Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	s	taff Assigned Case No.:	
Project Name: Borderto	wn Casino	Expansion	
Project A phased project Description:	ect to expand the	existing Bordertown Casino)
Project Address: 19575 US Highwa	ay 395 N Washoe County	, NV 89508	
Project Area (acres or square fe	et): 29,785		
Project Location (with point of re	eference to major cross	streets AND area locator):	
Northwest of the Villa	age Pkwy/US	395 exit in the Cold	Springs area.
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
081-140-16	12.37		
Indicate any previous Washo Case No.(s). SW05-018	oe County approval	s associated with this applicat	ion:
Applicant Inf	ormation (attach	additional sheets if necess	sary)
Property Owner:		Professional Consultant:	
Name: Bordertown Properties LLC		Name: Frank Lepori Construction	
Address: 19575 US Highway 395 N		Address: 1580 Hymer Ave	
Washoe County, NV	Zip: 89508	Sparks, NV	Zip: 89431
Phone: 775-972-1309	Fax:	Phone: 775-337-2063	Fax:
Email: greg@bordertowncasinorv.co	m	Email: dominic@leporiconstruction.c	om
Cell:	Other:	Cell: 775-762-9351	Other:
Contact Person: Greg Gardner		Contact Person: Dominic Gonzale	s
Applicant/Developer:		Other Persons to be Contact	ed:
Name: Frank Lepori Construction		Name:	
Address: 1580 Hymer Ave		Address:	
Sparks, NV 89431	Zip:		Zip:
Phone: 775-337-2063	Fax:	Phone:	Fax:
Email: dominic@leporiconstruction.c	com	Email:	
Cell: 775-762-9351	Other:	Cell:	Other:
Contact Person: Dominic Gonzale	s	Contact Person:	
	For Office	Use Only	
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A phased project to expand the unlimited gaming use type of Bordertown Casino. Phase 1 includes a 17,470 sq ft new building adjacent to the existing building on the existing lot. Phase 2 includes moving operations into the new building, demolishing the existing building, and constructing an addition that will tie into the Phase 1 building. A new 29,785 sq ft building will be the final product of Phase 1 + Phase 2

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Site Plan provided in this application

3. What is the intended phasing schedule for the construction and completion of the project?

Phase 1 will begin pending issuance of all required building permits during the 4th quarter of 2023. Phase 2 to begin upon the completion of Phase 1 with a completion of project in 2024.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The existing characteristics of the current Bordertown location are already suited to deal with the impacts and intensity of the proposed use. Bordertown has not had an update since initial construction in 1979. An expansion was previously proposed and the majority of the site work was completed at that time. While the expansion never came to fruition, the community seemed eager to revisit the concept and looks forward to a nice, new building at an already busy and loved location.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The project was well received at the Neighborhood meeting and a new building will enhance the already popular and existing establishment.

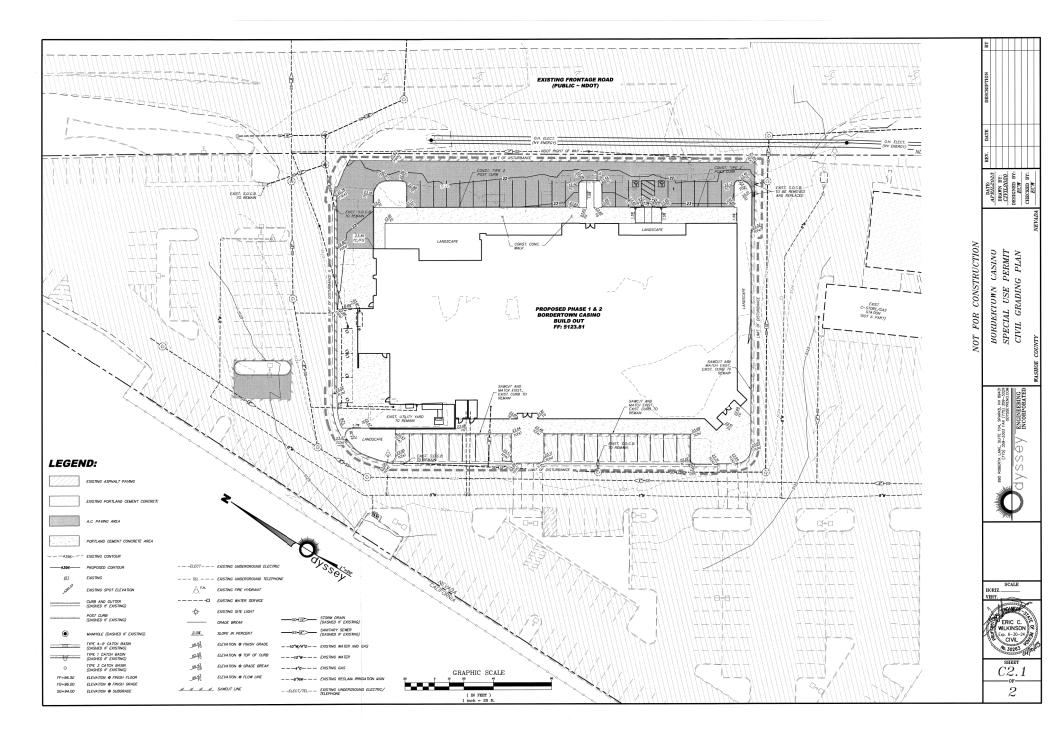
6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

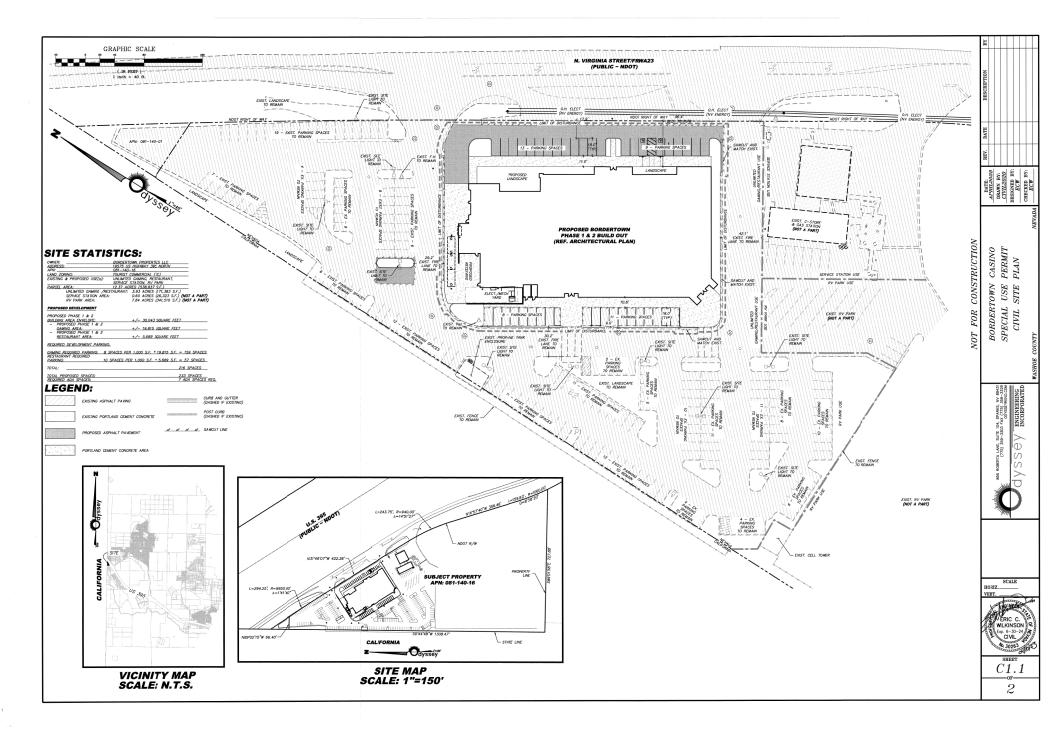
We do not anticipate any negative impacts on the adjacent properties

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Code current and required landscaping, parking and lighting are already integrated into the existing site layout and establishment as it pertains to Phase 1 of this project. New building signage will be added at proposed entrances into the establishment. Additional landscaping and parking adhering to code requirements will be provided as part of Phase 2 with additional signage at the grand entrance. All landscaping, parking and lighting requirements are included on the plans as part of this application for the entire build-out (Phase 1 + Phase 2).

8.	Are there any restrictive the area subject to the sp					
	☐ Yes			No		
9.	Utilities:					
	a. Sewer Service		Municipal, Washoe C	ounty		
	b. Electrical Service		NV Energy			
	c. Telephone Service		Verizon			
	d. LPG or Natural Gas Service		LPG			
	e. Solid Waste Disposal Service		Waste Management			
	f. Cable Television Service		Charter Spectrum			
	g. Water Service		Great Basin Water Co	ompany		
	and quantity of water righ h. Permit #	to you nat	e available cheal	acre-feet per year		
	h. Permit #			acre-feet per year		
	i. Certificate #			acre-feet per year		
	j. Surface Claim #			acre-feet per year		
	k. Other #			acre-feet per year		
	Title of those rights (as Department of Conservat				Nater Resources of the	
10.	Community Services (pro	vided and	nearest facility):			
	a. Fire Station Truckee		e Meadows Fire and Rescue Station 42			
	b. Health Care Facility	Commu	unity Health Alliance - North Valleys Health Center			
	c. Elementary School	Nancy C	Gomes Elementary School			
	d. Middle School	Cold Sp	rings Middle School			
	e. High School	North V	alleys High School			
	f. Parks	Sierra R	lock Park			
	g. Library	North V	alleys Library			
	h. Citifare Bus Stop	Lear Bo	ulevard and Moya Boul	evard		







SHRUBS REQUIRED = 570 MIN.

6 SHRUBS PER REQUIRED TREE

EXPANSION CASINO

L1

Scale in Feet

Studio Nevada



EXISTING LANDSCAPE AREA

Studio*Nevada*

No. Revision Date

Drawn AMH

L1

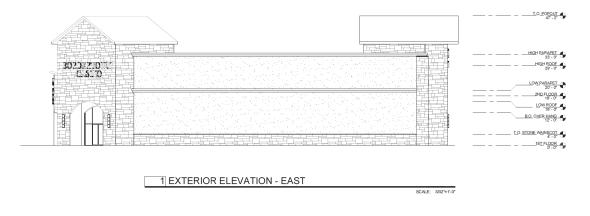
Scale in Feet

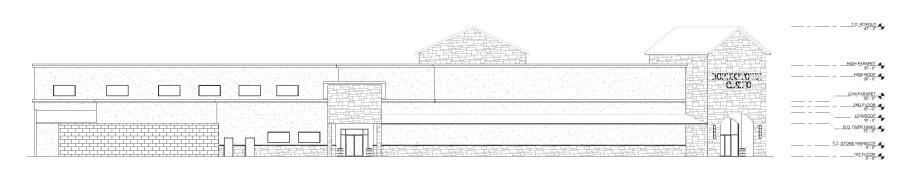
Properties Bordertown Casino Expansion 19575 US-395 Reno, NV 89508

Exterior Elevation
Phase 1 + Phase 2

April 7, 2023
SHEET:

A6.2





2 EXTERIOR ELEVATION - SOUTH

SCALE: 3/32"=1'-0"



CONSTRUCTION OCCUMENTARIES
TO BE USED ST FRANKLEFORS
CONSTRUCTION CO. NO. ONLY
M. 255 WITTERS ANTHOROUSE
B. SPIKEN STATISHOO OTHERWISE

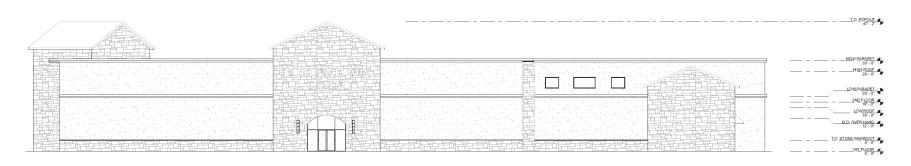
ion

Bordertown Casino Expansion 19575 US-395 Reno, NV 89508

Exterior Elevation
Phase 1 + Phase 2

$\overline{}$
DATE:
April 7, 2023
SHEET:
A6.3





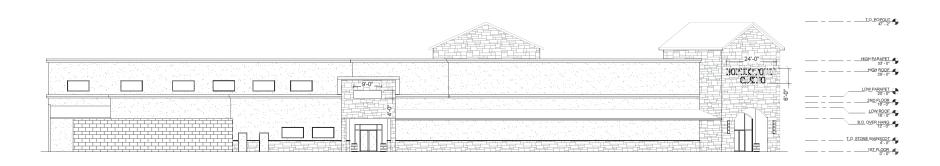
4 EXTERIOR ELEVATION - NORTH

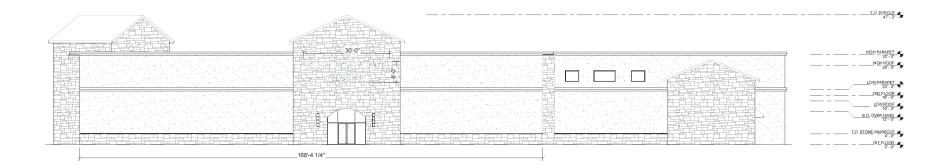
SCALE: 3/32"=1'-0"

ALLOWED SIGNAGE: 420 SF, 4 TOTAL BUILDING SIGNS

- PROPOSED SIGNAGE: 3 TOTAL FRONT ENTRANCE: 240 SF
 - BACK/SIDE ENTRANCE: 144 SF
 - RESTAURANT ENTRANCE: 36 SF

PROPOSED SIGNAGE WILL ADHERE TO ALL REQUIRED CODE REQUIREMENTS INCLUDING ILLUMINATION, SIZE, TYPE, LOCATION ETC.







Bordertown Casino Expansion 19575 US-395 Reno, NV 89508

Signage Plan
Phase 1 + Phase 2











-	00505	- 4 50 0	
L	SPECIFIC		
ITEM 16.1	DESCRIPTION	ITEM	DESCRIPTION GODE COMPLIANCE:
16.1	SIAMABRS AND CODES ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATES EDITION OF THE MATIONAL ELECTRICAL CODE (FICE), AS WELL AS ALL APPLICABLE STATE AND LOCAL CODES AND DEBINANCES. THIS DOES NOT RELEVE THE CONTRACTOR FROM FUNKISHING AND INSTALLING WORK SHOWN OF SPECIFED WHICH MAY EXCEED THE REQUIREMENTS OF SUCH ORDINANCES, LAMS, REQUIREMENT AND CODES.	16.18	CODE COMPUNICE: A: WORKING CEPANICE: - THE CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL EQUIPMENT MEETS THE CLEARANCE REQUIREMENTS OF NEC 110.28. DRAWNINGS REPRESENT CLEARANCES ARE MET AS DESIGNED, ANY DEVANTOR SHALL ALSO MEET THIS REQUIREMENT ELECTRICAL SHATOBRANDS REDTO 1200 AMES ON GREATER IN EXCESS OF 6 FEET IN LENGTH.
16.2	COMPLETE INSTALLATION: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC., RECESSARY TO ACCOMPLISH A COMPLETE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE PLANS TOOLSHER MINH THE SPECIFICATIONS.		SHALL REQUIRE TWO (2) EXITS FROM THE ELECTRICAL ROOM UNLESS NEC 110.26(C)(2)(a) OR 110.26(C)(2)(b) ARE MET. TRANSFORMERS:
16.3	PERMITS: OBTAIN AND PAY FOR ALL BUILDING AND WORKING PERMITS AND INSPECTION FEES REQUIRED FOR THIS PROJECT.		■ TRANSFORMERS RATED GREATER THAN 112.5 KVA SHALL BE PLACED IN ELECTRICAL ROOMS WITH A 1-HOUR THE RATING PER C4.50.2(8) WHERE THEY DO NOT MEET THE TRANSFORMER SECTION. TRANSFORMERS AS SPECIFED IN THIS SECTION MEET NEC 450.2(8) EXCEPTION \$2 AND ARE NOT RECOURSED TO BE PLACED IN A 1-HOUR ARTER ROOM.
16.4	BEAMINES DATA PRESENTED ON THESE DAMINING SHALL BE FIELD MERRED SINCE ALL DIMENSIONS, COCATIONS, AND LEIES ARE CORREDOR OF ACTIVAL PRICE CONTRITIONS REVIEW ALL ARCHITECTURAL, STRUCTURAL, COM, RECHARGOL, AND SPECUL TS SYSTEMS DAMINING AND ADUST ALL ROOM TO MEET THE RECURRENCES OF CONTRITIONS SHOWN REPORTS, OF ONT SCALE ELECTRICAL PLANS FOR PRITING, BENEZ OR APPLIANCE, COCATIONS, USE CONFIDENCY DIMENSIONS IF GIVEN OR CHECK ARCHITECTURAL OR RECHARGOL TRAININGS.	16.19	CONCURNO: ALL WORNS SHALL BE IN CONDUIT, MINIMAN 3/4°C, CONCEALD EXCEPT WHERE NOTED, EAT WITH STELL SET SOCIEW INSULATED—PROVAT FITTINGS MAY BE USED IN DBY, PROTECTED INTERIOR LICATIONS FOR SCAPEDULE AS SHALL BE USED BOOK ORABLE AT IMMINIMA "AL" WRAPPED RIGID ELBOWS AND RESENS SHALL BE USED FOR ALL THROUGH-GRADE TRANSPIONS AND STUB-INS. RICS OR MIC CONDUIT WITH THREFACED FITTINGS SHALL BE USED IN ALL LICATIONS WHERE PROPOSED TO THE
16.5	COMPRIGHT THESE PLANS SPECIFICATIONS AND ALL BELATED ADDENIA AND DOCUMENTS CONSTITUTE COMPRIGHT METHALS OF # PRODERRING ALL BRIFTS COMPRIED BY THE COMPRIGHT AND SMULR LANS ARE RESERVED TO # PRODUCEDING. THESE MATERIALS SHALL REMAIN THE SALE PROPERTY OF # PRODUCEDING AND MAY NOT BE REPROJUCED, DISTRIBUTED TO TOHERS OF USED FOR ANY PURPOSE MHATSOEVER WITHOUT THE PRIOR WRITTEN CONSENT OF JP ENGINEERING.		ELBANTS OR SUBJECT TO PHYSICAL DAMAGE METAL—CAD CABLE (TIPE MC) BILL BE ACCEPTIBLE FOR SINGE BROADE BRANCH DROUTING, FEBRIE HIMPS FORM JANCTION BORDS TO LIGHTING TRUTINES. WITHIN CASSINDRY AND ACCESSIBLE AREAS DRY. THE MC CABLE MAY NOT BE USED FOR HOMERIUS. BY ITS NOT ALLOWED, CORNICET RECESSED AND SUSPINADED LIGHTING THATMESS, MOTROEGED URBRATING EQUIPMENT WITH STEEL FLEX ALL CONDUIT SHALL HAVE PULL CORD IF OTHERWISE EMPTY.
16.6	LOCATIONS INDICATED LOCATIONS OF ALL OUTLETS AND EQUIPMENT ARE SUBJECT TO CHANGE SHIFT PREDICATE/RECONNICIONE ANY OUTLET, EQUIPMENT OR CONNECTION POINT UP TO 10' AS DIRECTED BY ENGINEER, AT NO ADDED COST.	16.20	MERING, WINE SHALL BE COPPER UNLESS OTHERWISE MOLOCATED, MAINLAM MERE SIZE SHALL BE #12 AWG. WHERE ALLIMONAL IS ALLIMONED BY METTER AUTHORIZATION BY THE PLONGERE, WISE SHALL BE TERMINATED IN AM INSLATED CULVAL RATED COMPRESSION TERMINAL FITTING (MAC-ADAPT OR EQUAL). INSLATION SHALL BE THAT THIN OR THAIL.
16.7	BECORD DRAIMINGS CONTRACTOR SHALL PROVIDE, PRIDE TO FINAL ACCEPTANCE AND GISSERVATION, ONE SET OF REVISED RECORD ELECTRICAL CONSTRUCTION DOCUMENTS ON REPRODUCIBLE MEDIUM INDICATING THE FOLLOWING ADDITIONAL INFORMATION:	16.21	EUSES: FUSES SHALL BE SIZED PER ACTUAL NAMEPLATE OF EQUIPMENT SERVED. FUSES SHALL BE DUAL—ELEMENT, CUMENT—LANTING, AND SHALL BE INTERCHANGEABLE BETWEEN FRAME SIZES WITH STANDARD FACTORY FUSES REDUCERS, FUSES SHALL BE AS FOLLOWS INCESS OTHERWISE MIDICATED:
	EXACT ROUTING OF ALL CONDUITS LARGER THAN 1" EXACT LOCATION OF ALL SERVICE OROUNDING/BORDING CONNECTIONS CONTRACTORS NAME, ADDRESS AND TELEPHONE NUMBER		a. Circuits 601 to 6000 amperes shall be protected by current limiting bussmann low-peak time-delay fuses kirp-c $-$ ul class $\rm L$
	RECORD NOTATIONS SHALL BE CLEARLY DRAWN AT A DRAFTING APPEARANCE EQUAL TO THE ORIGINAL DRAWNGS. CONTRACTOR SHALL ALSO PROVIDE ALL OPERATING AND MAINTENANCE MANUALS PRIOR TO FINAL PAYMENT.		b. CRICUITS O TO 600 AMPERES SHALL BE PROTECTED BY CURRENT LIMITING BUSSMANN LOW-PEAK DUAL—ELEMENT FUSES LPW—RK (250 VOLTS) OR LPS—RK (600 VOLTS) — UL CLASS RKI c. ALL INDIVIDUAL MOTOR CIRCUITS RATED 480 AMPERES OR LESS SHALL BE PROTECTED BY BUSSMANN
16.8	EXAMBIATION OF SITE AND EXISTING CONDITIONS BEFORE SUBMITTING A PROPOSAL CONTRACTOR SHALL EXAMBLE THE SITE AND FAMILURIZE HIMSELF WITH THE EXISTING CONDITIONS AND LIMITATIONS. NO EXTRAS WILL BE ALLOWED RECAUSE OF THE CONTRACTOR'S MISLINGIPESTAMONIC OF THE AMOUNT OF		LOW-PEAK DUAL-ELEMENT FUSES LPN-RK (250 VOLTS) OR LPS-RK (600 VOLTS) - UL CLASS RK1 OR L
	WORK INVOLVED OR HIS LACK OF KNOWLEDGE OF ANY STE CONDITIONS WHICH MAY AFFECT HIS WORK. ANY APPARENT VARIANCE OF THE BRAININGS OR SPECIFICATIONS FROM THE EXISTING CONDITIONS AT THE SITE SHALL BE CALLED TO THE ATTENTION OF THE ENONNER BEFORE SUBMITTING A PROPOSAL.		d. CRICUIT BREAKER PANELS SHALL BE PROTECTED BY BUSSMANN LOW-PEAK DUAL-ELEMENT FUSES LPN-FIK (250 VOLTS), LPS-FIK (600 VOLTS) OR BUSSMANN LOW-PEAK KRP-C TIME-DELAY FUSES - UL CLASS RK1 OR L
16.9	EXSTING OUTLETS: EXISTING OUTLETS AND CIRCUITING NOT IN CONFUCT WITH NEW CONDITIONS SHALL REMAIN. EXTEND OUTLETS TO NEW SURFACES, CAULK AND PROVIDE JUMBO PLATES AS REQUIRED TO		a. ALL DUAL—ELEMENT FUSES SHALL HAVE SEPARATE OVERLOAD AND SHORT—CIRCUIT ELEMENTS.
16.10	PRESENT A SERVICEABLE AND FINISHED APPEARANCE. EXISTING SWITCHGEAR: REUSE EXISTING SWITCHGEAR AND PANELS IN PLACE WHERE SO INDICATED.		 PROVIDE SPARE FUSE CABINET AFTER THE COMPLETION OF THE PROJECT WITH ONE SET OF SPARE FUSES FOR EVERY SIZE USED.
76.70	LASSIFIES SIMILARISANE RELOSE EMBINOS SIMILARISANE AND PARIEES BY PLANE MECHE SO MINULARISANE MODIFY AS REQUIRED TO ACCOMMODATE AND WORK PRODUCE RICH OF CONTROL REPAREMS AND/OR FUSES AS REQUIRED MEARMAGE EMBINOS GREQUITS WITHIN PARIEES TO AGREE MITH NEW PARIE SCHEDULES. TRACE AND INENTIFY ALL EXISTING CIRCLATS ON NEW RECORD PARIES SCHEDULES.	16.22	SUBMITIALS. BEFORE ORDERING ANY EQUIPMENT, CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF FACTORY SHOP DEBARMOS FOR ALL LIGHTING FITURES, SWITCHEAR, PANELS, MOTOR CONTROLLERS, WRING DEVICES, ETC. PROPOSED FOR THIS PROJECT.
16.11	IGENCIADOS PROME COMPLETE ELECTRICA, BONUTION, PRUDIE DESTINO OUTLETS AND EQUIPART IN CORPICIT MIN ME CONDITIONS, DESTINO CONQUES REMOVED FROM SPICEA MEI PE ARADOCES PLACE É IN A CONCEALED LOCATION, REMOVE ALL IMPE ERRAL ABANDORES RACIENTS, CONTRACTOR PAUL INSIDEZ CONTRIBUTO DE CONTRIBO PROPUIS REMOVA DE LAUTON ABERS, EXTRID AND/OR RELOCATED AS NECESSARY. SHET/RELOCATE ENSTING EQUIPART AND ORCUTING AS RECORDED TO ACCOMBIGATE EN WIN DECESSARY.	16.23	SUBSTITUTIONS: PROPOSED SUBSTITUTIONS SHALL BE COLLA, OR SUPERIOR TO SPECIFED ITEMS IN ALL RESPECTES. DETERMATION OF COLUNITY PESTS SUSCEPT WITH ENGINEER SUBSTITUTIONS WERE SUBSTITUTIONS ANNIALM OF 10 WORKING DAYS PRODE TO BIO FOR CONSIDERATION, PROPOSED SUBSTITUTIONS PROVIDED LATER WALL NOTE REFEVENCE OR ALLOWED. BIO SUBSTITUTED MATERIAL WILL ONLY BE ALLOWED IF ACCEPTED IN WARTING BY ENGINEER.
16.12	SALVAGE: ALL EXISTING EQUIPMENT REMOVED DURING THE COURSE OF THIS PROJECT SHALL BE OFFERED TO DWINER FOR SALVAGE, ANY EQUIPMENT SELECTED BY OWNER SHALL BE DELIVERED TO OWNER ON SITE ALL REMAINING EQUIPMENT BECOMES THE PROPERTY OF THIS CONTRACTOR AND SHALL	16.24	QUENTIFICATION: PROVIDE PURPAYED MAMERIATES FOR ALL SMITCHEGARDS, PANELS, TRANSFORMERS, DISCONNECTS, MOTOR STARTERS, CONTACTORS, TIME SMITCHES AND CABINETS. NAMERIATES SHALL INCLIDE THE FOLLOWING INFORMATION AS APPLICABLE: DESIGNATION (Le. PANEL A)
16.13	BE REMOVED FROM THE STE. "ESTING PROP TO PLACING IN SERVICE, ALL ELECTRICAL SYSTEMS SHALL BE TESTED FOR OPENS, GROUNDS, AND PHASE ROTATION. THE MAIN SERVICE GROUND AND ALL LOCAL TRANSFORMER MADE GROUNDS SHALL BE MEGGEF-TESTED.		FINETION (i.e. ANY HANDLER ANY -) VOLTAGE, PHASS, WAY (i.e. ANY HANDLER ANY -) FEEDER SIZE (i.e. 4-4/0 THINK CU IN 2" C.) SOURCE (i.e. SWITCHDARAN MASS)
16.14	GROUNDING: TEST EXISTING SERVICE NEUTRAL FOR ADEQUACY AND FOR GROUND CONTINUITY, GROUND ALL EXISTED HE STEEM NEUTRAL IN ACCORDANCE WITH ARTICLE 250 OF THE NEC. EXISTED HE GROUNDING WITH ARTICLE 250 OF THE NEC. EXISTED THEY CONTINUE HIT ARTICLE 250 OF THE NEC. EXISTED THEY CONTINUE HOSE HAVE EVERY SHOWN THEY YELD THE STEEM SHOWN THEY ARE SHOWN THE SH		NAMEPILATS AND UNION BUSINESS ON BLACK FOR NORMAL EQUIPMENT AND WHITE LETTERS ON RED FOR IMPRODUCY EQUIPMENT. GLABANITE: THE COMPLETE ELECTRICAL SYSTEM, AND ALL PORTIONS THEREOF, SHALL BE GLABANITED.
16.15	EQUIPMENT: STANDARDS: ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND OF THE HIGHEST QUALITY AVAILABLE ("SPECIFICATION GRADE"). SERVICE EQUIPMENT SHALL BE FACTORY—ASSENDLED AND ANALYSIS OF THE PROPERTY OF THE SERVICE SERVICE OF THE PROPERTY OF THE PERSON OF THE PROPERTY OF THE PERSON OF THE PROPERTY OF THE PERSON OF THE PERSO	16.25	MADE THE FROM DETECTS IN WORMANDS IN MADE THE ACT OF A PERSON OF THE REAL PROPERTY OF THE OWNER, LAMPS ARE EXEMPT FROM THIS CHARACTER OF THE OWNER, LAMPS ARE EXEMPT FROM THIS CHARACTER OF THE OWNER, LAMPS ARE EXEMPT FROM THIS CHARACTER OUT SHALL BE NOW AT TIME OF THAN ACCEPT INVEST.
16.16	SPECIFICATION GRADE WITH WILDN PLATES, WHITE UNLESS OTHERWISE NOTED, RAISED STEEL BOX COVERS MAY BE USED IN UTILITY AREAS. MATCH EMSTRIAS EXISTING EQUIPMENT AND SYSTEMS SHALL BE CONSIDERED A MINIMUM STANDARD TO	16.26	SUSPENDED CELLING SYSTEMS: ALL LAY-IN FIXTURES SHALL BE INDEPENDENTLY SUPPORTED BY TWO #12 SLACK WINES ATTACHED TO TWO OPPOSITE CONNERS OF THE FIXTURE PER USE A MEC REQUIREMENTS. THESE WINES SHALL BE SECURED TO THE STRUCTURAL REMIND SUCH THAT FAULURE OF THE
	BE MET, IF NOT OTHERWISE EXCEEDED BY THESE PLANS AND SPECIFICATIONS. HEW MATERIALS AND EQUIPMENT SHALL MATCH EXISTING IN APPEARANCE AND FUNCTION.	16.27	SUSPENDED CEILING SHALL NOT ALLOW THE FIXTURE TO DROP. GOORDINATION: THE CIVIL ARCHITECTURAL, MECHANICAL, KITCHEN AND INTERIOR DRAWINGS CONTAIN
16.17	TAMPER-PROOF: ALL EQUIPMENT AND CIRCUITING ACCESSIBLE BY THE PUBLIC SHALL BE TAMPER- PROOF AND VANDAL RESISTANT. OPENABLE DEVICES AND EQUIPMENT SHALL BE PADLOCKABLE.	, , , ,	OFTAL DESCRIPTIONS, CIRCUITING AND CONNECTION PEQUIREMENTS WHICH ARE PART OF DIVISION 16 RESPONSIBILITIES, ELECTRICAL CONTRACTOR SHOULD NOT ISBURT BIOS ON THIS PROJECT BEFORE REVIEWING ALL PROJECT DRAWINGS, SPECIFICATIONS AND ADDIENDA.

	SIGNAL OUTLETS		RECEPTACLES		ABBRE VIA TIONS
_	TELEPHONE: 4S BOX WITH SINGLE GANG MUD RING UON,		DUPLEX: 20A, 125V, NEMA 5-20, +18" AFF	e	CENTERLINE CENTERLINE
▼	+18" AFF UON		DOUBLE DUPLEX: 20A, 125V, NEMA 5-20, +18 AFF	AFF.	ABOVE FINISHED FLOOR
¥	TELEPHONE: 45 BOX WITH SINGLE GANG MUD RING UON, WALL MOUNT +54" AFF UON			AIC	AMPERES INTERRUPTING CAPACITY
∇			HALF SWITCHED DUPLEX: 20A, 125V, NEMA 5-20, +18" AFF (TOP HALF SWITCHED)	AFC.	ABOVE FINISH CEILING
~	DATA: 4S BOX WITH SINGLE GANG MUD RING UON, +18" AFF UON	=3 =3	DUPLEX GFCI: 20A, 125V, GFCI, NEMA 5-20 GFR, +18" AFF	BMS	BUILDING MANAGEMENT SYSTEM
₩	VOICE/DATA: 4S BOX WITH SINGLE GANG MUD RING UON, +18" AFF UON	=⊙ =◈	DUPLEX I.G.: 20A, 125V, ISO. GND., NEMA 5-20 IG +18" AFF (WHITE WITH ORANGE TRIANGLE, UON)	С	CONDUIT
↔	TELEVISION: 4S BOX WITH SINGLE GANG MUD RING UON, +18" AFF UON	-⊚	DOUBLE DUPLEX LG: 20A, 125V, ISO. CND., NEMA 5-20 IG +18" AFF (WHITE WITH ORANGE TRIANGLE, UON)	СВ	CIRCUIT BREAKER
*	CAMERA: 4S BOX WITH SINGLE GANG MUD RING UON,	→ →	SPECIAL RECEPTACLE - AS INDICATED ON PLANS, +18" AFF	CLG	CEILING
oʻ	CEILING MOUNTED UON	NO	TÉ: DIAMOND SYMBOLS INDICATES DEDICATED CIRCUIT.	CIR	CIRCUIT
(e)	MICROPHONE: 4S BOX WITH SINGLE GANG MUD RING UON, +18" AFF UON		EQUIPMENT	DPDT	DOUBLE POLE DOUBLE THROW
Ø	VOLUME CONTROL: 4S BOX WITH SINGLE GANG MUD RING UON, +48" TO TOP UON		SWITCHBOARD	DPST	DOUBLE POLE SINGLE THROW
v		7700	PANELBOARD: SURFACE MOUNTED	(E)	EXISTING TO REMAIN
3	SPEAKER: 8" COAXIAL WITH BACK BOX AND GRILLE, CEILING MOUNTED UON		PANELBOARD: FLUSH MOUNTED TRANSFORMER	ELEV	ELEVATOR
_	3/4°C (UON) STUB INTO ACCESSIBLE CEILING SPACE	Π		EMT	ELECTRICAL METALLIC TUBING
-	CEILING SPACE SWITCHES		RELAY (120V COIL, STEP DN XFMR IF REQUIRED, UON) CONTACTOR (120V COIL, STEP DN XFMR IF REQUIRED, UON)	EPO 500	EMERGENCY POWER OFF SYSTEM
S	SWITCHES SINGLE POLE: 20A, 120/277V, +48" TO TOP UON	Mar.	COMPACTOR (120V COIL, STEP DN XFMR IF REQUIRED, DON) COMBINATION MAGNETIC STARTER/FUSED DISCONNECT	FB0 FPEN	FURNISHED BY OTHERS FUSE PER EQUIPMENT NAMEPLATE
S ₂	TWO POLE: 20A, 120/277V, +48" TO TOP UON	Eh Eh	NON-FUSIBLE DISCONNECT SWITCH	FLUOR	FLUGRESCENT
S ₃	THREE WAY: 20A, 120/277V, +48" TO TOP UON	EP-	FUSIBLE DISCONNECT SWITCH	FLUOR	FUSE: DUAL-ELEMENT, TIME DELAY
S ₄	FOUR WAY: 20A, 120/277V, +48" TO TOP UON		PULLBOX: SIZE AS REQUIRED BY NEC	GFI/GFCI	GROUND FAULT INTERRUPTER
S _x	X INDICATES EMERGENCY CIRCUIT	0	JUNCTION BOX: SIZE AS REQUIRED BY NEC	GND	GROUND
S _p	P INDICATES PILOT LIGHT (LIGHTED WHEN ON)		SURFACE RACEWAY WITH OR WITHOUT DEVICES	HOA	HAND-OFF-AUTOMATIC
SL	L INDICATES PILOT LOCATOR (LIGHTED WHEN OFF)	Ð	TELEPOWER POLE	HID	HIGH INTENSITY DISCHARGE
Sĸ	K INDICATES KEY OPERATED SWITCH		CIRCUITING	IG	ISOLATED GROUND
Sw	MANUAL MOTOR STARTER: 20A, 120/277V, POLES		CONDUIT IN WALL OR ABOVE CEILING	INCAND	INCANDESCENT
	AND HEATERS AS REQUIRED		CONDUIT IN FLOOR OR BELOW GRADE	к	kcmll (300K = 300 kcmll)
S _{MC}	MOMENTARY CONTACT: 20A, 120/277V, SPDT CENTER NORMALLY OFF UON, +48" TO TOP UON		METAL CLAD CABLE (MC)	LTG	LIGHTING
D	DIMMER: 600 WATT UON, ELECTRONIC SLIDER, WITH ON/OFF TOGGLE, +48" TO TOP UON (PLANS SHALL INDICATE TYPE: FLUOR, INCAND OR LOW-VOLTAGE)	-OH-	OVERHEAD SERVICE	LV	LOW VOLTAGE
	INDICATE TYPE: FLUOR, INCAND OR LOW-VOLTAGE)	- P -	PRIMARY	MCP	MOTOR CIRCUIT PROTECTOR
±	MOTION/OCCUPANCY SENSOR SWITCH WITH OFF-AUTO SELECTOR — WALL MOUNTED AT +48" TO TOP UON	-s-	SECONDARY	MC	MULTI-CONDUCTOR CABLE
) = 360	ULTRASONIC MOTION/OCCUPANCY SENSOR SWITCH	- r -	TELEPHONE	(N)	NEW
= 180	CELLING MOUNTED ARROWS INDICATE DIRECTION AND COVERAGE PROVIDE WITH POWER PACK PER MANUFACTURERS REQUIREMENTS	- <i>TV</i> -	TELEVISION	NC	NORMALLY CLOSED
- 90		=:::=	LOW VOLTAGE AND/OR CONTROL CIRCUITING	NEUT	NEUTRAL
®	PHOTO ELECTRIC SWITCH: 1600VA UON	-**-	EMERGENCY CIRCUIT	NL	NIGHT LIGHT
	METHODS	-	STUB OUT: MARK AND CAP (SITE)	NO	NORMALLY OPEN
1 1, S _x 1	SHADING INDICATES: FIXTURE, OUTLET, EQUIPMENT, ETC. ON EMERGENCY 'X' OR NIGHT LIGHT 'NL' CIRCUIT		CIRCUITING UP OR DOWN	NTS	NOT TO SCALE
	DEVICE MOUNTED IN MULTIPLE UNDER COMMON COVER	!!///	TICS = NO. OF #12 WIRES (UON) IF MORE THAN TWO WITHIN CONDUIT OR MC	PNL	PANEL
sΨ	MAXIMUM HEIGHT ON WALL SHALL BE +48" TO TOP UON	T##	ISOLATED GROUNDING CONDUCTOR	PVC	POLYVINYL CHLORIDE CONDUIT
¥∇	DEVICES MOUNTED IN OR ABOVE COUNTER/BACKSPLASH: MAXIMUM HEIGHT ON WALLS SHALL BE +48" TO TOP UON		— GROUNDING CONDUCTOR NEUTRAL CONDUCTOR (ONE PER PHASE CONDUCTOR)	(R)	EXISTING TO BE RELOCATED
₩2	FLUSH FLOOR MOUNTED WIRING DEVICES		PHASE CONDUCTOR(S)	RAC	RIGID ALUMINUM CONDUIT RIGID STEEL CONDUIT
₩.	FLUSH FLOOR MOUNTED WIRING DEVICES IN SINGLE MULTI- COMPARTMENT BOX		HOMERUN DESIGNATION	SLD	SINGLE LINE DIAGRAM
Φ.	COMPARTMENT BOX RECEPTACLE MOUNTED IN CEILING OR CASEWORK		—— PHASE CONDUCTOR(S) ————————————————————————————————————	SO	SFAL OFF
Φ. Φ.	RECEPTACLE MOUNTED IN CEILING OR CASEWORK FINE DASHING INDICATES EXISTING EQUIPMENT AND DEVICES	PNL-(H,H,F	RNJG,IG ISOLATED GROUNDING CONDUCTOR	SPDT	SINGLE POLE DOUBLE THROW
0-1	TO BE REMOVED	<u> </u>	NEUTRAL CONDUCTOR (ONE PER PHASE CONDUCTOR) PANEL DESIGNATION	SPEN	SIZE PER EQUIPMENT NAMEPLATE
	DESIGNATIONS		MISCELLANEOUS	SPST	SINGLE POLE SINGLE THROW
F)	LIGHT FIXTURE: F1 = TYPE (SEE FIXTURE SCHEDULE)	Ŧ	THERMOSTAT: AT +48" TO TOP UON (OR PER MECH PLANS)	TEL	TELECOM
_		10	EXHAUST FAN: FRACTIONAL HORSEPOWER	TYP	TYPICAL
2>	SHEET NOTE	∕0⁄	MOTOR: NUMBER = HORSEPOWER	UNSW	UNSWITCHED
Λ	REVISION DELTA: NUMBER REPRESENTS REVISION	SIGN	SIGNAGE CONNECTION	UON	UNLESS OTHERWISE NOTED
AC \		≪H	SHUNT TRIP STATION: +7'-6" AFF, 12" RED TRIANGLE, UON	WP	WEATHERPROOF (NEMA 3R)
1	MECHANICAL AND PLUMBING EQUIPMENT	⊙4	CONTROL STATION: AT +48" TO TOP UON	WT	WATERTIGHT
5	MISCELLANEOUS: THESE AND OTHER SYMBOLS AS INDICATED IN TABLES AND SCHEDULES ON THE PLANS.	0 b	DUAL LEVEL LIGHTING CONTROL SWITCH 'o' = CENTER (1) LAMP SWITCH 'b' = OUTER (2) LAMPS	(X)	EXISTING TO BE REMOVED
TF:			SWITCH D = OUTER (2) LAMPS	XFMR	TRANSFORMER
			THIS SET OF PLANS	XΡ	EXPLOSION PROOF





BORDERTOWN CASINO

WASHOE OCUNTY, NEVADA

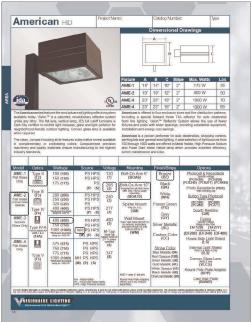
REVISIONS

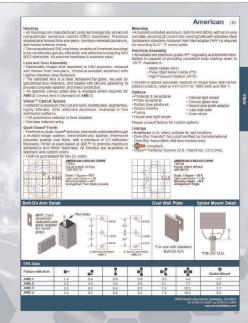
SHEET TITLE

SYMBOL LIST AND
SPECIFICATIONS

DR4MN:	м.
CHECKED:	J
DATE	10 APRIL 202.
JOB MUMBER:	JP #22202

QUIRED B		E SERIES TYPE ONLY. PROVIDE TRIMS, BALLASTS, MOUNTING EQUIPMENT, FITTINGS AND LAMPS
LE AND F		AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION. THIS IS NOT A STANDALONE PORATE ALL WORK INDICATED OR IMPLIED THROUGHOUT THE DRAWINGS AND SPECIFICATIONS.
YMBOL	SKETCH	DESCRIPTION AND MANUFACTURER
(F)		EXISTING HID, SINGLE HEAD METAL HALIDE WITH TYPE 2 OPTICS MOUNTED ON A 25'-0" TALL, A SQUARE STEEL POLE. DARK BRONZE FINISH.
å.		MOUNTING HEIGHT: 27-6" LAMP: (1) 400W PSMH VOLTAGE: 2089V MANUFACTURER: VIOLAGE: AME-2-12-400MH-(2)208-B0A10-B2 SUBSTITUTIONS: OR EQUAL ® SUBJECT TO REVIEW NO EQUAL
Ţ ^(E)		EXISTING HO, THIN FLED WETAL HALDE WITH TYPE 2 OPTICS MOUNTED ON A 25-0" TALL, 4" SOURCE STEEL FOLL DARK BROWZE FINISH. MOUNTING HEICHT: 27-6" LAW 21 (1) FOOD PSMH ANNIFACTURES - VISIONAISE, LAW-2-TZ-400MH-(2)208-B0A10-BZ
	₽ ^(E)	Ţ ^(E)









90 No 151 4-10-23

NEVADA

OCUNTY,

WASHOE

BORDERTOWN CASINO

REVISIONS

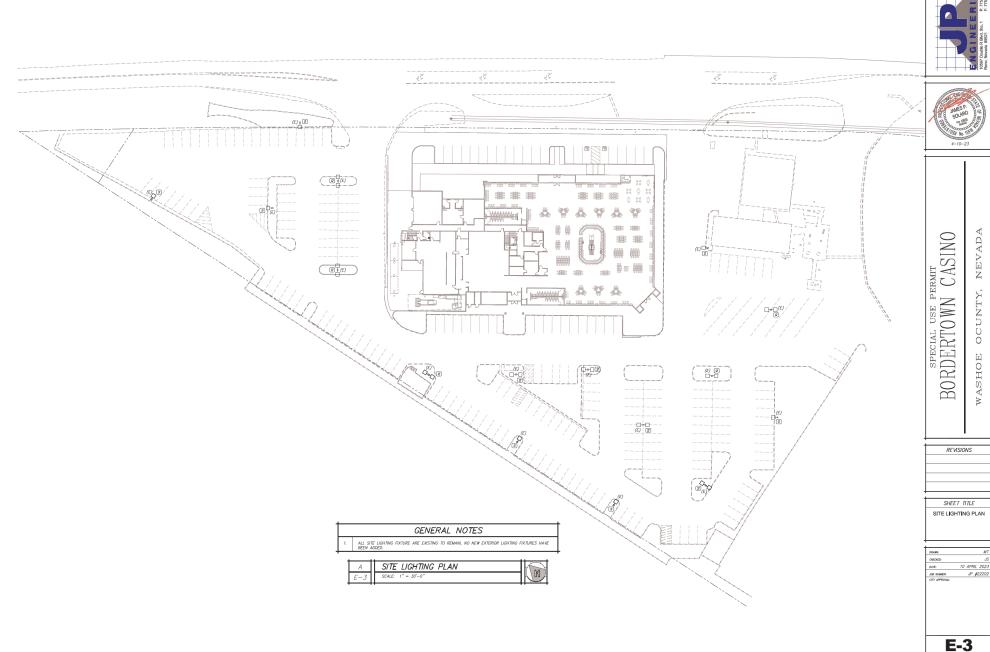
SHEET TITLE

SYMBOL LIST AND

SPECIFICATIONS

DR4MN:	M)
CHECKED:	JS
DATE:	10 APRIL 2023
JOB NUMBER:	JP #22202

E-2









SPECIAL USE PERMIT BORDERTOWN CASINO

NEVADA

OCUNTY,

WASHOE

SHEET TITLE

REVISIONS

SITE LIGHTING
PHOTOMETRIC PLAN

DRUM: MT

CHECKER: JS

DATE: 10 APPRIL 2023

JOB HUMBER: JP #22202

GTY APPROVAL:

E-4

0.1 0.1 0.2 0.3 0.5 0.7 1.0 1.5 2:1 3.0 3.1 3.0 2.1 1.5 02 04 09 17 26 30 26 33 28 21 19 15 16 20 24 38 6 50 50 50 17 1 40 63 65 64 3 26 14 09 0.5 0.2 0.1 0.1 0.0 0.0 0.0 0.0 0.0 0.5 0.9 0.9 0.7 0.8 0.8 0.5 0.3 0.2 0.2 0.1 0.1 0.1 0.1 0.1 0.0 0.0 0.0 15 25 31 22 20 36 26 20 1.5 1.6 20 30 38 47 36 52 58 60 60 60 60 61 61 43 41 24 1.6 1.0 5 2 0.6 1.3 1.5 1.5 1.5 1.3 0.8 0.6 0.4 0.3 0.2 0.2 0.2 0.1 0.1 0.1 0.0 0.0 1.1 1.3 2.5 24 24 1.8 14 1.0 0.7 0.8 0.4 0.3 0.2 0.2 0.1 0.1 0.1 0.0 0.0 21 27 30 27 28 19 16 3 16 22 29 41 19 40 47 49 57 55 51 49 46 29 24 15 0.9 22 ,19 ,21 ,16 ,70 ,11 ,14 ,20 ,25 ,32 ,40 ,43 ,40 ,43 ,47 ,53 ,51 ,49 ,46 ,35 ,20 ,14 1.5 2.2 2.5 3.4 2.5 2.5 2.2 1.7 1.2 0.8 0.7 0.6 0.4 0.3 0.2 0.1 0.1 0.0 0.0 1.6 2.4 3.6 3.4 3.0 3.4 3.1 2.4 1.8 1.2 1.1 1.0 (0.7 0.4 0.2 0.1 0.1 10.1 0.0 14 24 33 34 23 37 36 29 24 17 15 12 07 04 02 02 01 01 01 0.6 0.8 0.6 0.7 1.0 1.5 1.8 2.0 2.8 3.0 3.8 5.0 5.8 71 6.8 5.9 5.0 32 1.9 0.4 0.4 9.5 0.8 1.0 1.1 1.3 1.9 2.5 3.7 5.7 6.8 6.6 6.6 6.6 5.7 3.8 2.1 1.2 1.2 1.2 1.7 2.4 3.6 3.9 3.7 3.8 4.0 3.7 3.7 2.9 3.1 2.2 1.6 0.9 0.7 0.4 0.2 0.1 0.1 0.3 0.5 0.7 0.9 1.1 1.6 2.3 3.7 5.8 6.7 6.8 6.2 6.8 5.4 3.3 19 1.1 0. 1.6 2.0 3.3 3.9 4.2 3.8 3.8 5.1 5.0 4.4 4.5 4.0 2.1 1.6 1.0 0.5 0.3 0.1 0.1 33 32 24 18 18 16 16 16 15 38 12 13 15 16 14 15 17 18 19 18 16 16 16 16 14 1 0.9 1.3 1.8 2.1 2.3 2.7 3.9 5.2 5.7 5.1 6.5 5.9 3.9 2.3 1.1 0.5 0.3 0.1 0.1 24 23 19 18 22 23 24 24 26 26 27 29 30 31 30 25 21 15 12 12 15 21 24 28 32 46 55 72 74 56 59 60 38 25 11 05 03 02 01 53 50 43 45 46 54 53 57 53 59 50 53 7.4 7.0 54 4.4 35 25 2.4 2.8 3.4 4.9 56 50 53 5.2 5.4 5.1 4.8 4.7 3.9 2.2 1.5 1.0 0.5 0.3 90.2 0.1 59 53 82 67 73 75 75 75 78 80 86 86 73 57 43 30 28 36 46 80 71 71 75 72 81 53 37 35 27 20 11 97 04 03 02 01 71 78 66 77 83 77 70 78 66 77 78 66 78 88 78 78 78 60 78 78 60 78 78 60 78 78 60 78 78 60 78 78 60 78 78 60 78 67 64 58 62 7/2 83 7/2 80 89 81 80 81 172 73 81 70 63 47 50 51 60 71 72 65 75 62 54 38 35 24 17 11 07 04 02 01 30 30 21/89/87 55 49 55 64 76 85 38 7.5 7.5 67 89 81-84 7.4 7.6 73 84 86 88 81 71 7.6 7.5 7.6 7.1 80 54 48 42 27 21 3.4 68 9.4 9.2 37-31 24(32)35,42 51 54 59 51/52 65 44 66 54 52 78-78-70-75-78 56 59 56 47 53 49 48 47 78 20 34 26/16 09 04 27 22 20 30 43 50 50 52 52 48 43 35 34 42 55 73 76 50 72 75 55 54 46 47 44 46 48 39 39 33 33 45 16 08 58,2 AO A DA A 50 A1 36 31 33 A2 51 71 7.8 7.1 7.7 7.4 64 63 53 4.6 A.8 A3 A0 A4 A1 3.8 2A 1.9 1.3 29 35 23 23 22 28 34 42 55 58 50 58 60 61 71 72 75 64 53 41 30 23 49 13 08 22/ 1.7 21 24 3.5 4.7 5.0 4.9 4.5 5.2 5.8 5.9 7.4 7.0 6.4 6.8 5.6 3.9 2.3 1,8 1.2 0.9 5/21/30/34 48 50 48 46 49 56 67 1 80 46 70 56 39 26/16 10 07 1 24/33/38, 38 A7 A3 50 51 57 72 61 56 50 A6 33/99 11 07
15 24 33 36 34/42 39 A2 A2 52 52 58 54 A3 34 34 32 07 21 28 33 21 38 31 31 29 34 40 41 36 35 26 14 08 04 GENERAL NOTES 2.5 2.3 24 25 1.9 13 21 2.4 2.5 2.3 2.2 1.5 0.9 0.5 SITE LIGHTING PHOTOMETRICS ARE BASED ON EXISTING LIGHT FIXTURES WHICH ARE EXISTING TO REMAIN. NO NEW EXTERIOR LIGHTING FIXTURES HAVE BEEN ADDED. 1.5 1.4 1.5 1.3 1.2 14 116 116 1.3 1.2 1.0 0.6 40 50 90 80 60 60 60 80 80 80

SITE LIGHTING PHOTOMETRIC PLAN

M

0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.3

,0.3 ,0.2 ,0.2 ,0.2 ,0.2 ,0.2 ,0.1 ,0.1 ,0.1