Partnership
- Limited-Liability Limited Partnership
- Business Trust
- Corporation Sole

Filed in the Office of <i>Barbara K. Cegavske</i> Secretary of State State Of Nevada	Business Number <b>C2061-1971</b> Filing Number <b>20222562163</b> Filed On <b>08/22/2022 13:03:03 PM</b> Number of Pages <b>2</b>
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Additional Officers, Managers, Members, General Partners, Managing Partners, Trustees or Subscribers, may be listed on a supplemental page.

**CHECK ONLY IF APPLICABLE**

Pursuant to NRS Chapter 76, this entity is exempt from the business license fee.

- 001 - Governmental Entity
- 006 - NRS 680B.020 Insurance Co, provide license or certificate of authority number

---

**For nonprofit entities formed under NRS chapter 80:** entities without 501(c) nonprofit designation are required to maintain a state business license, the fee is \$200.00. Those claiming an exemption under 501(c) designation must indicate by checking box below.

- Pursuant to NRS Chapter 76, this entity is a 501(c) nonprofit entity and is exempt from the business license fee. Exemption Code 002

---

**For nonprofit entities formed under NRS Chapter 81:** entities which are Unit-owners' association or Religious, Charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C § 501(c) are excluded from the requirement to obtain a state business license. Please indicate below if this entity falls under one of these categories by marking the appropriate box. If the entity does not fall under either of these categories please submit \$200.00 for the state business license.

- Unit-owners' Association
- Religious, charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C. §501(c)

---

**For nonprofit entities formed under NRS Chapter 82 and 80: Charitable Solicitation Information - check applicable box**

Does the Organization intend to solicit charitable or tax deductible contributions?

- No - no additional form is required
- Yes - the "Charitable Solicitation Registration Statement" is required.
- The Organization claims exemption pursuant to NRS 82A 210 - the "Exemption From Charitable Solicitation Registration Statement" is required

**\*\*Failure to include the required statement form will result in rejection of the filing and could result in late fees.\*\***



**BARBARA K. CEGAVSKE**  
 Secretary of State  
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 Carson City, Nevada 89701-4201  
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[www.nvsilverflume.gov](http://www.nvsilverflume.gov)

# Annual or Amended List and State Business License Application - Continued

**Officers, Managers, Members, General Partners, Managing Partners, Trustees or Subscribers:**

CORPORATION, INDICATE THE <u>TREASURER</u> :			
<b>NANCY KARNS-JOHNSON</b>	<b>USA</b>		
Name	Country		
<b>PO BOX 80900</b>	<b>Las Vegas</b>	<b>NV</b>	<b>89180</b>
Address	City	State	Zip/Postal Code
CORPORATION, INDICATE THE <u>PRESIDENT</u> :			
<b>CHRISTINE RIGGI</b>	<b>USA</b>		
Name	Country		
<b>PO BOX 80900</b>	<b>Las Vegas</b>	<b>NV</b>	<b>89180</b>
Address	City	State	Zip/Postal Code
CORPORATION, INDICATE THE <u>SECRETARY</u> :			
<b>EMILY ZUNINO</b>	<b>USA</b>		
Name	Country		
<b>PO BOX 80900</b>	<b>Las Vegas</b>	<b>NV</b>	<b>89180</b>
Address	City	State	Zip/Postal Code
CORPORATION, INDICATE THE <u>DIRECTOR</u> :			
<b>SHANE BOSSERT</b>	<b>USA</b>		
Name	Country		
<b>PO BOX 80900</b>	<b>Las Vegas</b>	<b>NV</b>	<b>89180</b>
Address	City	State	Zip/Postal Code
CORPORATION, INDICATE THE <u>DIRECTOR</u> :			
<b>TERESA AQUILA</b>	<b>USA</b>		
Name	Country		
<b>PO BOX 80900</b>	<b>Las Vegas</b>	<b>NV</b>	<b>89180</b>
Address	City	State	Zip/Postal Code

None of the officers and directors identified in the list of officers has been identified with the fraudulent intent of concealing the identity of any person or persons exercising the power or authority of an officer or director in furtherance of any unlawful conduct.

I declare, to the best of my knowledge under penalty of perjury, that the information contained herein is correct and acknowledge that pursuant to NRS 239.330, it is a category C felony to knowingly offer any false or forged instrument for filing in the Office of the Secretary of State.

**X NATALIA DUBOIS**  
 \_\_\_\_\_  
 Signature of Officer, Manager, Managing Member,  
 General Partner, Managing Partner, Trustee,  
 Subscriber, Member, Owner of Business,  
 Partner or Authorized Signer FORM WILL BE RETURNED IF

**AGENT** **08/22/2022**

Title Date

UNSIGNED

STATE OF NEVADA

**BARBARA K. CEGAVSKE**  
*Secretary of State*



OFFICE OF THE  
SECRETARY OF STATE

*Commercial Recordings Division*  
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**KIMBERLEY PERONDI**  
*Deputy Secretary for  
Commercial Recordings*

**CERTIFICATION OF EXEMPTION**  
**NEVADA STATE BUSINESS LICENSE**

You have filed a notice citing a statutory exemption pursuant to Nevada Revised Statutes and therefore are not required to maintain a Nevada State Business License.

If your exemption changes or your business is no longer exempt, you must file an amendment reflecting your current business status.

**Nevada Business Identification Number:** NV19711002696

**Entity Name:** RANCHO HAVEN PROPERTY OWNERS ASSOCIATION

**Associated Business Name:**

**Entity Type:** Domestic Nonprofit Cooperative Corporation With or Without Stock (81)

**Exemption Code:** 007 - Exception - Unit owner

**Issued this 08/22/2022**

*Please post in a Conspicuous Location*

I GIVE MARK WILLIAMS  
PERMISSION TO BRUSH HOQ IN THE  
SOUTH WEST AREA OF MY LOT. THE  
PROPERTY LINES ARE NOT MARKED.  
JOHN ENCOE IS NOT RESPONSIBLE  
FOR FLOODING OR EROSION.

JOHN ENCOE  
15575 N. RED ROCK ROAD  
RENO NV 89508

*John Encoe*

state of Nevada; County of Washoe  
Acknowledged before me, this 7<sup>th</sup> day of  
July, 2022, by John  
ENCOE

*Eucharía Okorie*  
Notary Public















