

Wadsworth RV Resort

Application to Washoe County for a:

Special Use Permit

Prepared by:



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Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separated attached)

1. What is the project being requested?

Request for a Special Use Permit to allow a Recreational Vehicle (RV) resort on the properties zoned for Tourist Commercial (TC). The site to include 196 RV sites, 5 washroom facilities, a check-in office with a mini-market and laundry facilities, a clubhouse, a pool, recreational amenities, onsite wastewater package treatment plant, associated utilities, and a maintenance shed. An administrative permit is also being submitted for the construction of sign and a cellular communication tower on the project. Currently, the 4 parcels are under the same ownership. The project will undergo a reversion to a single parcel upon acceptance. A variance is requested to allow for a wrought iron and pilaster perimeter fence within the 25-foot landscape buffer per TC.1.1.1 of the Master Plan for Truckee Canyon Area Plan (2012). The project is called Wadsworth RV Resort.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached plans. Specifics are discussed in full in response #7.

3. What is the intended phasing schedule for the construction and completion of the project?

The intended schedule will include one phase with obtaining permits within one year of SUP plan acceptance and completed construction by with a licensed general contractor within two years of obtaining the SUP.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The location is ideally suited for a RV resort within the TC zone of the East Truckee River Canyon and along the Interstate 80 corridor. The scenic nature of the Truckee River and surround foliage make this suitable for a tourist destination while the proximity to the interstate make it readily accessible for travelers. The quick percolation rate of in situ soils makes storm water management by infiltration a good solution to control runoff. Minimal traffic impact is expected and will be limited to the portion of Cantlon Drive nearest to I-80. Anticipated totals are 52 AM peak hour trips and 40 PM peak hour trips.

5. What are the anticipated beneficial aspects your project will have on adjacent properties and the community?

The project is anticipated to increase commerce in the surrounding community of Wadsworth and Fernley. The addition of landscaping will beautify the undeveloped land and complement the natural scenery and blend with the existing foliage along the banks of the Truckee River. The proposed extension of a Truckee Meadows Water Authority (TMWA) water main could also be designed to accommodate future developments and annexations along Cantlon Drive.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

Increased traffic along local road will be accommodated through an on-site check-in parking lane so that RV's completely exit the roadway prior to stopping. The site will be fenced along the perimeter to limit guests from accessing adjacent properties. Access and easement through the project to the irrigation canal will be provided for purposes of regular maintenance. No adverse impacts to public health, safety, or welfare are anticipated for this project.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

This project complies with Article 316 of the CDC, which governs Recreational Vehicles use.

Section 110.316.20(e) Paving. All recreational vehicle spaces, parking spaces, and roads shall comply with paving requirements.

Section 110.316.25 Required Facilities. All sites shall be provided with sewer, water, and power hookups. A package sewage treatment plant shall be constructed and operated onsite. Restroom and bathing facilities will be featured throughout the site. Because each site has a dedicated sewer hookup, no sanitary station will be provided. Passive and active recreational areas shall be provided onsite and exceed the minimum of 2.5% of gross site area. The site shall be landscaped per plan.

Section 110.316.30 Recreational Vehicle Spaces. The majority of RV spaces are pull-through and exceed the minimum of 20%. Automobile storage is provided at each space and parking is available near site amenities. Sites shall meet or exceed the minimum of area 690 square feet and width of 23 feet.

Section 110.316.35 Circulation. All roads shall be 25 feet in width (typical) and two-way in design. The circular patterns are provided on the plans that shall accommodate the back-in, pull-in, or pull-through design of each row of spaces. Roads shall be paved with 3-inch AC over 6-inch AB. There is only one 120-foot non-through road stub; it does not exceed 600 feet and features an angled-hammerhead for turnaround movements.

Section 110.316.35 Exterior Boundary Screening. The entire perimeter shall feature a minimum 6-foot tall wrought iron and pilaster fence with appropriate landscaping.

Section 11.316.50 Prohibitions. All prohibitions shall be adhered to.

Section 11.316.5 Management. All requirements shall be complied with.

Each RV stall shall have sewer, water, and power hookups. TV/Communications hookups may be added as well. The site shall include a check-in office, mini-market, and laundry facilities with utility services. The site will include a clubhouse and pool with utility hookups. The site shall include five unisex washrooms with utility hookups. The site shall include garbage collection areas. Other recreational amenities may include pickleball, horseshoes, bocce, putting green, community fire pit, dog park, and picnic areas. A maintenance shed is also proposed.

Currently, the site remains undeveloped with only three wells existing. These wells are to be abandoned and water service will be provided by TMWA and discovery has been conducted to ensure adequate flows can be provided to the site. The project has been annexed into TMWA's service area. The project includes a proposed water main extension under I-80 from existing TMWA facilities at Stampmill Estates to the north. The initial discovery had mixed uses, including a 100-space RV park, ministorage, and manufactured housing. As the latter two uses did not meet current zoning requirements, the layout was abandoned in pursuit of the larger RV resort. It is expected that water use per TMWA's original discovery will decrease and flows will remain sufficient.

Sanitary sewer will be collected, treated, and disposed of onsite through the use of individual sewer hookups, piping, package treatment plant, and infiltration basins or fields. Reclaimed water may be considered for reuse as onsite irrigation or otherwise infiltrated. Power lines exist along the project frontage and gas service exists west of the site along Cantlon Drive. Extensions shall be run to provide the site with service.

Two approaches will be provided into the existing Cantlon Drive, one to serve as the main entrance while the other is to serve as secondary access for fire and emergency vehicles. The drive aisles onsite will be paved with asphaltic concrete pavement along with about half of the RV sites. The remainder of the sites will be a porous gravel pavement section to accommodate storm water infiltration and retention. Percolation rates of the subsurface soil throughout the site are anticipated to be 10 minutes per inch or less.

All exposed ground shall be paved, gravel, rock mulched, or landscaped per plan and in accordance with Article 312 of the Washoe County Development Code. Ample parking throughout the site is proposed to accommodate not only the resort staff but also the guests. Accessible parking stalls are provided near all amenities and 8 ADA-designated RV sites shall be provided.

A portion of the site resides in the 300-ft offset from the centerline of the Truckee River requiring the grading SUP for the minor surface grading. Although the southern extent of the property is shown in the FIRM AE zone, the entire site is above the FEMA base flood elevations and minor fills are proposed to level the site for development and bring the elevations further above the floodway.

Lighting shall be provided every 100 feet at 150 watt or 300 feet for guard lights. The proposed sign will be a 30-foot tall pylon with 200 square-feet of area. Signage for the site shall conform to the requirements of Division 5 of the Washoe County Development Code but requires an Administrative Permit due to size and height limits. An additional electronic display sign may be requested at a later date under separate permitting.

The cellular communication tower shall conform to the requirements of Section 324 of the Washoe County Development Code. The location is planned on the east end of the property in the vicinity of the wastewater treatment plant.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

No

9. Utilities:

- | | |
|---------------------------------|---|
| a. Sewer Service | Proposed package treatment plant |
| b. Electrical Service | NV Energy, existing lines along frontage. |
| c. Telephone Service | Unknown at this time |
| d. LPG or Natural Gas Service | Southwest Gas, existing service to the west along Cantlon Drive |
| e. Solid Waste Disposal Service | Waste Management |
| f. Cable Television Service | Unknown at this time |
| g. Water Service | TMWA, proposed extension from Stampmill Estates Development |

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

Water rights to be purchased from and provided by TWMA. Properties have been annexed into TMWA's service area and a main extension is proposed as part of this project. The TMWA Discovery is attached in the appendices.

10. Community Services (provided and nearest facility):

- | | |
|-------------------------|---|
| a. Fire Station | Truckee Meadows Fire Protection District |
| b. Health Care Facility | Renown Health Urgent Care, Fernley or USA Parkway |
| c. Elementary School | Washoe County School District (no students anticipated) |
| d. Middle School | Washoe County School District (no students anticipated) |
| e. High School | Washoe County School District (no students anticipated) |
| f. Parks | N/A |
| g. Library | Lyon County Library, Fernley |
| h. Citifare Bus Stop | N/A |

**Special Use Permit Application
For Grading
Supplemental Information**

(All required information may be separately attached)

1. What is the purpose of the grading?

Grading throughout the project is for the purposes of cutting to accommodate pavement sections and leveling sites for RV parking and building pads. Some grading is proposed within 300-ft of the Truckee River centerline.

2. How many cubic yards of material are you proposing to excavate on site?

Preliminary = 16,610 cubic-yards of cut, 37,930 cubic yards of fill with a net of 21,320 cubic-yards of import required. The import will be comprised of aggregate bases, gravel pavement, asphalt pavement, and concrete pavement. The intent shall be to balance earthwork and all imported surface materials onsite.

3. How many square feet of surface of the property are you disturbing?

Approximately 1,216,000 square feet.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Preliminary grading indicates net approximately 21,320 cubic-yards of import which is composed of the pavement sections. The earthwork will be balanced onsite and finish grades will be reflective of imported base and other surface materials. Fill will be generated through the excavation of the driveway sections, parking stalls, and the effluent infiltration basins, which will be placed as surfacing of the landscape.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. The site is larger than five acres in size and will require some grading within 300 feet of the Truckee River centerline to level the site for RV parking.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes. From I-80 and Cantlon Drive and adjacent parcels to the west and east.

- 9. Could neighboring properties also be served by the proposed access/grading request (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?**
Yes. A maintenance access and easement is proposed for the irrigation canal to the south of the property.
- 10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?**
The maximum slope proposed shall be 3:1 with a height of 4 feet. The existing site is generally flat and the completed sites will be flat. Straw wattles, silt fencing, or other BMPs shall be used to prevent erosion.
- 11. Are you planning any berms?**
No berms are planned. The sewage effluent infiltration basins will require sloping away to prevent storm water from filling the basin.
- 12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?**
No retaining walls are going to be required for grading. The property generally slopes 1 to 2% from the northwest to the southeast.
- 13. What are you proposing for visual mitigation of the work?**
The site will be fully landscaped except pavement areas.
- 14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?**
A couple of small scrub trees may be removed with development. Any perimeter trees of high quality will be incorporated into the final landscaping.
- 15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?**
The site will be fully and permanently landscaped.
- 16. How are providing temporary irrigation to the disturbed area?**
A permanent irrigation system will be constructed prior to placement of landscaping.
- 17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?**
N/A
- 18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&R) that may prohibit the requested grading?**
No

Appendices

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Property Owner Affidavit

Applicant Name: WALIGORA 1998 TRUST

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, VERNON WALIGORA, TRUSTEE WALIGORA 1998 TRUST, (please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 084-292-13, 084-292-14, 084-292-15, 084-292-16

Printed Name VERNON WALIGORA, TRUSTEE

Signed Vernon & Waligora

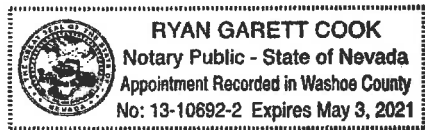
Address PO BOX 508

VERDI, NV 89439

Subscribed and sworn to before me this 1 day of APRIL, 2021.

Ryan Cook RYAN COOK
Notary Public in and for said county and state

My commission expires: 5/3/2021



(Notary Stamp)

*Owner refers to the following: (Please mark appropriate box.)

- Owner (checked)
Corporate Officer/Partner
Power of Attorney
Owner Agent
Property Agent
Letter from Government Agency with Stewardship

Project Request - This application includes the following request:

A request for a Special Use Permit to allow development of 196-site RV resort on 29.1 acre property currently undeveloped which requires minor grading within 300 feet of the centerline of the Truckee River and designated AE floodway. The project also includes a sign and cellular communication tower. A variance is requested for allowance to place a wrought iron perimeter fence within the 25-foot landscape buffer per TC.1.1.1. The project is called Wadsworth RV Resort.

Property Location

The project is located south of Interstate 80 and north of the Truckee River off Cantlon Drive (Exit 43) near the community of Wadsworth. The project is located on 4 parcels that total 29.1 acres for the site. The project is bordered by Tribal land to the east and south and private land to the west. An irrigation canal extends along the southern property line. The proposed address will be 34000 Cantlon Drive. Wadsworth is 1.5 miles to the northeast, Fernley is 4 miles to the east, Sparks is 30 miles to the west.

Project Description

Wadsworth RV Resort is a recreational vehicle resort that includes onsite amenities such as a clubhouse, pool, unisex washrooms, laundry service, mini-market, and check-in office. A maintenance building, electric display sign, and communications tower are also being proposed. Drive aisles will be paved and RV parking stalls will be a combination of hard surfaced and gravel to manage storm water runoff. Minor fill will be required to level the property with 300 feet of the Truckee River centerline. A smaller project was previous approved on March 3, 2015 (SW14-001) for 100-site RV park which utilized only part of the property.

Zoning Standards

Master Plan = Commercial

Regulatory Zone = Tourist Commercial

Plan Area = East Truckee Canyon

Minimum Project Size = 2 acres

Total Project Size = 29.1 acres

Tourist Commercial Setback Requirements:

Front Yard = 20 feet

Side Yards = 10 feet

Rear Yard = 10 feet

Special Use Permit Findings:

Washoe County Code Section 110.810.30 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the Special Use Permit application.

- a. **Consistency. The proposed use is consistent with the action programs, policies, standards, and maps of the Mater Plan and the applicable area plan;**

The proposed project meets all of the pertinent goals and policies of the Master Plan and the Truckee Canyon Area Plan. The project falls under the allowable uses established in the Area Plan and complies with all known policies and requirements.

- b. **Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;**

The proposed project meets all criteria of the Master Plan, and the Truckee Canyon Area Plan. Utilities, sanitation, water supply, storm water management, encroachments, easements, and other facilities have been provided.

- c. **Site Suitability. The site is physically suitable for the type of development and for the intensity of development;**

The proposed project appears to be well suited to the site as reflected in all of the technical products including the layout, access, and grading. The site appears to be physically suited for the type of development proposed.

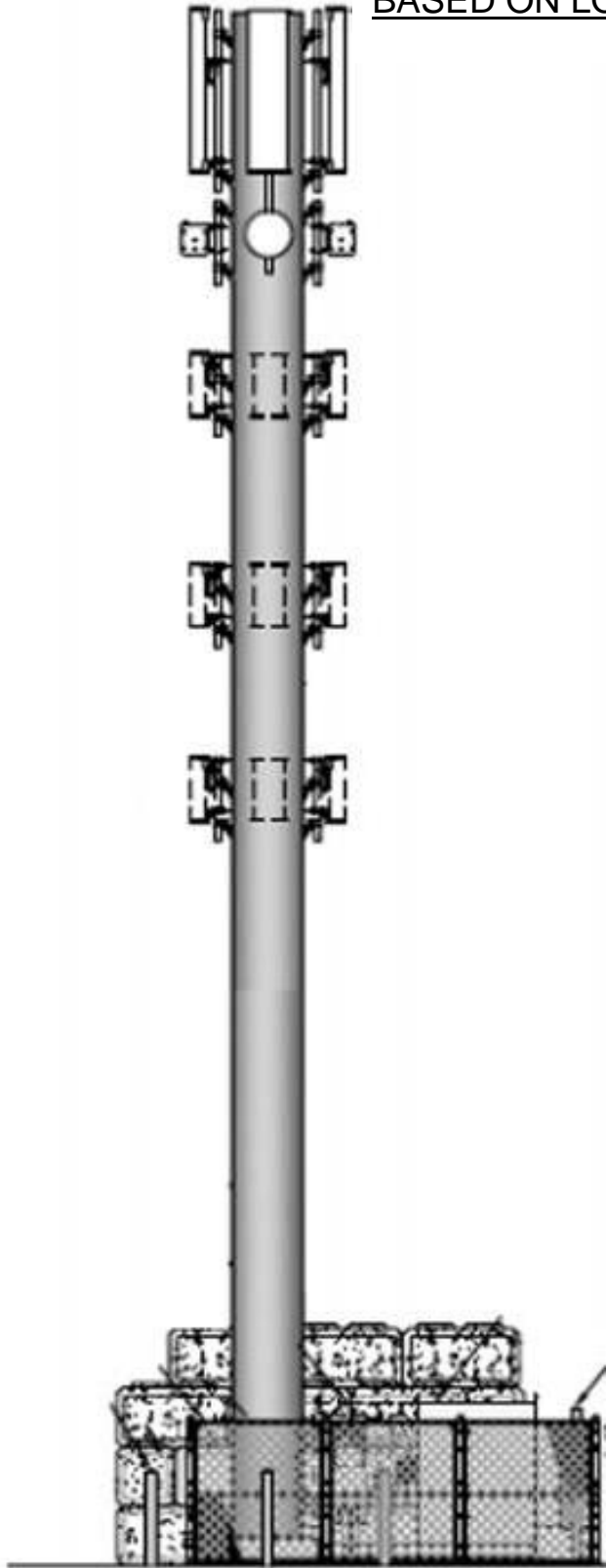
- d. **Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety, or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and**

The project does meet all of the requirements of Washoe County Code of Development. The design of the project and improvements will not cause significant public health problems. Facilities sufficient to the needs of the project have been proposed. Dust control related to grading will be the most obvious public health issue which is tightly regulated with dust control permitting. Additionally, the proposed amenities such as pedestrian trails, landscaping and common area will enhance the aesthetic and recreational value of the immediate neighborhood.

- e. **Effect on Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose, or mission of the military installation.**

The project will not have a detrimental effect on any nearby military installation.

HEIGHT: 45' - 60'
BASED ON LOCATION



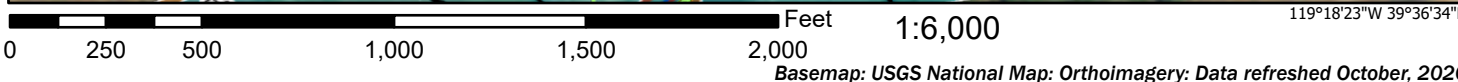
EQUIPMENT
AREA

PROPOSED CELL TOWER ELEVATION

National Flood Hazard Layer FIRMeTte



119°19'W 39°37'2"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

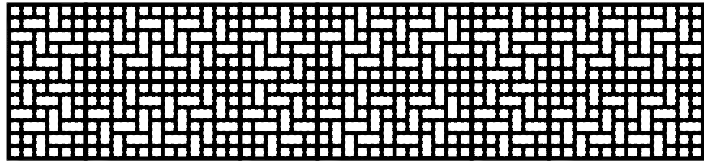
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

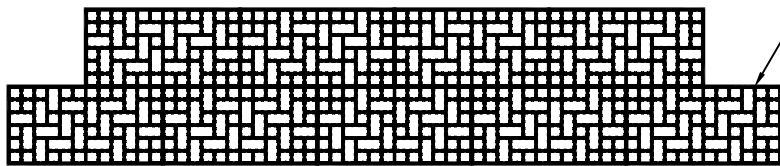
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/7/2021 at 2:20 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

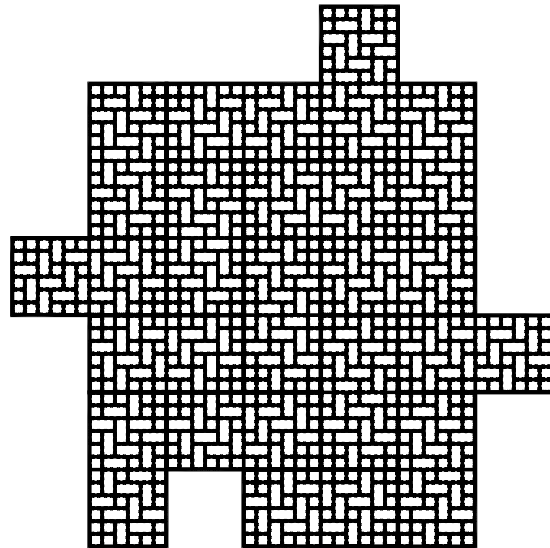
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



TYPICAL LAYOUT – OFFSET PATTERN–PATHWAYS



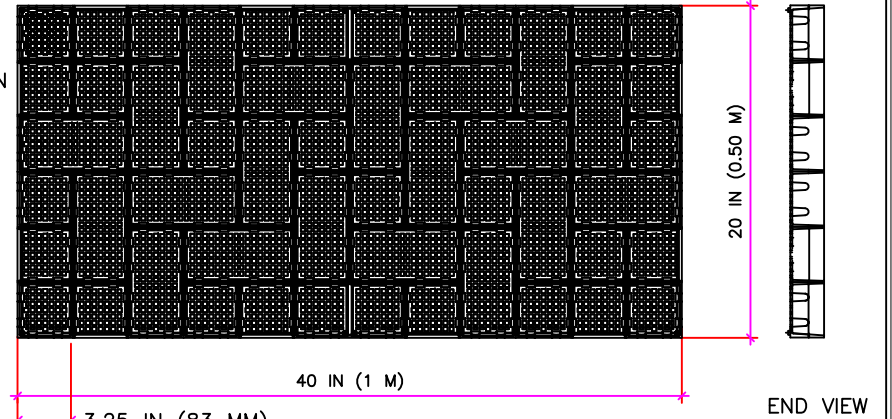
TYPICAL LAYOUT – BRICKLAYER PATTERN–PATHWAYS



TYPICAL LAYOUT – HERRINGBONE PATTERN–VEHICULAR TRAFFIC

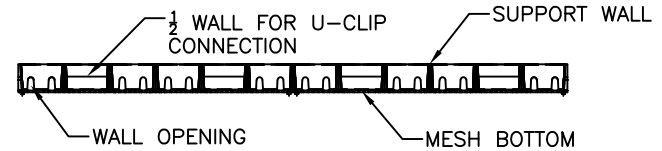



SIDE VIEW



FRONT VIEW

END VIEW

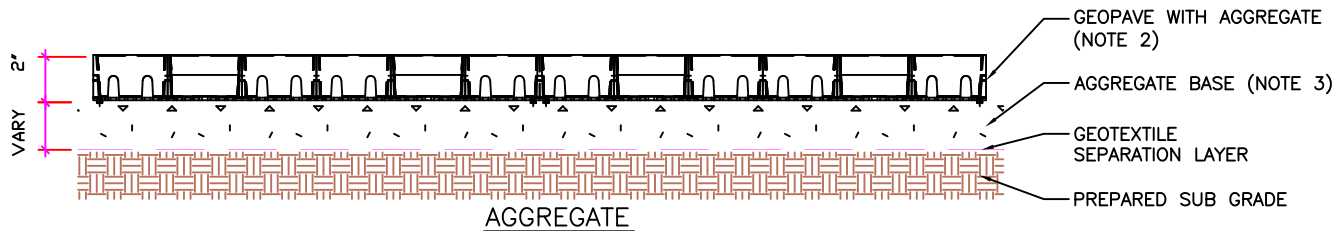



	REYNOLDS PRESTO® PRODUCTS, INC. 670 NORTH PERKINS STREET APPLETON, WI 54914 920-738-1342 WWW.PRESTOCEO.COM	
	GEOPAVE POROUS PAVEMENT SYSTEM	
PRESTO®, GEOSYSTEMS®, AND GEOPAVE® ARE REGISTERED TRADEMARKS OF REYNOLDS PRESTO PRODUCTS, INC.		
DATE:	MARCH 2020	FILE NAME GEOPAVE-A1.DWG
SCALE:	NTS	SHEET 1

DESIGN GUIDELINES – BASE DEPTH			GEOPAVE MATERIAL SPECIFICATION	
LOAD DESCRIPTION	CBR 2 – 4%	CBR > 4%	MATERIAL	UP TO 100% RECYCLED POLYETHYLENE
Heavy Fire Truck Access & H/HS25 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 40 kips (178 kN). Gross vehicle weight of 90,000 lbs (40.1 MT).	6 IN (150 MM)	6 IN (150 MM)	COLOR	RANGES DARK SHADES GRAY TO BLACK
			CHEMICAL RESISTANCE	SUPERIOR
Heavy Fire Truck Access & H/HS20 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN). Gross vehicle weight of 80,000 lbs (36.3 MT).	6 IN (150 MM)	6 IN (150 MM)	CARBON BLACK FOR UV STABILIZATION, %	1.5 TO 2.0%
			UNIT MIN CRUSH STRENGTH – EMPTY @ 70F (21C)	175 PSI (1,202 KPa)
Light Fire Truck Access & H/HS15 loading. Typical 85 psi (586 kPa) tire pressure. Single axle loadings of 24 kips (110 kN). Gross vehicle loads of 60,000 lbs (27.2 MT).	6 IN (150 MM)	4 IN (100 MM)	UNIT MIN CRUSH STRENGTH – FILLED @ 70F (21C)	5,160 PSI (35,625 KPa)
			FLEXURAL MODULUS @ 70F (21C)	35,000 PSI (240,000 KPa)
Utility & Delivery Truck Access & H/HS10 loading. Typical 60 psi (414 kPa) tire pressure. Single axle loadings of 16 kips (75 kN). Gross vehicle loads of 40,000 lbs (18.1 MT).	4 IN (100 MM)	2 IN (50 MM)	NOMINAL DIMENSIONS – WIDTH X LENGTH	20 X 40 IN (0.5 X 1.0 M)
			NOMINAL UNIT DEPTH	2.0 IN (50 MM)
Cars & Pick-up Truck Access. Typical 45 psi (310 kPa) tire pressure. Single axle loadings of 4 kips (18 kN). Gross vehicle loads of 8,000 lbs (3.6 MT).	2 IN (50 MM)	NONE	NOMINAL AREA	5.38 SQFT (0.5 SQMTR)
			CELLS PER UNIT	50
Trail Use. Loading for pedestrian, wheelchair, equestrian, bicycle, motorcycle and ATV traffic.	NONE	NONE	SMALL CELL SIZE	3.25 X 3.25 IN (83 X 83 MM)
			LARGE CELL SIZE	3.25 X 6.5 IN (83 X 165 MM)
			TOP OPEN AREA PER UNIT	90.5%
			BOTTOM OPEN AREA PER UNIT	32.6%
			BOTTOM MESH OPENING SIZE	0.25 X 0.25 IN (6.35 X 6.35 MM)
			NOMINAL WEIGHT PER UNIT	7.6 LBS (3.4 KG)
			RUNOFF COEFFICIENT @ 2.5 IN/HR (64 MM RAINFALL WITH AGGREGATE INFILL)	0 – 0.15
			UNITS PER PALLET	46

Notes:

1. This information is based on the use of GeoPave manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
2. Aggregate infill shall be 0.375 to 0.5 inch (10 to 13 mm) open graded crushed aggregate with fine content less than 5% to allow for free drainage.
3. Aggregate base shall be 0.375 to 1.0 inch (10 to 25 mm) open graded crushed aggregate with fine content less than 5% to allow for free drainage.
4. A minimum 2 inch (50 mm) of aggregate base should be placed below the units to act as drainage layer and infiltration area. The Engineer of Record shall be responsible for the design and stability of the open graded base course.
5. Provide a non-woven geotextile separation layer and install in accordance with Manufacturer recommendations including overlaps based on sub grade CBR.
6. Connect GeoPave panels with the U-CLIP connection device at all half wall locations, and driven completely so that adjacent sections have horizontally level profiles.
7. Refer to the GeoPave Design and Construction Overview for a complete description of the design and construction methods.

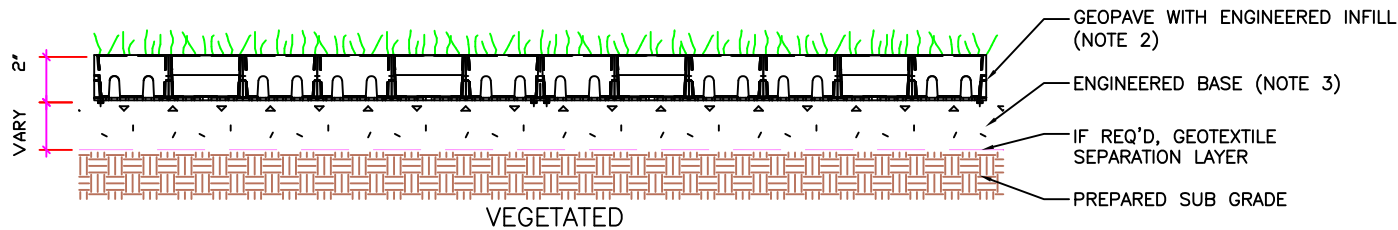



	REYNOLDS PRESTO® PRODUCTS, INC. 670 NORTH PERKINS STREET APPLETON, WI 54914 920-738-1342 WWW.PRESTO2GEO.COM
	GEOPAVE AGGREGATE INFILL POROUS PAVEMENT SYSTEM
<small>PRESTO®, GEOSYSTEMS®, AND GEOPAVE® ARE REGISTERED TRADEMARKS OF REYNOLDS PRESTO PRODUCTS, INC.</small>	
DATE: MARCH 2020	FILE NAME: GEOPAVE-B1.DWG
SCALE: NTS	SHEET: 1

			GEOPAVE MATERIAL SPECIFICATION	
LOAD DESCRIPTION	CBR 2 - 4%	CBR > 4%	MATERIAL	UP TO 100% RECYCLED POLYETHYLENE
Heavy Fire Truck Access & H/HS25 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 40 kips (178 kN). Gross vehicle weight of 90,000 lbs (40.1 MT).	6 IN (150 MM)	6 IN (150 MM)	COLOR	RANGES DARK SHADES GRAY TO BLACK
			CHEMICAL RESISTANCE	SUPERIOR
Heavy Fire Truck Access & H/HS20 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN). Gross vehicle weight of 80,000 lbs (36.3 MT).	6 IN (150 MM)	6 IN (150 MM)	CARBON BLACK FOR UV STABILIZATION, %	1.5 TO 2.0%
			UNIT MIN CRUSH STRENGTH - EMPTY @ 70F (21C)	175 PSI (1,202 KPa)
Light Fire Truck Access & H/HS15 loading. Typical 85 psi (586 kPa) tire pressure. Single axle loadings of 24 kips (110 kN). Gross vehicle loads of 60,000 lbs (27.2 MT).	6 IN (150 MM)	4 IN (100 MM)	UNIT MIN CRUSH STRENGTH - FILLED @ 70F (21C)	5,160 PSI (35,625KPa)
			FLEXURAL MODULUS @ 70F (21C)	35,000 PSI (240,000 KPa)
Utility & Delivery Truck Access & H/HS10 loading. Typical 60 psi (414 kPa) tire pressure. Single axle loadings of 16 kips (75 kN). Gross vehicle loads of 40,000 lbs (18.1 MT).	4 IN (100 MM)	2 IN (50 MM)	NOMINAL DIMENSIONS - WIDTH X LENGTH	20 X 40 IN (0.5 X 1.0 M)
			NOMINAL UNIT DEPTH	2.0 IN (50 MM)
Cars & Pick-up Truck Access. Typical 45 psi (310 kPa) tire pressure. Single axle loadings of 4 kips (18 kN). Gross vehicle loads of 8,000 lbs (3.6 MT).	2 IN (50 MM)	NONE	NOMINAL AREA	5.38 SQFT (0.5 SQMTR)
			CELLS PER UNIT	50
Trail Use. Loading for pedestrian, wheelchair, equestrian, bicycle, motorcycle and ATV traffic.	NONE	NONE	SMALL CELL SIZE	3.25 X 3.25 IN (83 X 83 MM)
			LARGE CELL SIZE	3.25 X 6.5 IN (83 X 165 MM)
			TOP OPEN AREA PER UNIT	90.5%
			BOTTOM OPEN AREA PER UNIT	32.6%
			BOTTOM MESH OPENING SIZE	0.25 X 0.25 IN (6.35 X 6.35 MM)
			NOMINAL WEIGHT PER UNIT	7.6 LBS (3.4 KG)
			RUNOFF COEFFICIENT @ 2.5 IN/HR (64 MM) RAINFALL WITH ENGINEERED INFILL	0.10 - 0.35
			UNITS PER PALLET	46

Notes:

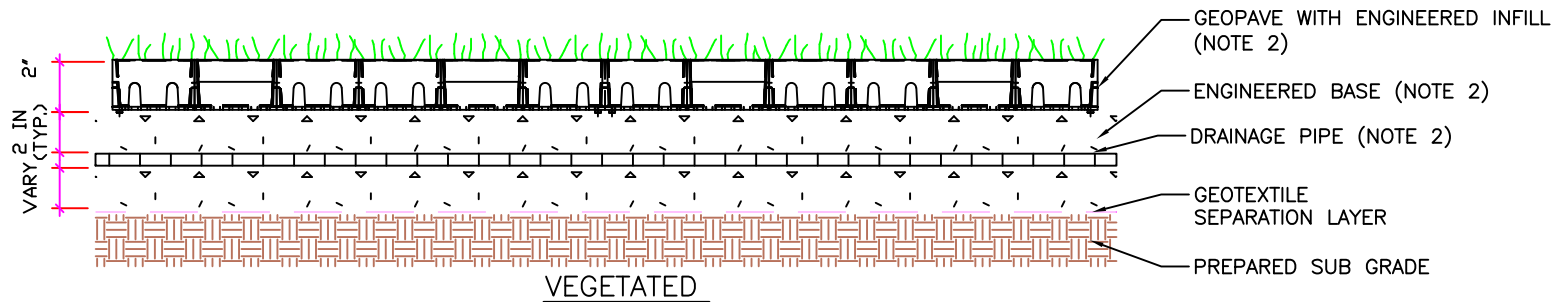
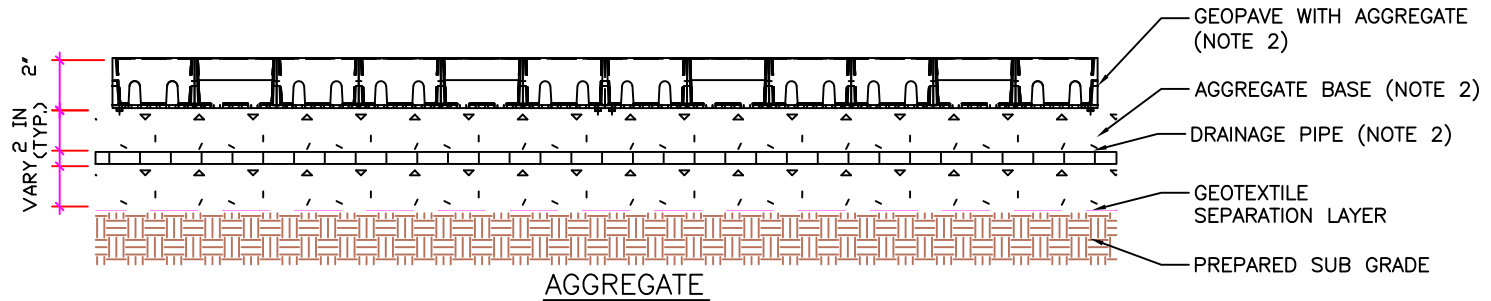
1. This information is based on the use of GeoPave manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
2. Engineered infill is a homogenous mixture consisting of open graded crushed aggregate having an AASHTO # 5 or similar designation blended with pulverized topsoil and a void component generally containing air and/or water. This homogenous mixture will promote vegetative growth and provide required structural support. The aggregate portion shall have a particle range from 0.375 to 0.5 in (9.5 to 13 mm) and free from fines per Presto's guidelines. The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 33% +/- of the total volume and be added and blended to produce a homogenous mixture prior to placement.
3. Engineered base is a homogenous mixture consisting of open graded crushed aggregate having an AASHTO # 5 or similar designation blended with pulverized topsoil and a void component generally containing air and/or water. This homogenous mixture will promote vegetative growth and provide required structural support. The aggregate portion shall have a particle range from 0.375 to 1.0 in (9.5 to 25 mm) with a D50 of 0.5 in (13 mm). The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 33% +/- of the total volume and be added and blended to produce a homogenous mixture prior to placement.
4. A minimum 2 inch (50 mm) of engineered base should be placed below the units to act as drainage layer and infiltration area. The Engineer of Record shall be responsible for the design and stability of the open graded base course.
5. If required, provide a non-woven geotextile separation layer and install in accordance with Manufacturer recommendations including overlaps based on sub grade CBR.
6. Connect GeoPave panels with the U-CLIP connection device at all half wall locations, and driven completely so that adjacent sections have horizontally level profiles.
7. Refer to the GeoPave Design and Construction Overview for a complete description of the design and construction methods.




	REYNOLDS PRESTO® PRODUCTS, INC. 670 NORTH PERKINS STREET APPLETON, WI 54914 920-738-1342 WWW.PRESTOGEO.COM
	GEOPAVE VEGETATION INFILL POROUS PAVEMENT SYSTEM
<small>PRESTO®, GEOSYSTEMS®, AND GEOPAVE® ARE REGISTERED TRADEMARKS OF REYNOLDS PRESTO PRODUCTS, INC.</small>	
DATE: MARCH 2020	FILE NAME: GEOPAVE-B2.DWG
SCALE: NTS	SHEET: 1

Notes:

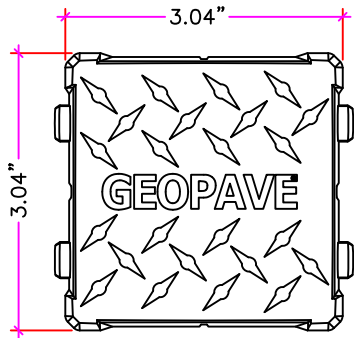
1. This information is based on the use of GeoPave manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
2. Drainage pipe shall be a perforated pipe, sized for expected hydraulic volume, and daylighted at a suitable location. The Engineer of Record shall be responsible for the design of the drainage system.
3. A minimum of 2 inches of base material shall be placed between the drainage system and the GeoPave panels.
4. Refer to the GeoPave Design and Construction Overview for a complete description of the design and construction methods.



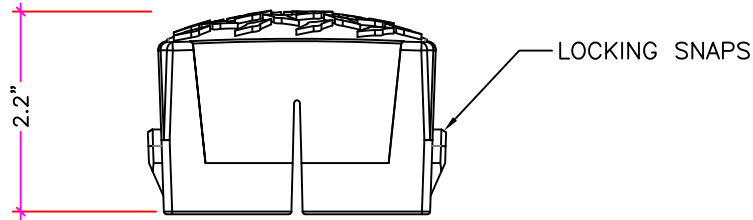
	REYNOLDS PRESTO® PRODUCTS, INC. 670 NORTH PERKINS STREET APPLETON, WI 54914 920-738-1342 WWW.PRESTOGEO.COM	
	GEOPAVE UNDERDRAIN POROUS PAVEMENT SYSTEM	
PRESTO®, GEOSYSTEMS®, AND GEOPAVE® ARE REGISTERED TRADEMARKS OF REYNOLDS PRESTO PRODUCTS, INC.		
DATE:	MARCH 2020	FILE NAME: GEOPAVE-C1.DWG
SCALE:	NTS	SHEET: 1

Notes:

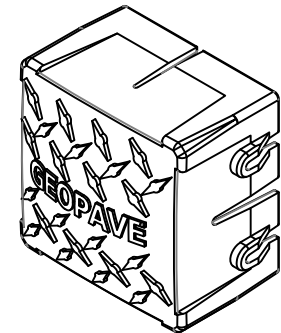
1. This information is based on the use of GeoPave and GeoPave SNAP Delineators manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
2. Produced in high visibility colors to mark parking spaces, drive lanes, center lines or other delineation.
3. SNAP Delineators integral locking snaps function in the GeoPave unit's square or rectangular cells at the placement density to meet visual and local agency requirements.
4. SNAP Delineators are compatible with aggregate and engineered fill materials.
5. Raised profile with diamond grid pattern aids in driver visibility and vehicle traction.
6. Refer to the GeoPave Design and Construction Overview for a complete description of the design and construction methods.



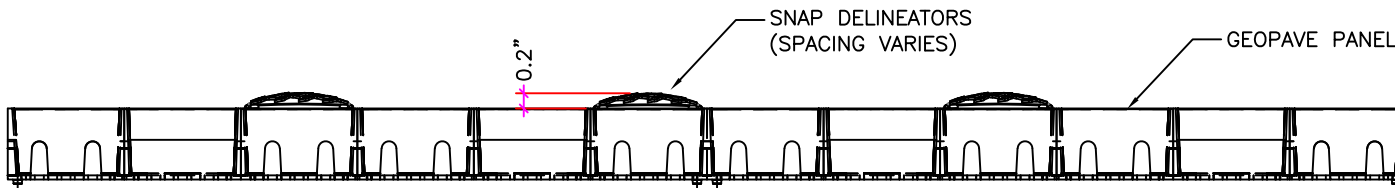
TOP VIEW




SIDE VIEW



ISOMETRIC VIEW



INSTALLED

	REYNOLDS PRESTO® PRODUCTS, INC. 670 NORTH PERKINS STREET APPLETON, WI 54914 920-738-1342 WWW.PRESTOCEO.COM	
	GEOPAVE SNAP DELINEATOR POROUS PAVEMENT SYSTEM	
PRESTO®, GEOSYSTEMS®, AND GEOPAVE® ARE REGISTERED TRADEMARKS OF REYNOLDS PRESTO PRODUCTS, INC.		
DATE:	MARCH 2020	FILE NAME: GEOPAVE-D1.DWG
SCALE:	NTS	SHEET: 1

SIGN FACE = 200 SF

HT. = 30'-0"



ADDRESS

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Account Detail

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CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

Washoe County Parcel Information

Parcel ID	Status	Last Update
08429213	Active	4/2/2021 1:39:54 AM
Current Owner: WALIGORA 1998 TRUST		SITUS: 34200 CANTLON DR
PO BOX 508 VERDI, NV 89439		
Taxing District 4000	Geo CD:	

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$2,795.40	\$2,795.40	\$0.00	\$0.00	\$0.00
2019	\$2,796.12	\$2,796.12	\$0.00	\$0.00	\$0.00
2018	\$2,795.77	\$2,795.77	\$0.00	\$0.00	\$0.00
2017	\$2,796.45	\$2,796.45	\$0.00	\$0.00	\$0.00
2016	\$2,792.95	\$2,792.95	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Payment Information

Special Assessment District

Installment Date Information

Assessment Information

Washoe County Treasurer
Tammil Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Account Detail

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CollectionCart			
Collection Cart	Items	Total	
	0	\$0.00	Checkout View

Pay Online

Washoe County Parcel Information		
Parcel ID	Status	Last Update
08429214	Active	4/2/2021 1:39:54 AM
Current Owner: WALIGORA 1998 TRUST		SITUS: 34100 CANTLON DR WCTY NV
1001 SILVER FOX CIR VERDI, NV 89439		
Taxing District 4000	Geo CD:	

Tax Bill (Click on desired tax year for due dates and further details)					
Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$1,241.49	\$1,241.49	\$0.00	\$0.00	\$0.00
2019	\$1,241.49	\$1,241.49	\$0.00	\$0.00	\$0.00
2018	\$1,241.49	\$1,241.49	\$0.00	\$0.00	\$0.00
2017	\$1,241.53	\$1,241.53	\$0.00	\$0.00	\$0.00
2016	\$1,237.93	\$1,237.93	\$0.00	\$0.00	\$0.00
Total					\$0.00

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Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2945

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- [Special Assessment District](#)
- [Installment Date Information](#)
- [Assessment Information](#)

Washoe County Treasurer
Tammi Davis

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Email: tax@washoecounty.us

Account Detail

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CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

Washoe County Parcel Information

Parcel ID	Status	Last Update
08429215	Active	4/2/2021 1:39:54 AM

Current Owner:
WALIGORA 1998 TRUST

SITUS:
34000 CANTLON DR
WCTY NV

PO BOX 508
VERDI, NV 89439

Taxing District
4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$1,559.13	\$1,559.13	\$0.00	\$0.00	\$0.00
2019	\$1,559.13	\$1,559.13	\$0.00	\$0.00	\$0.00
2018	\$1,559.13	\$1,559.13	\$0.00	\$0.00	\$0.00
2017	\$1,559.16	\$1,559.16	\$0.00	\$0.00	\$0.00
2016	\$1,555.56	\$1,555.56	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

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WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

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 Tammi Davis

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CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

Washoe County Parcel Information

Parcel ID	Status	Last Update
08429216	Active	4/2/2021 1:39:54 AM

Current Owner:
 WALIGORA 1998 TRUST

1001 SILVER FOX CIR
 VERDI, NV 89439

SITUS:
 33900 CANTLON DR
 WCTY NV

Taxing District
 4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$1,634.45	\$1,634.45	\$0.00	\$0.00	\$0.00
2019	\$1,634.45	\$1,634.45	\$0.00	\$0.00	\$0.00
2018	\$1,634.45	\$1,634.45	\$0.00	\$0.00	\$0.00
2017	\$1,634.50	\$1,634.50	\$0.00	\$0.00	\$0.00
2016	\$1,630.89	\$1,630.89	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

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 WASHOE COUNTY TREASURER

Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2545

[Payment Information](#)

[Special Assessment District](#)

[Installment Date Information](#)

[Assessment Information](#)



December 31, 2020

Mr. Vernon Waligora
1001 Silver Fox Circle
Reno, NV 89439

**RE: Discovery: 34200 Cantlon Dr.
 TMWA PLL#: 20-7708
 APNs: 084-292-13/14/15/16**

Dear Mr. Waligora:

Pursuant to your request, Truckee Meadows Water Authority (TMWA) has completed its Discovery for the above-referenced project, also referred to as 34200 Cantlon Dr_DISC, PLL# 20-7708; or APNs: 084-292-13/14/15/16.

Please find attached two internal memoranda from TMWA's Engineering and Water Rights Departments detailing their findings. Should you have any questions after reviewing the enclosures, please feel free to contact me at 775.834.8199, or nraymond@tmwa.com.

Thank you for the opportunity to serve your discovery, and future project development needs.

Regards,

Nancy Raymond

Nancy Raymond
New Business Project Coordinator

attachments

cc: Clint Thiesse, P.E. - Summit

Project Water Maximum Day Demands

The total project maximum day demand (MDD) is estimated to be 44.9 gpm (see Table 2).

Table 2. Estimated Project MDD.

Service Type	MDD, GPM
RV Park (100 spaces)	14.0
Single Family Residential (99 lots at 2400 ft ² each)	29.7
Self-Storage and Residence	0.2
Clubhouse	1.0
Total	44.9 gpm

Storage and Supply Capacity

There is adequate supply and storage capacity to serve the Project.

Off-Site Improvements and Cost Opinion

Offsite improvements are needed to serve the Project. These improvements and their associated planning level costs are listed in Table 3 and shown schematically in Figure 1.

Table 3. Offsite Cost Opinion

Facility Description	Qty	Unit	Unit Cost	Total Cost	Comments
Supply and Treatment Charge	44.9	MDD GPM	\$6,328	\$284,127	
10" Main	1420	LF	\$200	\$284,000	Main alignment routes under the I-80 overpass.
10" Main	550	LF	\$1,200	\$660,000	Main under I-80 will require Jack and Bore or drilling (actual cost may vary considerably)
Project Total				\$1,228,127	

- A. All facilities would be permitted, designed, and built by the developer and then dedicated to TMWA.
- B. All costs are the responsibility of the developer, unless otherwise noted.
- C. No irrigation demand was included for this project. For reference, 1AF of irrigation would equate to 1.7 gpm of MDD
- D. Both proposed main alignments cross NDOT right-of-way and will require Encroachment Permits.

Fire Flows

Project fire flow requirements are set by the area fire authority. The assumed fire flow requirement is 1,500 gpm for 2 hours with a minimum residual pressure of 20 psi. TMWA’s system can achieve this fire flow. Currently, fire flow is limited to 1500 gpm for 2 hours due to the water storage tank size. If the required fire flow was greater than 1500 gpm, the applicant would be required to pay for and construct additional storage. There are two scenarios that would meet this requirement: 1) Construct additional storage at the project site along with fire pumps to obtain the necessary fire flow; or 2)

Construct the additional fire storage at the existing storage tank site and potentially upsize the existing transmission and distribution piping as required to obtain the necessary flow rate.

Dead Ends and Looping

Nevada Administrative Code section 445A.6712 requires systems to be designed, to the extent possible, to eliminate dead ends. Looping can be achieved with a second supply main serving the project.

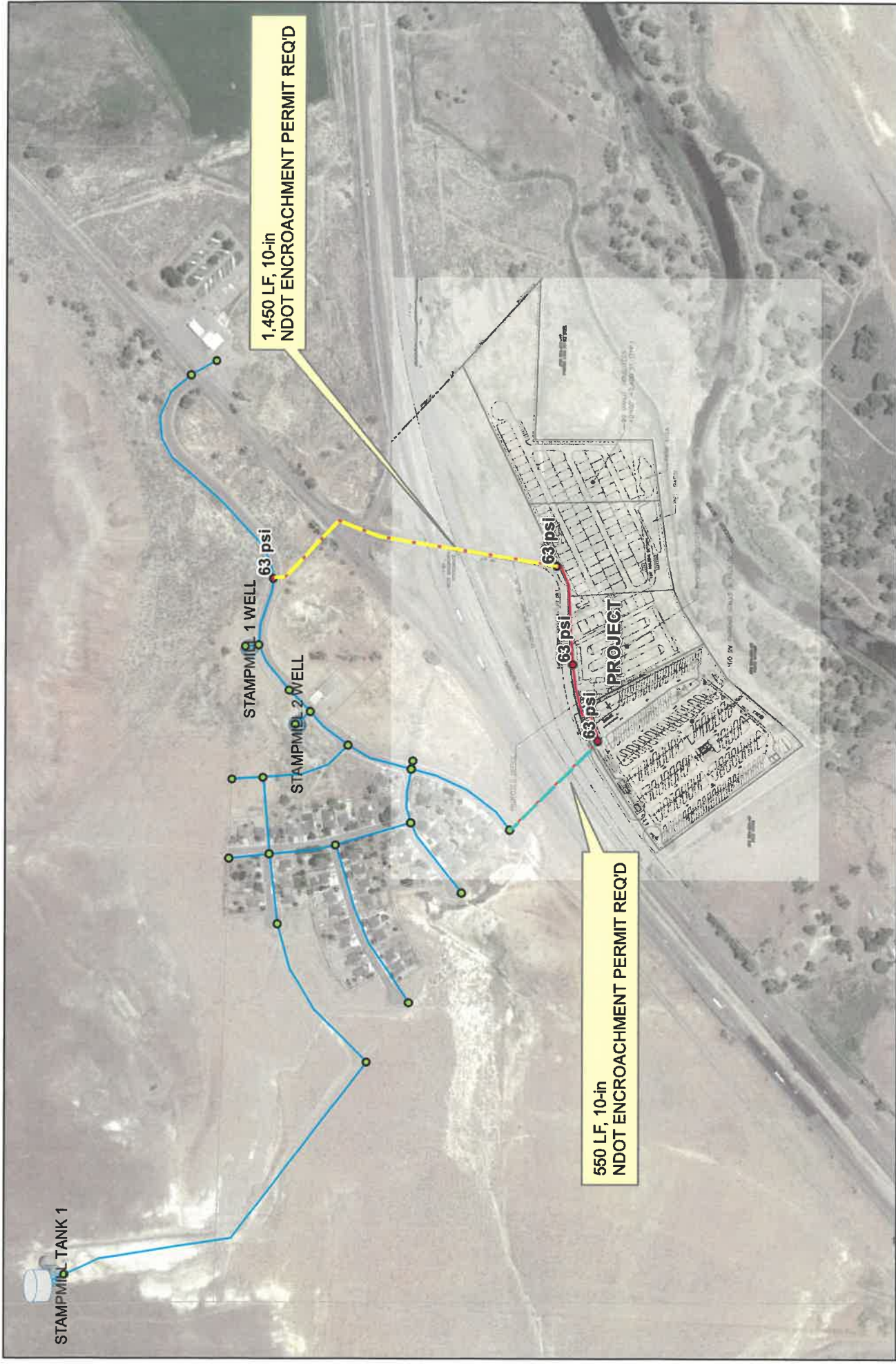
ASSUMPTIONS:

1. This water service plan is preliminary and subject to change.
2. This Project's water demands will ultimately be based on a water fixture unit count and irrigation requirement. Demands will be re-evaluated at the time of application for service.
3. The cost opinions contained herein do not include new business fees, cost of water rights and related fees, or contribution to the water sustainability fee.
4. Project pressure criteria are:
 - a. Maximum day pressure of 45 pounds per square inch (psi) at building pad elevation with tank level at top of fire storage,
 - b. Peak hour pressure of 40 psi at building pad elevation with tank level at top of emergency storage, and
 - c. Maximum day plus fire flow pressure of 20 psi at center of street elevation with tank level at bottom of fire storage.
5. Elevations used for this discovery were derived from existing topographic information.
6. Facility requirements for the Project are based on the assumed elevations, maximum day demand and fire flow requirements. Changes in elevation, demand or fire flow requirements may affect facility requirements.
7. Easements, permits, and all pertinent Agency approvals are obtained for the design and construction of the water infrastructure necessary to serve the proposed Project.
8. All cost opinions are preliminary and subject to change. The costs presented in this study are planning level estimates based on the information available. Actual costs will be determined at the time of application for service.
9. Future development may alter the conclusions of this discovery. Capacity in TMWA's system is available on a first-come, first-served basis, and commitment to provide service is not established until a contract for service is executed and all fees are paid.
10. The applicant shall be responsible for all application, review, inspection, storage, treatment, permit, easements, and other fees pertinent to the Project as adopted by the TMWA at the time of application.

Review of conceptual site plans or tentative maps by TMWA and/or agents of TMWA shall not constitute an application for service, nor implies a commitment by TMWA for planning, design or construction of the water facilities necessary for service. The extent of required off-site and on-site water infrastructure improvements will be determined by TMWA upon receiving a specific

development proposal or complete application for service and upon review and approval of a water facilities plan. After submittal of a complete Application for Service, the required facilities, the cost of these facilities, which could be significant, and associated fees will be estimated and will be included as part of the Water Service Agreement for the Project. All fees must be paid to TMWA prior to water being delivered to the Project.

Please contact Brooke Long (834-8104) with any questions or comments regarding this discovery.



STAMPMILL TANK 1

STAMPMILL 1 WELL

STAMPMILL 2 WELL

1,450 LF, 10-in
NDOT ENCROACHMENT PERMIT REQ'D

550 LF, 10-in
NDOT ENCROACHMENT PERMIT REQ'D

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

63 psi

DATE	DEC 2020
MAP BY:	BEL
WORK ORDER #:	20-7708
SCALE:	1 inch = 600 feet

FIGURE 1
34200 CANTLON DR DISCOVERY
WATER SERVICE PLAN
20-7708

TRUCKEE MEADOWS WATER
AUTHORITY
Quality. Delivered.

NAD 83 NEVADA STATE PLANE WEST FEET



Date: November 25, 2020

To: Nancy Raymond

From: David Nelson

RE: 20-7708 Waligora RV Park, Self-Storage and Subdivision (APN 084-292-13 thru 084-292-16)

The New Business/Water Resource team will answer the following assumptions on each new discovery:

- Is the property within Truckee Meadows Water Authority's water service territory?
- Does the property have Truckee River water rights appurtenant to the property, groundwater or resource credits associated with the property?
 - If yes, what is the status of the water right: Agricultural or Municipal and Domestic use?
- Estimated water demand for residential and or commercial projects.
- Any special conditions, or issues, that are a concern to TMWA or the customer.

The following information is provided to complete the Discovery as requested:

- These subject parcels (APN 084-292-13 thru 084-292-16) are within Truckee Meadows Water Authority's (TMWA's) service territory. An annexation is not required.
- The Nevada Division of Water Resource (NDWR) does not have Truckee River decreed water rights mapped in this area; therefore, TMWA cannot confirm or deny that there are Truckee River Decree rights on the properties. There are no Resource Credits at site. The developer will be required to follow TMWA's current rules, specifically Rule 7, and pay all fees for water rights needed in order to obtain a will serve commitment letter.
- Based on the information provided by Summit Engineering, this project (Waligora RV Park, Self-Storage and Subdivision) is estimated to require a demand of **24.97 acre feet (AF)**. Although landscaping, clubhouse, and pool plans were not provided to TMWA comparables ran in the Reno/Sparks area included some of these site amenities. Please see the attached demand calculation sheets for the **estimated** demand and water resource fees. Once final plans are submitted a more accurate demand will be calculated. *Note: TMWA has no Rule 7 water rights for purchase in this area. Area groundwater will have to be dedicated.*
- Any existing right of ways and public easements would need to be reviewed, and if needed the property owner will need to grant TMWA the proper easements and/or land dedications to provide water service to the subject properties. Property owner will be required, at its sole expense, to provide TMWA with a current preliminary title report for all subject properties. Owner will represent and warrant such property offered for dedication or easements to TMWA shall be free and clear of all liens and encumbrances. Owner is solely responsible for obtaining all appropriate permits, licenses, construction easements, subordination agreements, consents from lenders, and other necessary rights from all necessary parties to dedicate property or easements with title acceptable to TMWA.



**WATER RIGHTS AND METER FUND CONTRIBUTION
CALCULATION WORKSHEET FOR MULTI-TENANT/COMMERCIAL APPLICATIONS**

			Demand (Acre Feet)
1 Existing demand (current usage) at Service Property			0.00
2 Number Units: RV - Comps	<u>100</u>	x .10 (Units)	10.00
3 Number Lots: Subdivision	<u>99</u>	approx. x .14 (Lots)	13.86
4 Fixture units: Clubhouse Estimate	<u>57.0</u>	x 15x 365x 3.07/ 1 mil	0.96
5 Landscaping: Turf		<u> </u> sq ft x 3.41/ 43,560	TBD
6 Drip			TBD
7 Other calculated demand: Self Storage-Office and Dwelling			<u>0.15</u>
8 New or additional demand at Service Property (lines 2+3+4+5+6)			<u>24.97</u>
9 Total Demand at Service Property (lines 1+8)			24.97
10 Less: Prior demand commitments at service property			0.00
11 Less: Other resource credits: on subject parcel			0.00
12 Total Credits (lines 10+11)			<u>0.00</u>
13 Subtotal: Required resource dedication/commitment (lines 9-12)			24.97
14 Factor amount (0.11 x Line 13)			0.00
15 No return flow required			<u>0.00</u>
16 TOTAL RESOURCES REQUIRED (lines 13+14+15)			<u>24.97</u>
17 Price of Water Rights per AF	<u>\$7,600</u>		\$ NA
18 Will Serve Commitment Letter Preparation Fee (\$150 per letter)			\$ 150
19 Due Diligence Fee (\$150.00 per parcel)			\$ 0
20 Document Preparation Fees (\$100.00 per document)			\$ 0
21 Water Resource Sustainability fee (\$1,600 x 24.97 acre feet of demand)			\$ <u>NA</u>
22 TOTAL FEES DUE (lines 17+18+19+20+21)			\$ <u>150</u>

Project: Waligora RV Park, Self Storage and Subdivision

Applicant: Vernon Waligora **Quote date:** 11/24/2020

Phone: 775-771-7269 **Tech contact:** David (834-8021)

APN: 084-292-13 thru 084-292-16 **Project No:** 20-7708

Remarks: Fees quotes are valid only within 15 calendar days of Quote Date.

The 24.97 acre feet may result in the assessment of facility fees pursuant to TMWA's Rules and Rates.

This estimate demand displays dedication of area groundwater. Estimate was factored by comparables

in the Reno/Sparks area. An exact demand cannot be determined until the final project is

submitted at TMWA.

SOLAEGUI
ENGINEERS

March 8, 2021

Mitchell Fink, P.E.
Washoe County Community Development
P.O. Box 11130
Reno, Nevada 89520

Re: Waligora RV Resort – Trip Generation Letter

Dear Mitch:

This letter contains the findings of our trip generation review of the proposed Waligora RV Resort project located on the south side of I-80 at the West Wadsworth Interchange in Washoe County, Nevada. The project is designed to contain 194 RV spaces. The project site plan is attached. The purpose of this letter is to document the trip generation attributable to the proposed site plan.

Trip generation calculations for the project are based on the Tenth Edition of *ITE Trip Generation*, published by the Institute of Transportation Engineers. The calculation sheets are attached for ITE land use #416 Campground / Recreational Vehicle Park. Table 1 shows the trip generation totals. The manual includes AM and PM peak hour volumes but an average daily number is not provided for this land use.

TABLE 1
TRIP GENERATION

<u>LAND USE</u>	<u>ADT</u>	<u>AM PEAK HOUR TOTAL</u>	<u>PM PEAK HOUR TOTAL</u>
Campground / Recreational Vehicle Park 194 Spaces	n/a	52	40

As indicated in Table 1, the RV Park trip generation amounts to 52 AM peak hour trips and 40 PM peak hour trips. These totals are below the threshold triggering the need for a full traffic study.

We trust that this information will be helpful to you. Please contact us if you have questions or comments.

Very truly yours,
SOLAEGUI ENGINEERS, LTD



Enclosures
Letters/ Waligora RV Resort Trip Generation Letter

WALIGORA RV RESORT

Wadsworth, Nevada

GENERAL NOTES

- BUILDING CONSTRUCTION PLANS SHALL BE PROVIDED BY A REGISTERED ARCHITECT. BUILDING PLANS SHOWN ON THE REGULATORY, VEHICLE (RV) PARK DESIGN SCHEMATICS ARE A SUGGESTED REPRESENTATION.
- THE GRASSY SURFACE IN ALL PARTS OF THE REGULATORY VEHICLE (RV) PARK SHALL BE GRASSED AND MAINTAINED AS SUCH. THE GRASSY SURFACE SHALL BE MAINTAINED AS SUCH. THE GRASSY SURFACE SHALL BE MAINTAINED AS SUCH.
- ALL UTILITIES SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER AND DRAINAGE FOR THE CONVEYANCE OF SURFACE WATER. OFF-SITE SHALL BE OBTAINED, IF NECESSARY.
- ALL UTILITIES AT THE REGULATORY VEHICLE (RV) PARK SHALL BE PROVIDED WITH A CONNECTION TO THE REGULATORY VEHICLE (RV) PARK. ALL UTILITIES AT THE REGULATORY VEHICLE (RV) PARK SHALL BE PROVIDED WITH A CONNECTION TO THE REGULATORY VEHICLE (RV) PARK.
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- AN INTENDED STREET LIGHTING PLAN SHOWS LOCATION AND LAYOUT FOR THE REGULATORY VEHICLE PARK SHALL BE APPROVED BY THE CITY AS PART OF THE SITE PLAN.

PARCEL INFORMATION

ANY 094-22-16 - 68 AC
 ANY 094-22-17 - 68 AC
 ANY 094-22-18 - 68 AC
 ANY 094-22-19 - 68 AC
 TOTAL 271 ACRES
 ZONING 65

SITE ADDRESS

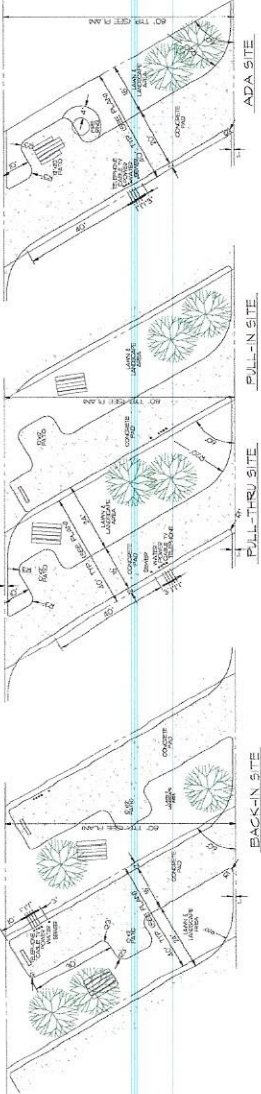
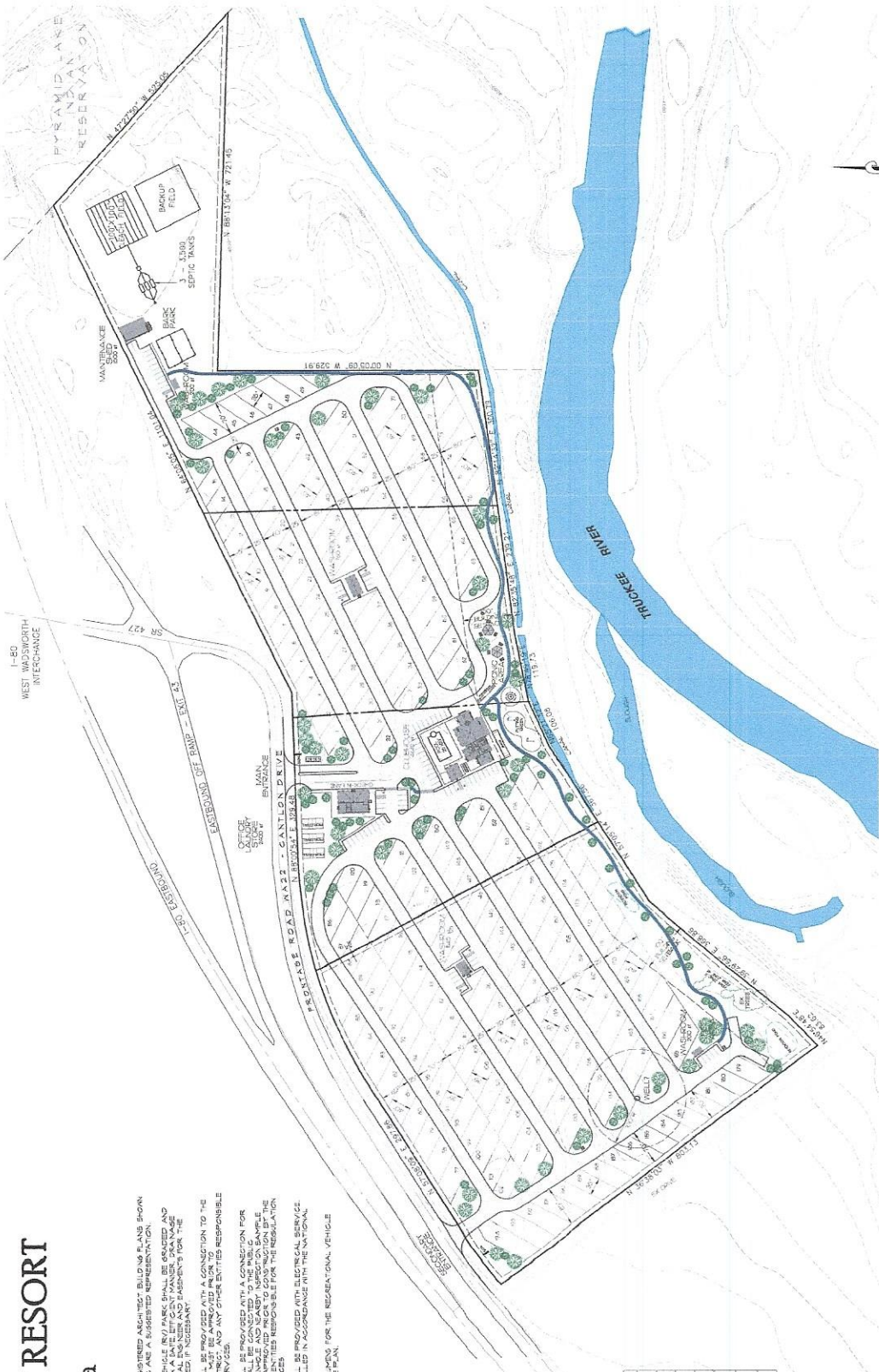
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 84000 CANTON UT
 84000 CANTON UT

OWNER

WALIGORA RV RESORT
 10000 WADSWORTH CR
 WADSWORTH, NV 89408

STRUCTURES	18
ROADS	209.67
RV SITE AREAS	679.64
LANDSCAPE BUFFER	68.65
PASSIVE OPEN SPACE	792.04
ACTIVE OPEN SPACE	59.552
TOTAL	~ 266,556 SF

THIS CONCEPT SKETCH WAS CREATED BASED ON AVAILABLE PUBLIC RECORDS AND COUNTY GIS INFORMATION. NO SURVEY HAS BEEN COMPLETED AND THE ACCURACY OF THE INFORMATION AND PROPERTY DIMENSIONS HAS NOT BEEN VERIFIED. THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION.



RV PARK FEATURES
 1. RV SITES (8'x30')
 2. CHECK-IN OFFICE
 3. RESTROOMS
 4. SHOWER PIT
 5. WASTE PUMP PIT
 6. BOYZE GREEN
 7. PUMP HOUSE
 8. PUMP HOUSE PIT
 9. SUBSTATION & POLE
 10. ALEX ANDERSONS
 11. DARK PARK & PET AREAS

PARK LEGEND
 1. PROPOSED ASPHALT DRIVE
 2. PROPOSED PAVED DRIVE
 3. PROPOSED PAVED DRIVE
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 99. PROPOSED PAVED DRIVE
 100. PROPOSED PAVED DRIVE

DRAWN BY: RVP
 PROJECT: WALIGORA RV RESORT
 RVP Park Consulting, Inc.
 1000 Wadsworth Cr
 Wadsworth, NV 89408
 TEL: 702-444-1988
 http://www.rvpconsulting.com • rvp@rvpconsulting.com

SCALE: 1"=100'
 DATE: 2/16/2022
 SHEET: 1 of 1

Campground/Recreational Vehicle Park (416)

Vehicle Trip Ends vs: Occupied Campsites

**On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.**

Setting/Location: General Urban/Suburban

Number of Studies: 4

Avg. Num. of Occupied Campsites: 57

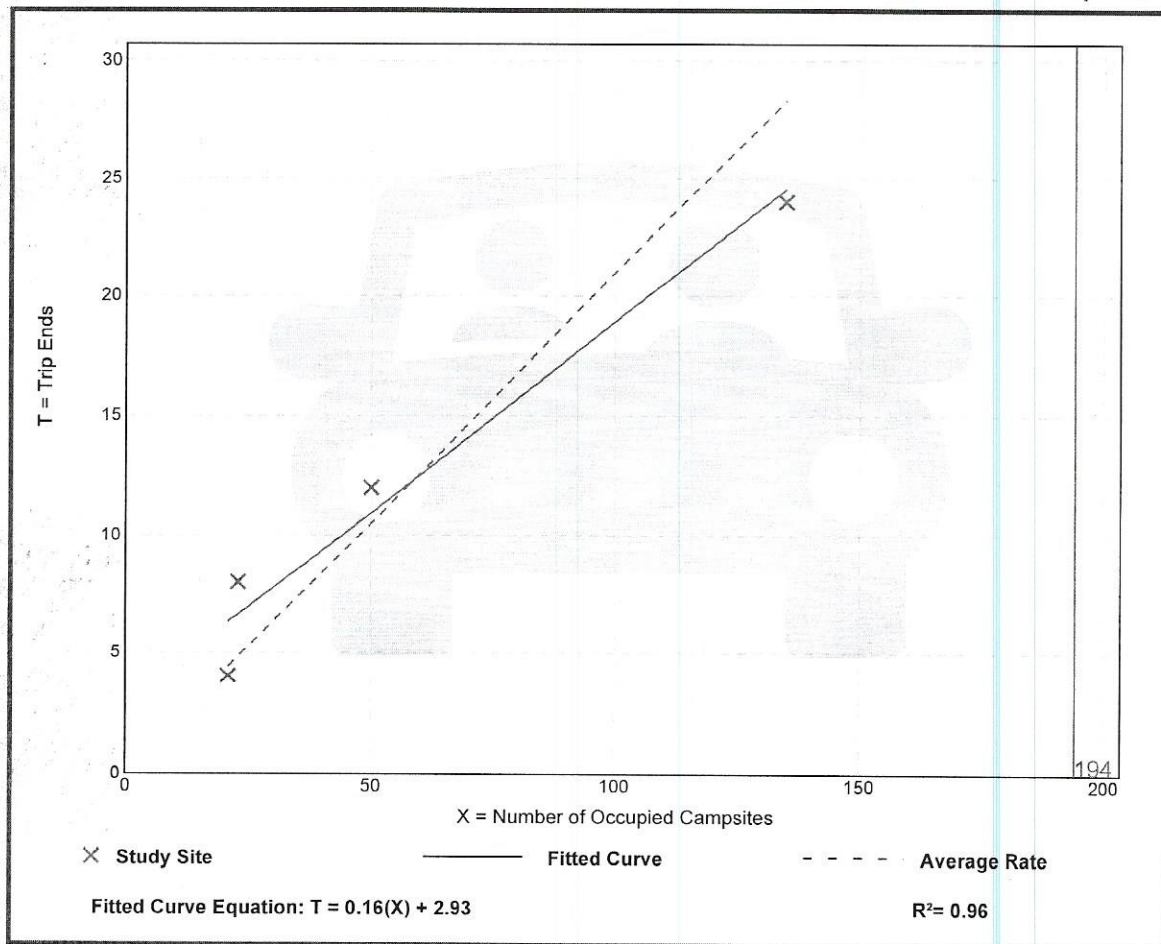
Directional Distribution: 36% entering, 64% exiting

Vehicle Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.21	0.18 - 0.35	0.06

Data Plot and Equation

Caution – Small Sample Size



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

194(0.21) = 52

Campground/Recreational Vehicle Park (416)

Vehicle Trip Ends vs: Occupied Campsites
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 6

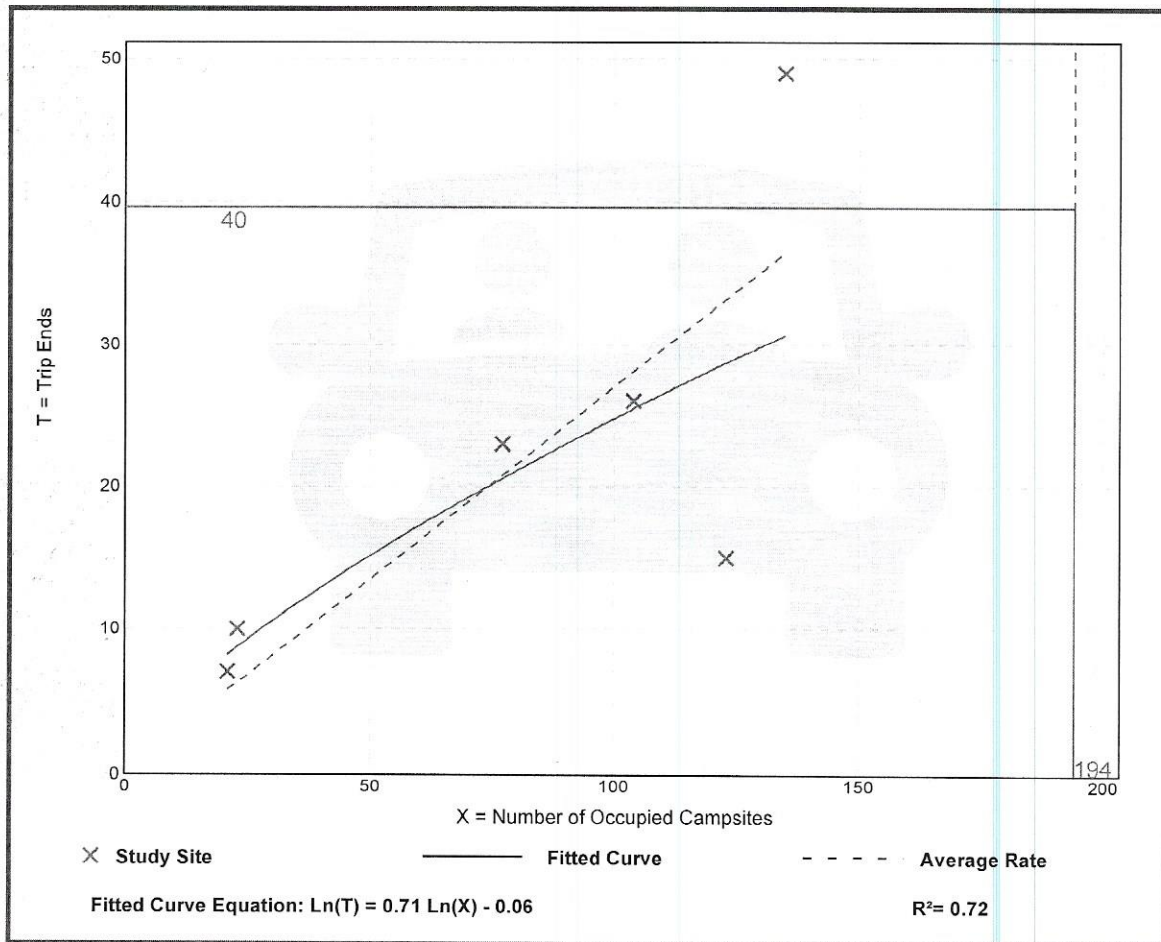
Avg. Num. of Occupied Campsites: 81

Directional Distribution: 65% entering, 35% exiting

Vehicle Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.27	0.12 - 0.43	0.11

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

SPECIAL USE PERMIT FOR Wadsworth RV Resort WASHOE COUNTY

WADSWORTH

NEVADA

OWNER

WALIGORA 1998 TRUST
1001 SILVER FOX CIRCLE
VERDI NV, 89439

DEVELOPER

RON SMITH, LLC
5701 LONETREE BOULEVARD #102
ROCKLIN, CA 95765

ENGINEER



SHEET INDEX

T-1	TITLE SHEET
S-1	PRELIMINARY SITE PLAN
G-1 TO G-3	PRELIMINARY GRADING PLAN AND EROSION CONTROL
U-1	PRELIMINARY UTILITY PLAN
X-1	CROSS SECTIONS AND DETAILS
L1	PRELIMINARY LANDSCAPE PLAN

PROJECT DATA

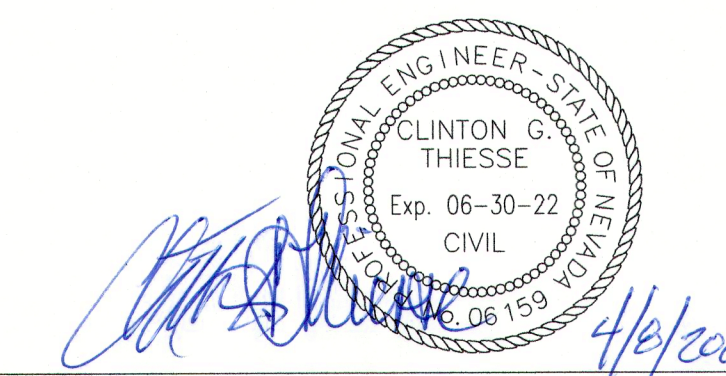
APNs (ACRES)	084-292-13 (11.2)
	084-292-14 (5.0)
	084-292-15 (6.3)
	084-292-16 (6.6)
TOTAL AREA	29.09 ACRES
STRUCTURES AREA	0.31 ACRES
ROADS AREA	6.31 ACRES
CONCRETE AREA	0.70 ACRES
POROUS RV SITE AREA	3.56 ACRES
HARD PAVED RV SITE AREA	2.92 ACRES
LANDSCAPE AREA	15.29 ACRES
PASSIVE OPEN SPACE	14.99 ACRES
ACTIVE OPEN SPACE	1.30 ACRES
ZONING	TOURIST COMMERCIAL (TC)
FEMA ZONE DESIGNATIONS	UNSHADED X / AE WITH BFE

PUBLIC UTILITIES & SERVICES

GAS & ELECTRICAL SERVICE	NV ENERGY
WATER SERVICE	TRUCKEE MEADOWS WATER AUTHORITY
WASTE SERVICE	WASTE MANAGEMENT
TELEPHONE SERVICE	AT&T COMMUNICATIONS
FIRE PROTECTION	TRUCKEE MEADOWS FIRE DISTRICT
POLICE PROTECTION	WASHOE COUNTY SHERIFF DEPARTMENT

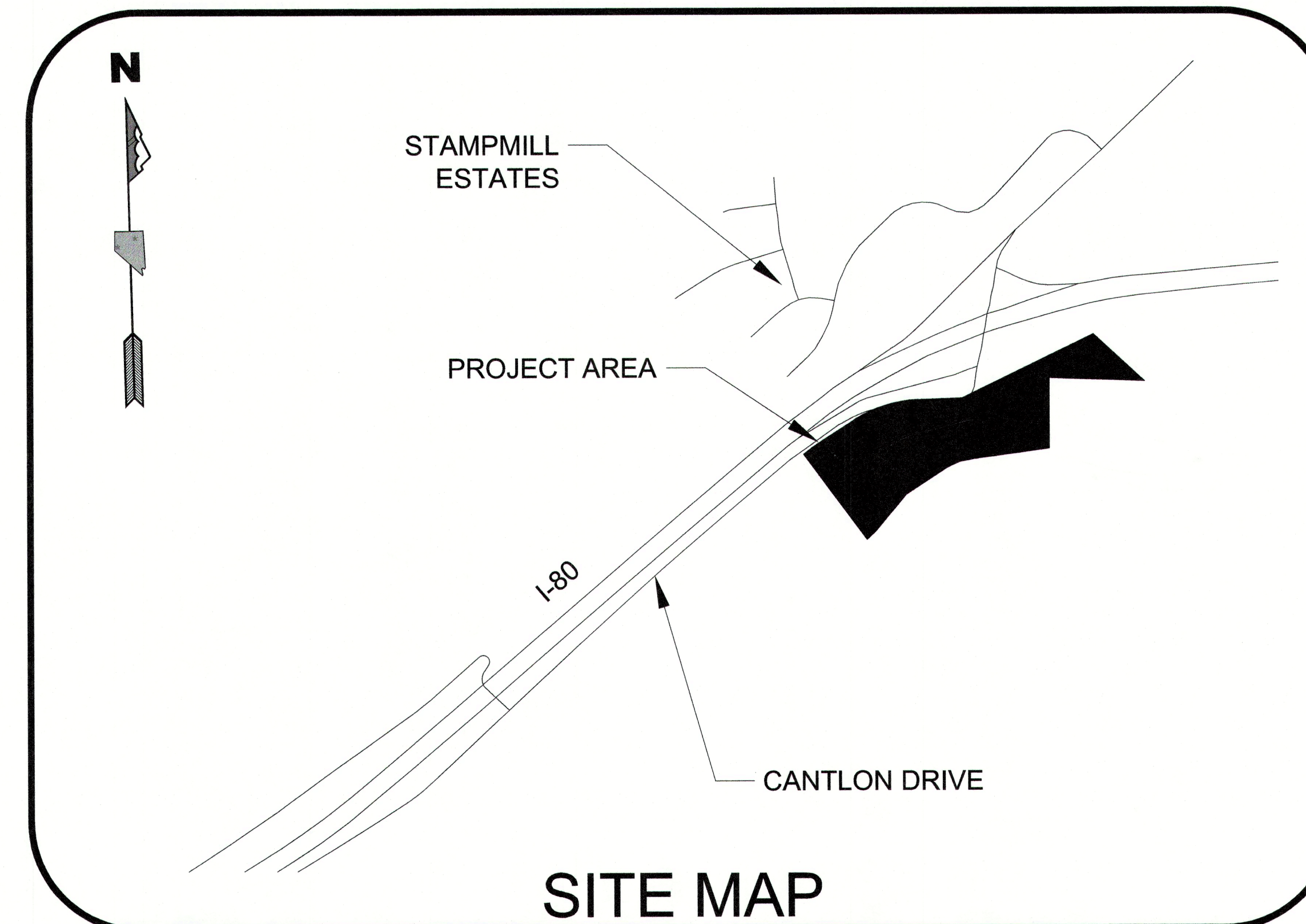
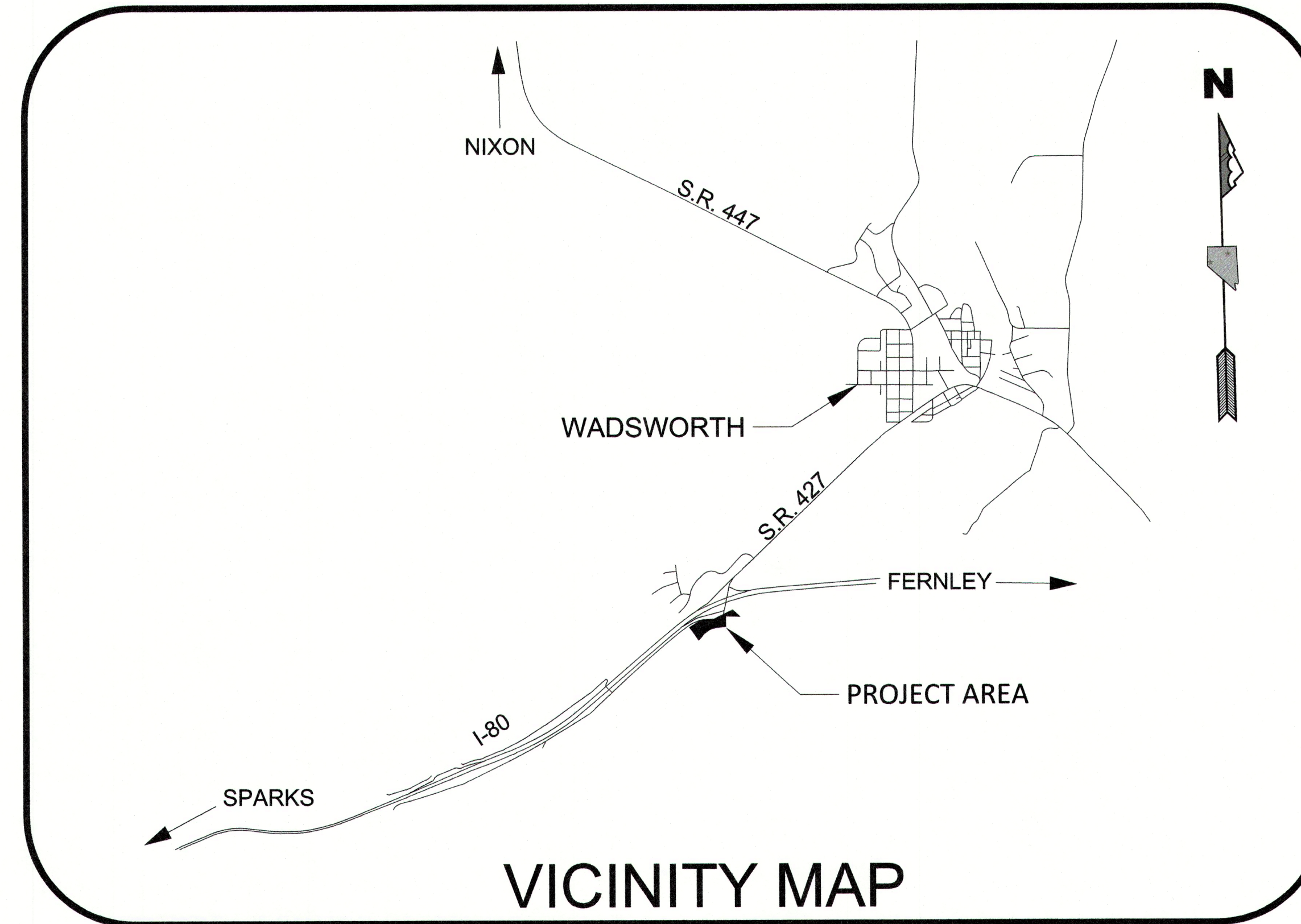
ENGINEER'S STATEMENT

I, CLINTON G. THIESSE, DO HEREBY CERTIFY THAT THESE PLANS HAVE BEEN COMPLETED BY ME, OR UNDER MY DIRECT SUPERVISION, AND IS IN SUBSTANTIAL COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNT DEVELOPMENT CODE.



CLINTON G. THIESSE

P.E. #06159

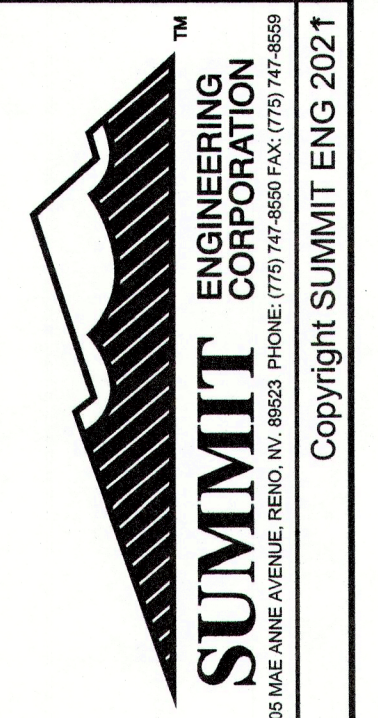


RV RESORT FEATURES

- 196 RV SITES (8 ADA)
- CHECK-IN OFFICE
- LAUNDRY FACILITIES
- MINI-MARKET
- PICKLEBALL
- HORSESHOE PITCH
- BOCCIE
- PUTTING GREEN
- PICNIC AREA
- COMMUNITY FIRE PIT
- CLUBHOUSE & POOL
- UNISEX WASHROOMS
- MAINTENANCE SHED
- BARK PARK & PET AREAS

LEGEND

	PROPOSED BUILDING		INSTALL CONSTRUCTION SITE ENTRANCE & EXIT (BMP SC-8)
	PROPOSED LANDSCAPING		INSTALL FIBER ROLLS (BMP SC-1)
	PROPOSED CONCRETE		SOLID AND DEMOLITION WASTE MANAGEMENT (BMP GM-3)
	PROPOSED GRAVEL PAVEMENT		HANDLING AND DISPOSAL OF CONCRETE AND CEMENT (BMP GM-9)
	PROPOSED GRAVEL ROADWAY		STREET & SURFACE CLEANING (BMP GM-5)
	PROPOSED ASPHALT ROADWAY		
	EXISTING WELL (TO BE ABANDONED)		
	PROPOSED FIRE HYDRANT		
	PROPOSED SANITARY SEWER		
	PROPOSED WATER		
	PROPOSED RECLAIMED WATER		
	EXISTING OVERHEAD ELECTRICAL		
	PROPERTY LINE		
	PROPOSED FENCE		
	CENTERLINE		

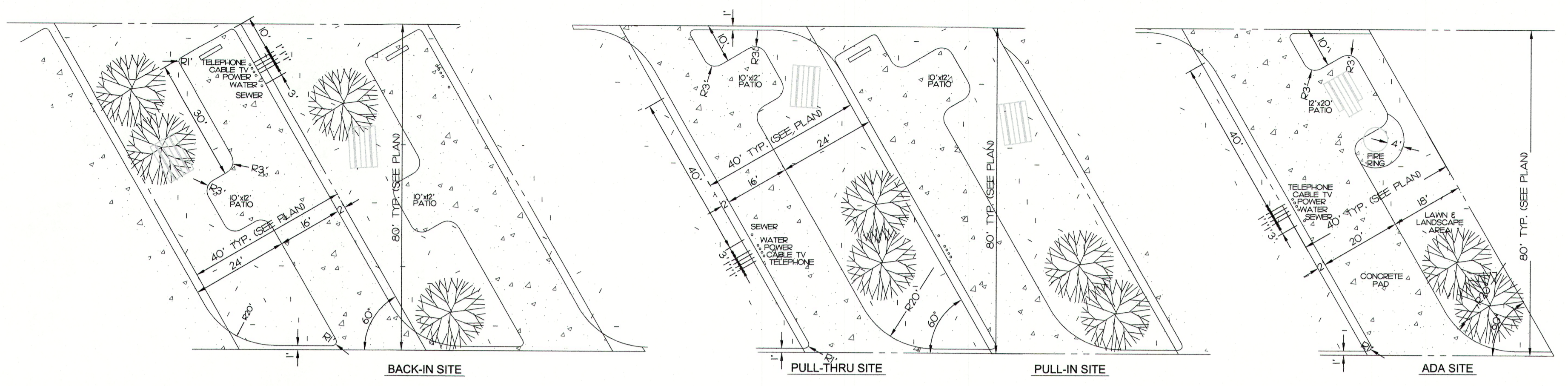


REV.	DATE	DESCRIPTION	BY	APP'D

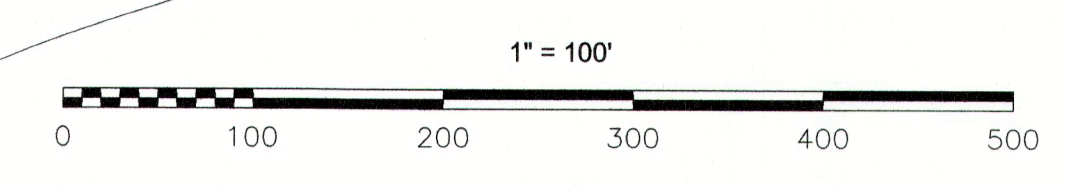
SPECIAL USE PERMIT FOR
 WADSWORTH RV RESORT
 TITLE SHEET
 WADSWORTH WASHOE COUNTY NEVADA

JOB NO:	J31139
DRAWN BY:	mbelanger
DESIGNED BY:	MBB
CHECKED BY:	CGT
SCALE	HORZ: N.T.S.
	VERT: N.T.S.

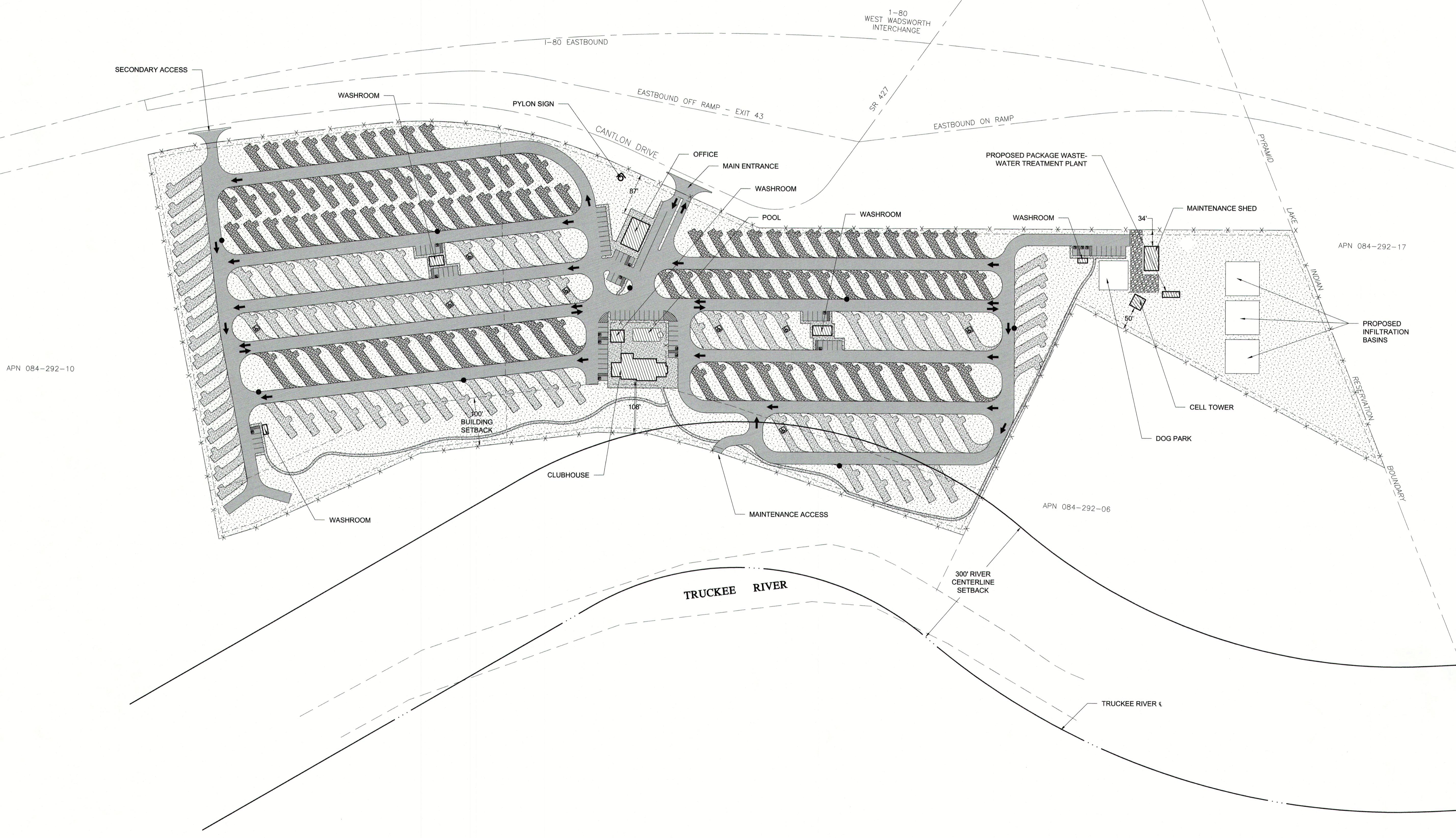
SHEET	TOTAL
T-1	OF 8



***SEE TITLE FOR LEGEND



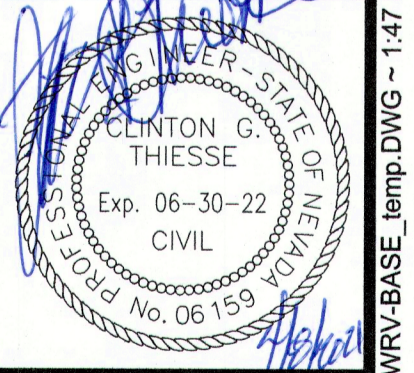
REV.	DATE	DESCRIPTION	BY	APP'D



**SPECIAL USE PERMIT FOR
WADSWORTH RV RESORT
SITE LAYOUT**

NEVADA
WASHOE COUNTY

JOB NO: J31139
 DRAWN BY: mbelanger
 DESIGNED BY: MBB
 CHECKED BY: CGT
 SCALE: HORZ: 1"=100'
 VERT: N.T.S.

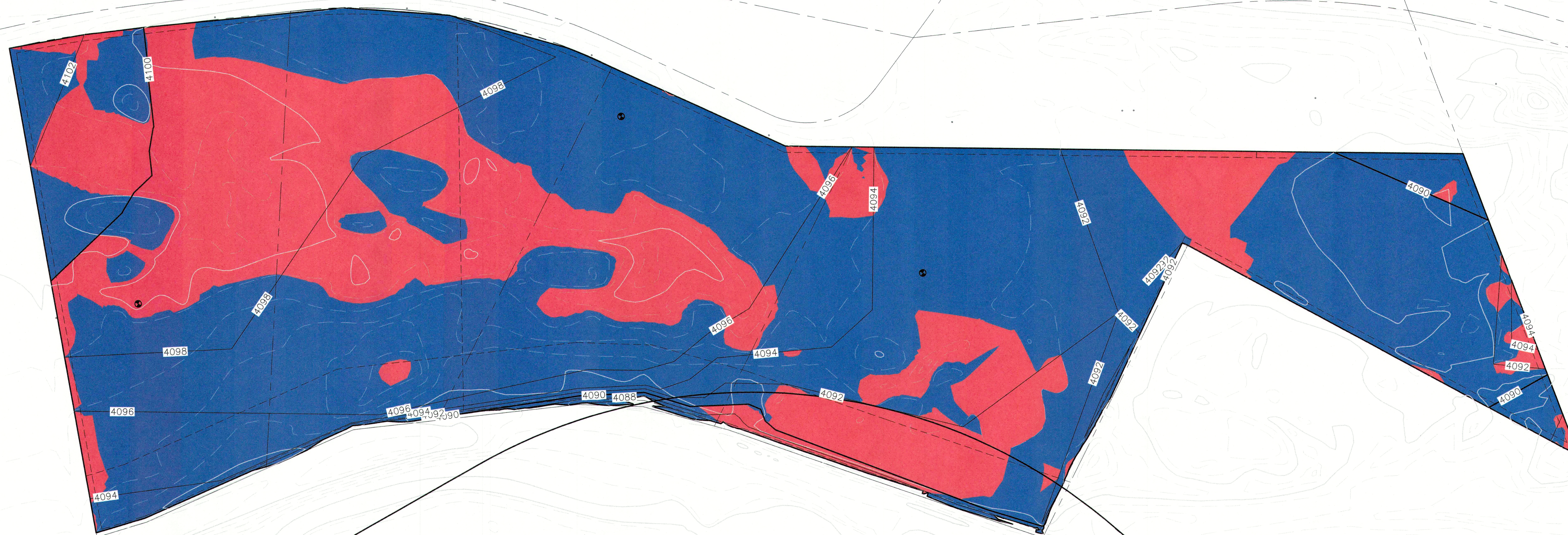
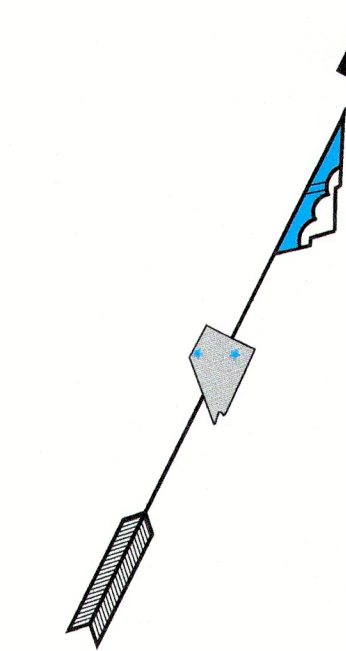


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Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	5.077	0.000	Red
2	0.000	6.160	Blue

***SEE TITLE FOR LEGEND

1" = 100'



300' RIVER
CENTERLINE
SETBACK

300' RIVER
CENTERLINE
SETBACK

TRUCKEE RIVER

TRUCKEE RIVER

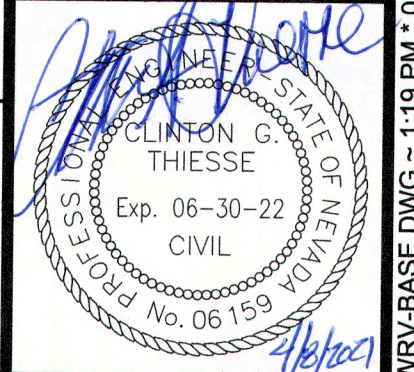


REV.	DATE	DESCRIPTION	BY	APPD

**SPECIAL USE PERMIT FOR
WADSWORTH RV RESORT
CUT/FILL DISPLAY MAP**

WADSWORTH WASHOE COUNTY NEVADA

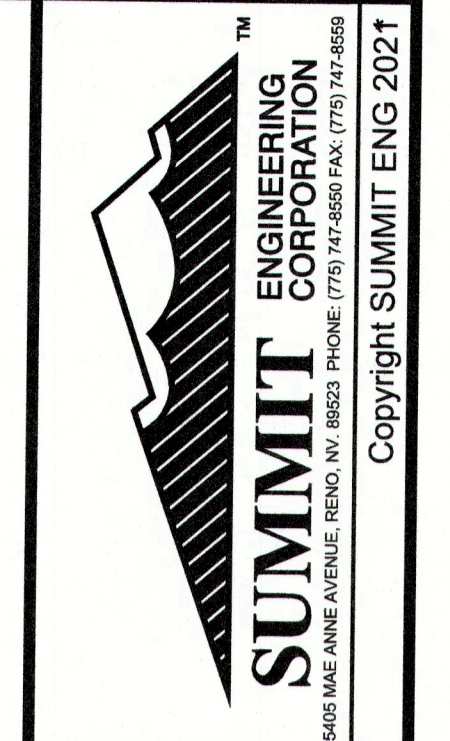
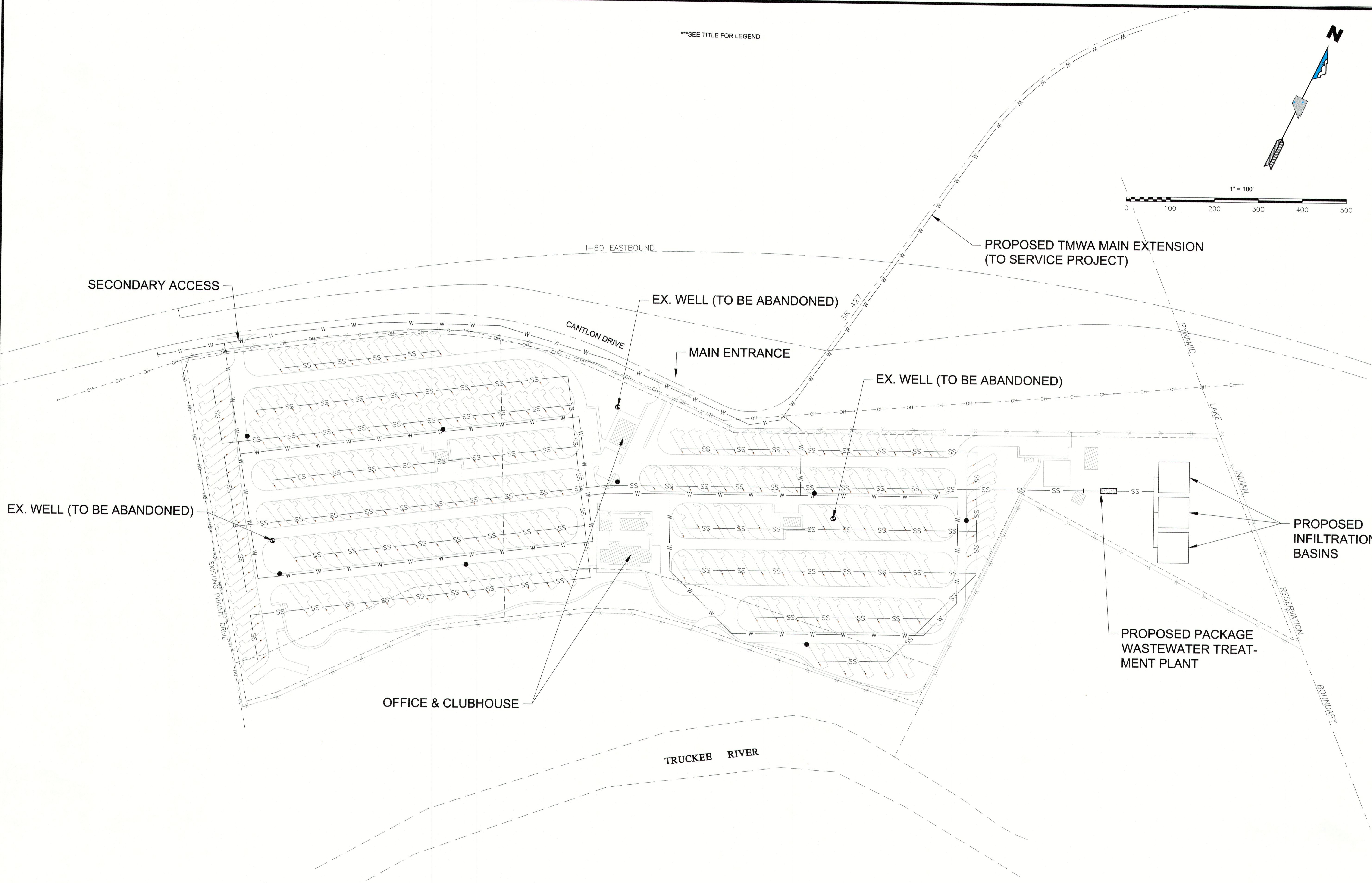
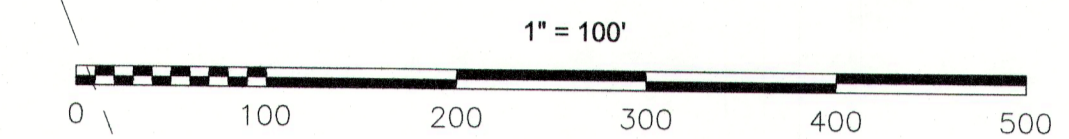
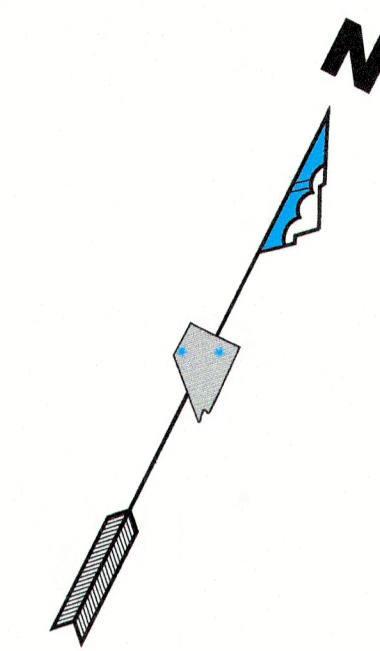
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 DRAWN BY: mbelanger
 DESIGNED BY: MBB
 CHECKED BY: CGT
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 VERT: 2" C.I.



SHEET TOTAL
G-3 OF 8

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***SEE TITLE FOR LEGEND

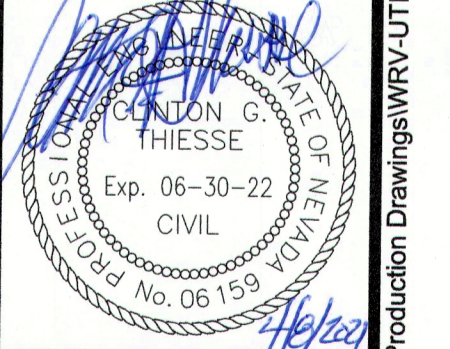


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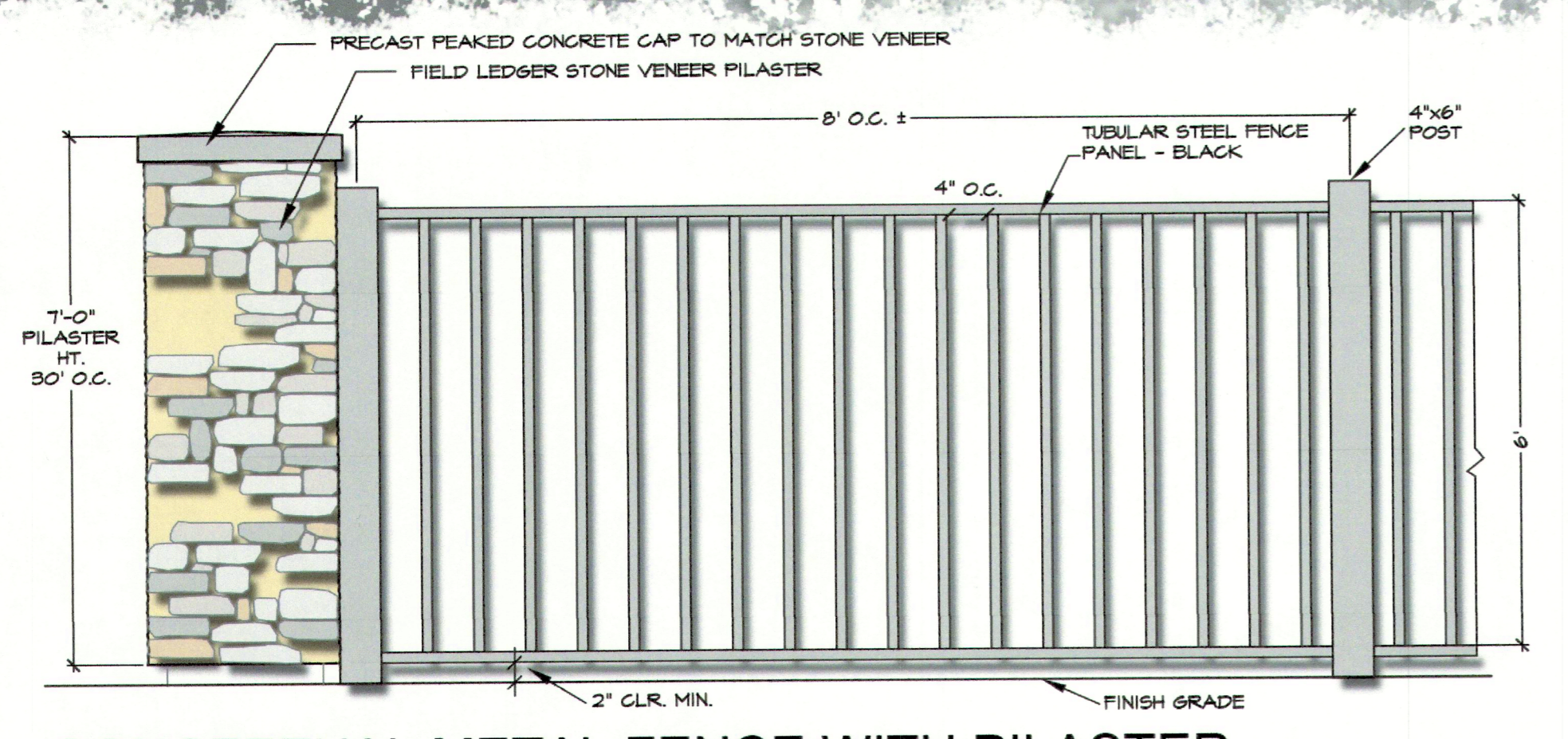
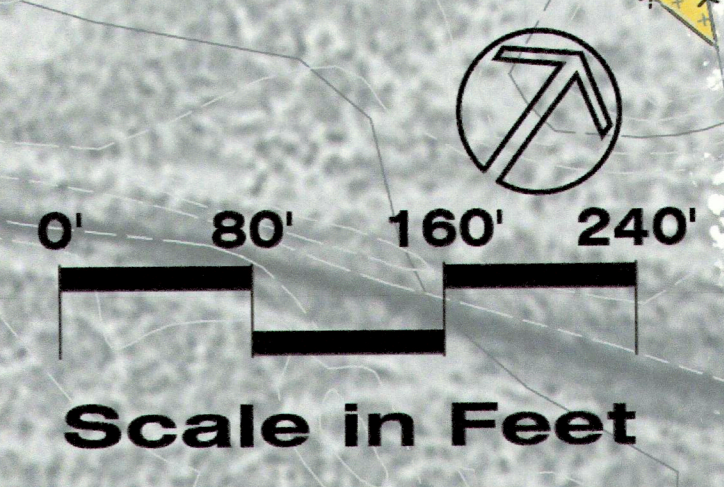
**SPECIAL USE PERMIT FOR
WADSWORTH RV RESORT
PRELIMINARY UTILITY LAYOUT**

NEVADA
WASHOE COUNTY
WADSWORTH

JOB NO: J31139
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 DESIGNED BY: MBB
 CHECKED BY: CGT
 SCALE HORZ: 1"=100'
 VERT: N.T.S.



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CONCEPTUAL METAL FENCE WITH PILASTER
NOT TO SCALE

GENERAL NOTES

1. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
2. TREES - FINAL QUANTITIES WILL BE DETERMINED DURING FINAL DESIGN. DECIDUOUS TREES SHALL HAVE A 2" CAL. AT TIME OF PLANTING. EVERGREEN TREES SHALL BE A MIN. OF 7' HT. AT TIME OF PLANTING.
3. SHRUBS - QUANTITIES WILL BE DETERMINED DURING FINAL DESIGN.
 - 50% OF SHRUBS SHALL BE 5 GAL. SIZE
 - 50% OF SHRUBS SHALL BE MIN 1 GAL. SIZE
4. FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. ALL PLANTER BEDS WILL RECEIVE 3-INCH DEPTH OF MULCH WITH WEED CONTROL.
6. ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED UNLESS NOTED OTHERWISE ON THE PLAN. TURF GRASS WILL BE IRRIGATED USING LOW ANGLE SPRAY, ROTARY, AND/OR IMPACT HEADS TO REDUCE WIND DRIFT. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.

PLANT LEGEND

- FLOWERING TREE
- DECIDUOUS SHADE TREE
- EVERGREEN TREES
- COMMON AREA LANDSCAPE
- UNDISTURBED NATIVE VEGETATION

LANDSCAPE DATA

SITE AREA: 1,267,244 SQ FT (29 ACRES)
DEVELOPED AREA: 1,138,448 SQ FT

ZONING: GC (GENERAL COMMERCIAL)

REQUIRED LANDSCAPE AREA = 227,690 SQ FT MIN.
(20% OF DEVELOPED SITE)

PROVIDED LANDSCAPE AREA = 227,690 SQ FT MIN.
INCLUDES

- LANDSCAPE PLANTER AREA
- SITE SPACE LAWN AREAS
- OPEN SPACE

TREES REQUIRED = 766

- 1 TREE PER 300 SQ FT OF PLANTER AREA = 758
- 1 TREE PER 10 PARKING SPACES (81 SPACES PROVIDED) = 8

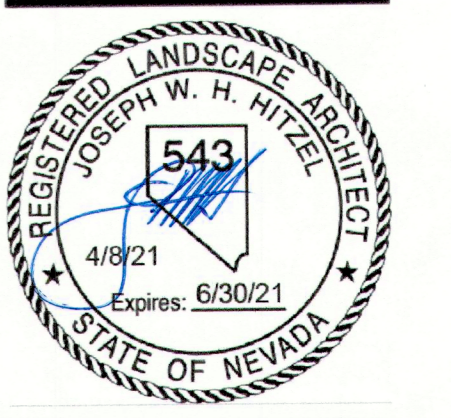
INCLUDES

- 1 TREE PER 50 LN FT ALONG CANTLON DRIVE (1,261 LN FT) = 25

TREES PROVIDED = 768

SHRUBS REQUIRED/PROVIDED = 4,608 MIN

- 6 SHRUBS PER 300 SQ OF LANDSCAPE PLANTER AREA



No.	Revision	Date

SUNDANCE- WADSWORTH RV RESORT

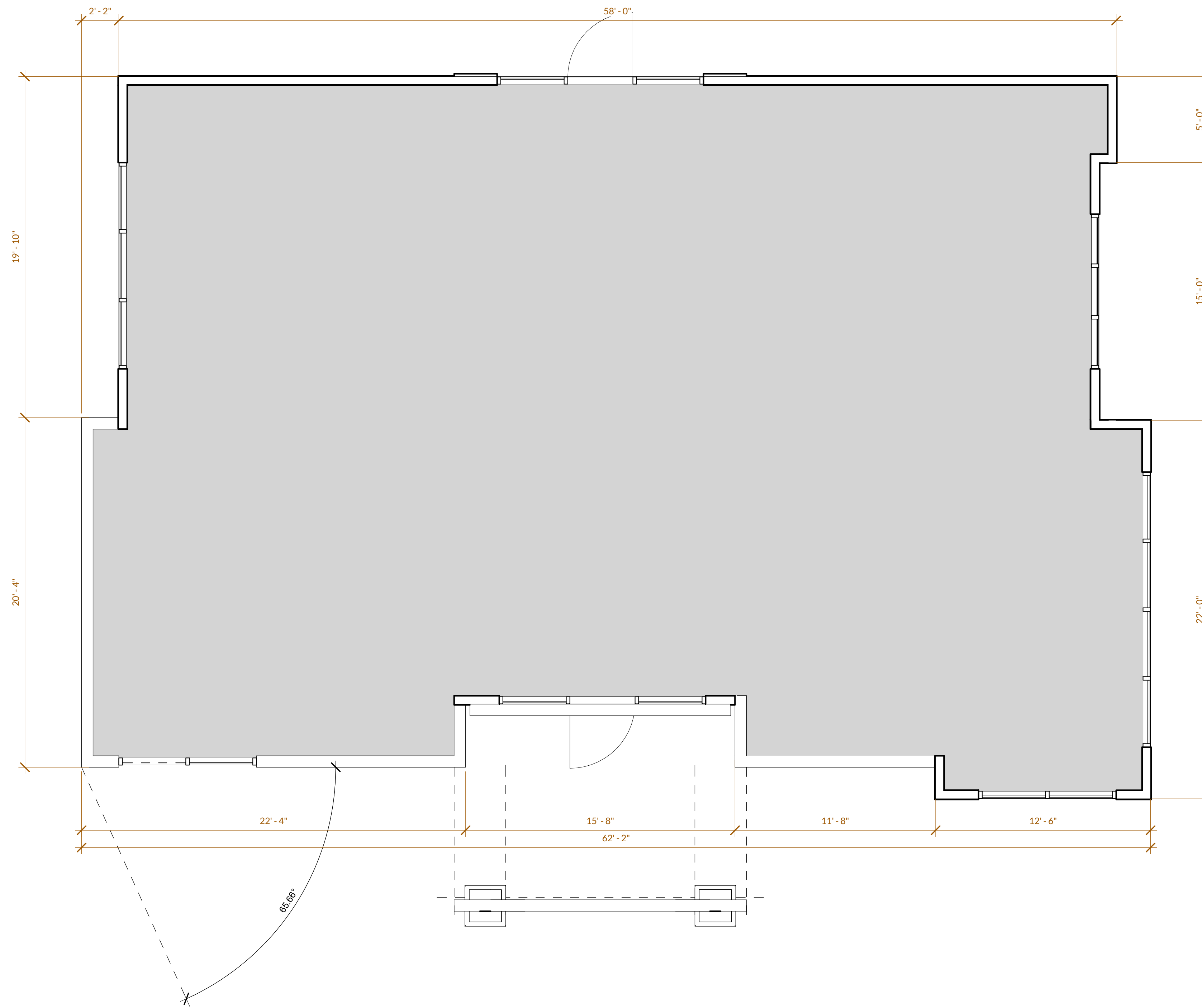
Proj. No: 2021.630
Drawn By: %%%
Reviewed: TEA

Issue / Revision Schedule:	Date	Description
No.		

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PARTITION PLAN - OFFICE

A4a



1 PARTITION PLAN - OFFICE

SCALE: 1/4" = 1'-0"

SUNDANCE- WADSWORTH RV RESORT

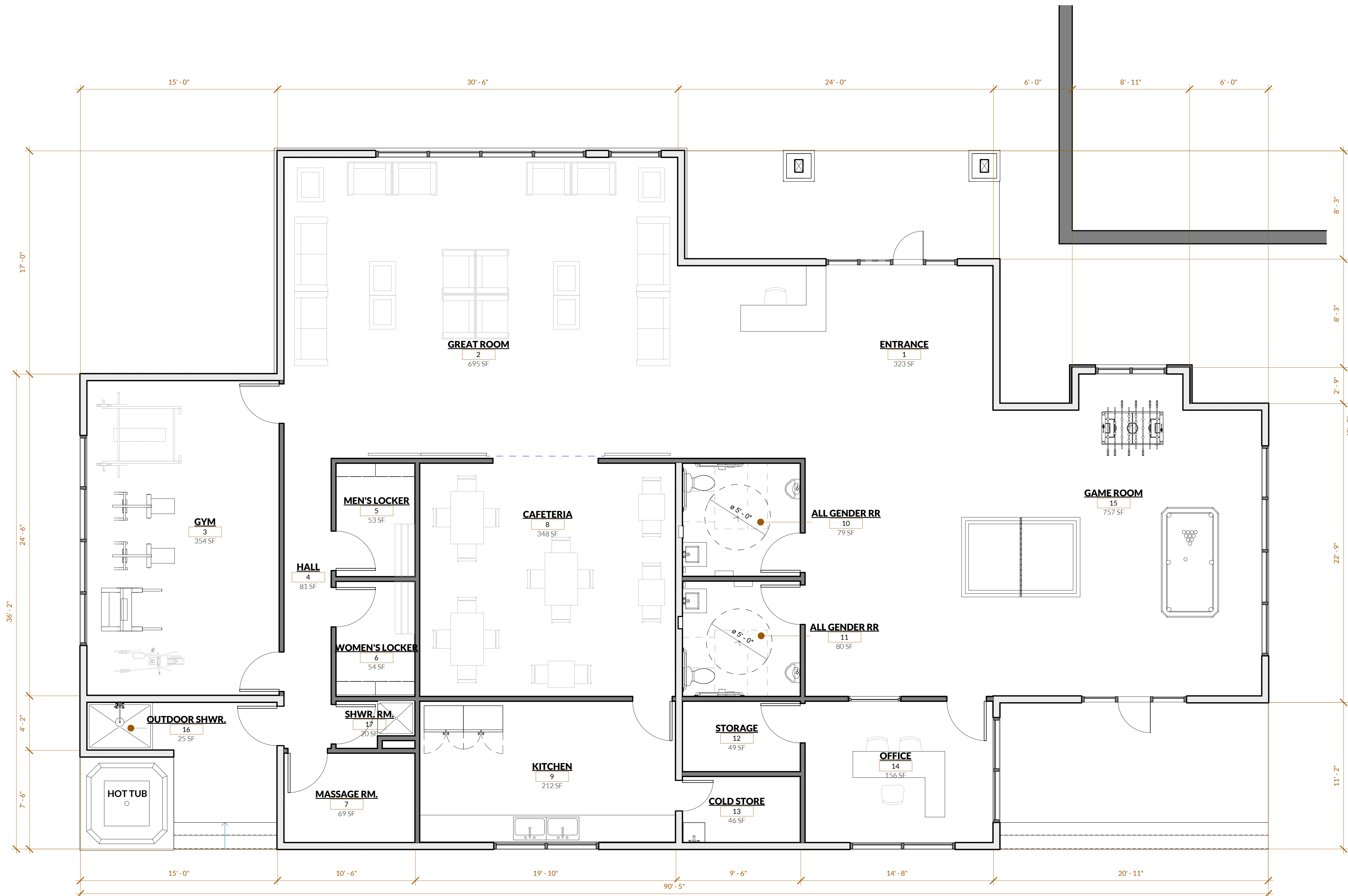
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Drawn By: %%%
Reviewed: TEA

Issue / Revision Schedule:	Description
No.	Date

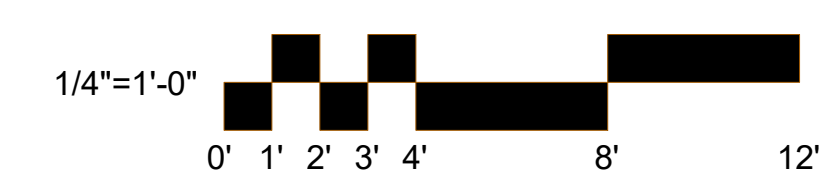
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PARTITION PLAN - CLUBHOUSE

A4b



1 PARTITION PLAN - CLUBHOUSE
SCALE: 1/4" = 1'-0"



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**SUNDANCE-
WADSWORTH
RV RESORT**

Proj. No: 2021.630
Drawn By: %%%
Reviewed: TEA

Issue / Revision Schedule:	Description
No.	Date

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**ELEVATIONS-
OFFICE**

A5a



1 ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



2 ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

SUNDANCE- WADSWORTH RV RESORT

Proj. No: 2021.630
Drawn By: %%%
Reviewed: TEA

Issue / Revision Schedule:	Date	Description
No.		

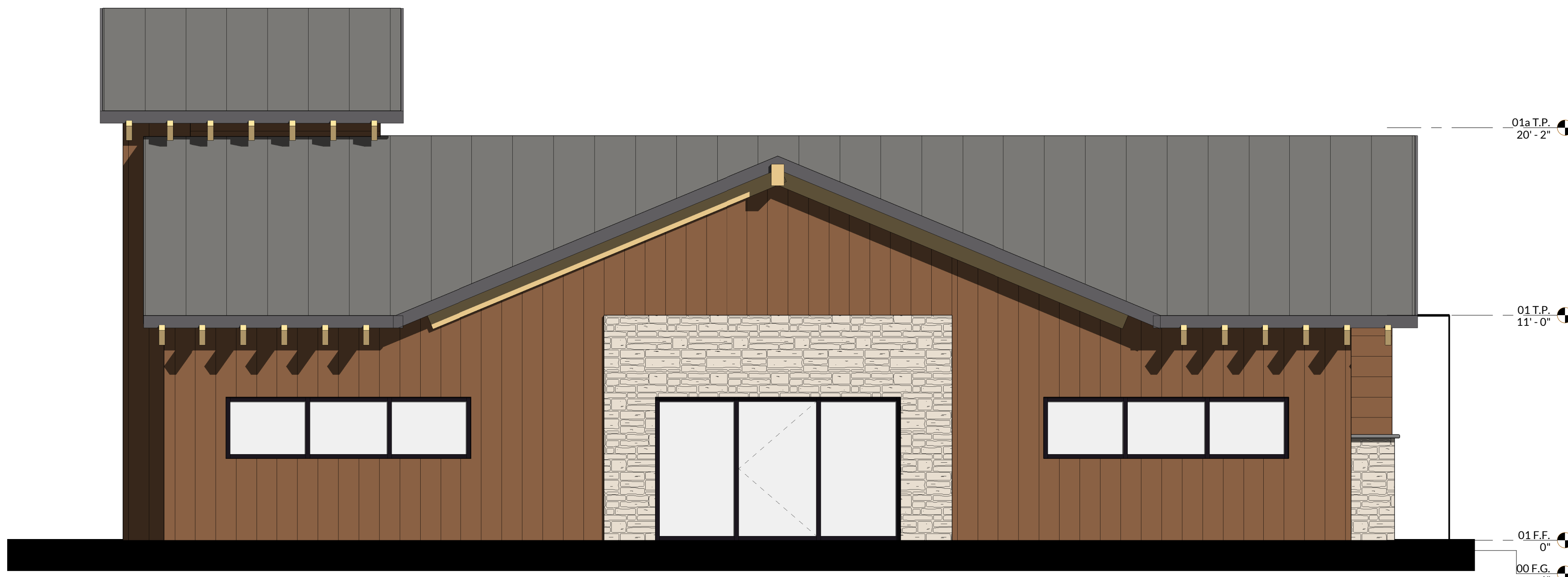
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ELEVATIONS -
OFFICE

A5b



1 ELEVATION - EAST
SCALE: 1/4" = 1'-0"



2 ELEVATION - WEST
SCALE: 1/4" = 1'-0"

**SUNDANCE-
WADSWORTH
RV RESORT**

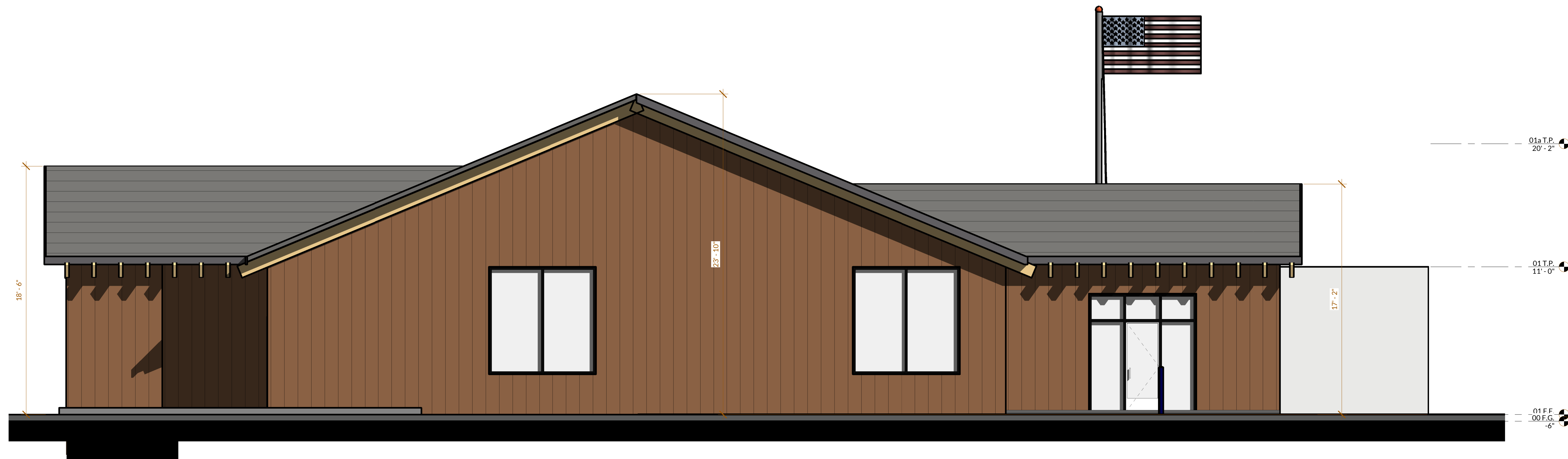
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Issue / Revision Schedule:	Description
No.	Date

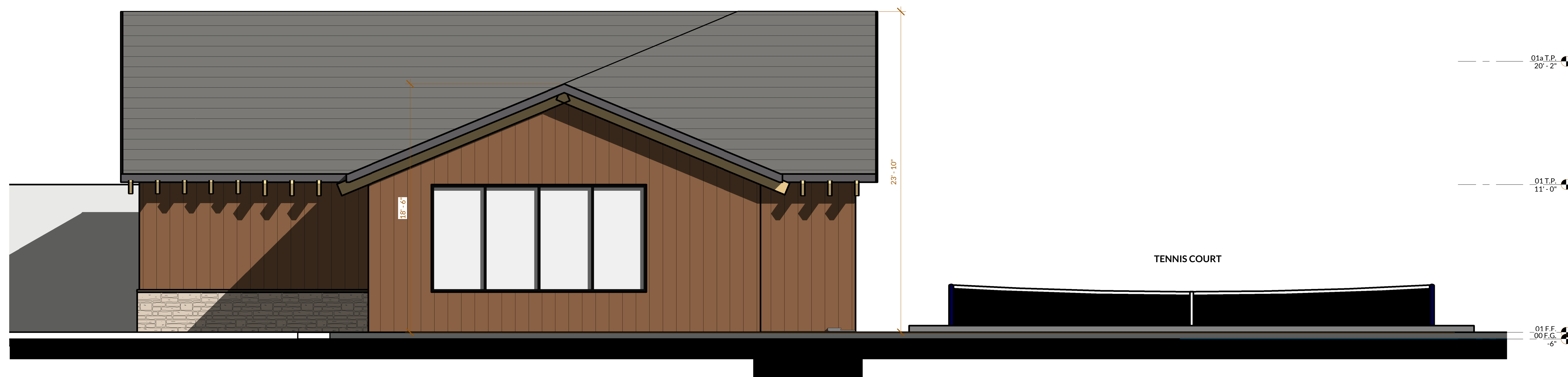
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**ELEVATION -
CLUBHOUSE**

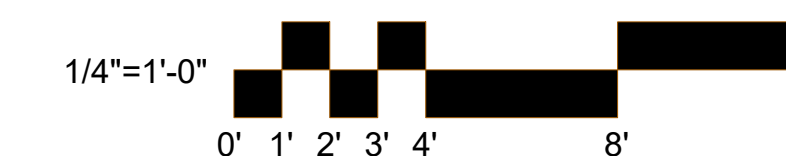
A5c



1 ELEVATION - REAR
SCALE: 1/4"=1'-0"



2 ELEVATION - RIGHT
SCALE: 1/4"=1'-0"



SUNDANCE- WADSWORTH RV RESORT

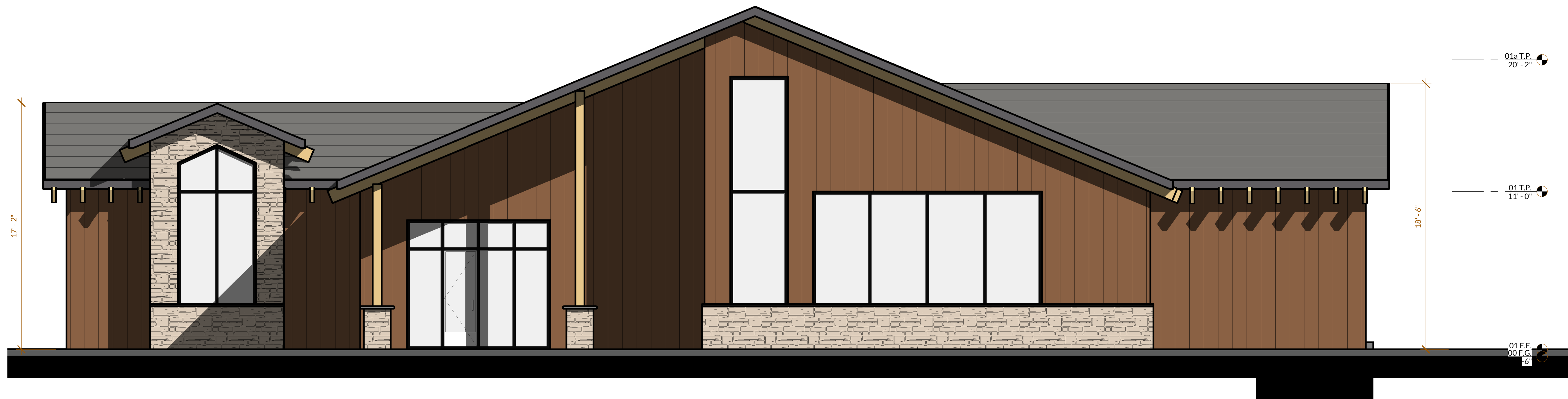
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Issue / Revision Schedule:	Description
No.	Date

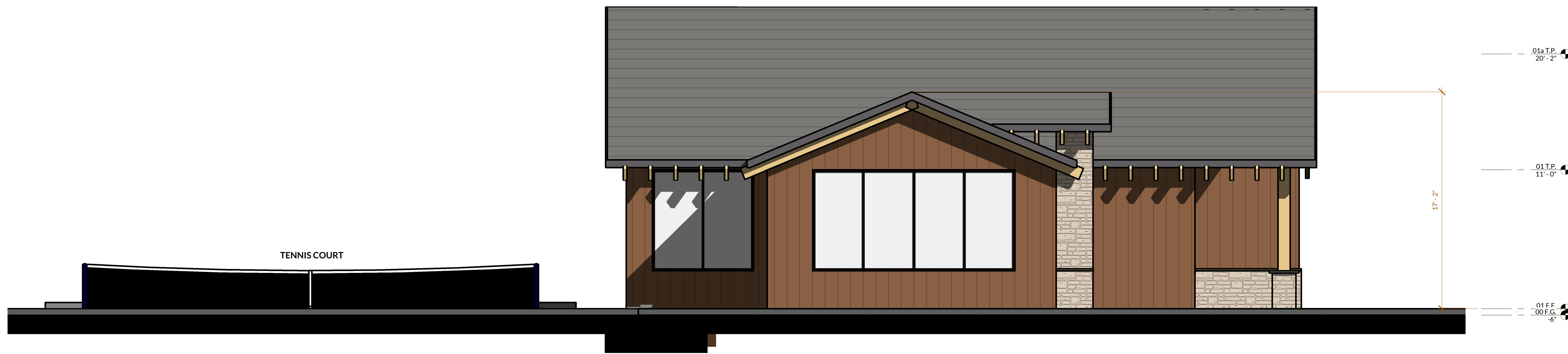
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ELEVATION -
CLUBHOUSE

A5d



1 ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



2 ELEVATION - LEFT
SCALE: 1/4" = 1'-0"

