

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Eagle Canyon North - Permanent Flood Control			
Project Description: Mass grading to implement permanent flood control facilities including armored/vegetated drainage channels, improvements to existing drainage infrastructure including catch basins, and increasing the capacity of an existing onsite stormwater detention basin.			
Project Address: 1285 W Calle de la Plata			
Project Area (acres or square feet): 1.73 acres			
Project Location (with point of reference to major cross streets AND area locator): Parcels with APN's: 530-830-03, 530-620-05. Directly west of existing housing development on Fuggles Dr.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
530-830-03	2.658		
530-620-05	5.130		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). n/a			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: EAGLE CANYON NORTH ASSN		Name: Robison Engineering Company	
Address: 5480 Reno Corporate Dr, Ste #100		Address: PO Box 1505	
Zip:		Sparks	Zip: 89432
Phone:	Fax:	Phone: (775) 852-2251	Fax: 852-9736
Email:		Email: luke@robisoneng.com	
Cell:	Other:	Cell: (775) 297-5573	Other:
Contact Person:		Contact Person: Luke Doyle, EIT	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Equus Management Group		Name:	
Address: 5480 Reno Corporate Dr, Ste #100		Address:	
Reno	Zip: 89511		Zip:
Phone: (775) 852-2224	Fax:	Phone:	Fax:
Email: Vanessa@equusmanagement.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Vanessa Schorn		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Eagle Canyon NORTH HOA

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

1. Eagle Canyon NORTH Association
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 530-830-03, 530-620-05

Printed Name Alvin D. Gross, President

Signed [Signature] President ECOM

Address 1455 Laughlin Circle
Sparks, NV 89441

(Notary Stamp)

Subscribed and sworn to before me this
7th day of SEPT., 2021.

[Signature]
Notary Public in and for said county and state

My commission expires: Aug. 13, 2022



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Permanent flood control facilities to protect an existing housing development from inundation during storm events. Improvements include construction of armored/vegetated drainage channels, improvements to existing drainage infrastructure, and increasing the capacity of an existing onsite detention basin.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Provided.

3. What is the intended phasing schedule for the construction and completion of the project?

Construction will occur in a single phase, expected to last 2-3 weeks.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The site already conveys stormwater/flood protection to the existing adjacent housing development to the east abutting Fuggles Dr. The proposed improvements are only to improve the existing stormwater protection to minimize long-term erosion.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The beneficial aspects include improving the existing stormwater protection facilities to lessen/eliminate any further stormwater impact to the existing adjacent housing development.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

There are no anticipated negative impacts.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

N/A.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	N/A
b. Electrical Service	N/A
c. Telephone Service	N/A
d. LPG or Natural Gas Service	N/A
e. Solid Waste Disposal Service	N/A
f. Cable Television Service	N/A
g. Water Service	N/A

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

N/A

10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

Permanent flood control facilities to protect an existing housing development from inundation during storm events. Improvements include construction of armored/vegetated drainage channels, improvements to existing drainage infrastructure, and increasing the capacity of an existing onsite detention basin.

2. How many cubic yards of material are you proposing to excavate on site?

N/A.

3. How many square feet of surface of the property are you disturbing?

75,360

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Exporting approximately 5,490 cubic yards. No material to be imported.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

It is not possible, as the existing onsite detention basin alone is larger than one acre, and the proposed grading work will include the entire basin at a minimum.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

No.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Not directly, but these improvements will protect the adjacent housing developments from inundation during storm events.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The maximum slope on any proposed cut or fill is 3H:1V.

11. Are you planning any berms?

Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If yes, how tall is the berm at its highest? 2'-0"
---	-----------------------------	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No retaining walls are proposed.

13. What are you proposing for visual mitigation of the work?

This development is not regularly visible to any party. No visual mitigation is required.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No tree removal is required or proposed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Any revegetation mix required will match the native vegetation.

16. How are you providing temporary irrigation to the disturbed area?

There is no existing vegetation that requires irrigation. No temporary or permanent irrigation is required.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No vegetation removal is proposed. No revegetation is necessary.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No <input checked="" type="checkbox"/>	If yes, please attach a copy.
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PERMANENT FLOOD CONTROL PLANS

FOR

EQUUS MANAGEMENT GROUP

WASHOE COUNTY, NV

PROJECT SUMMARY

JURISDICTION: WASHOE COUNTY, NEVADA
 COUNTY: WASHOE COUNTY, NEVADA
 ASSESSORS' PARCEL: 530-830-03, 530-620-05
 ACREAGE: 2.658, 5.130
 ADDRESS: 0 FUGGLES DR, 1285 W CALLE DE LA PLATA
 ZONING: MDS, OS 69% & MDS 31%
 FEMA FLOOD ZONES: X; FIRM MAP NO. 32031C2865G REVISED JUNE 18, 2013
 PROJECT SUMMARY: PERMANENT FLOOD CONTROLS AND GRADING IMPROVEMENTS

SHEET LIST

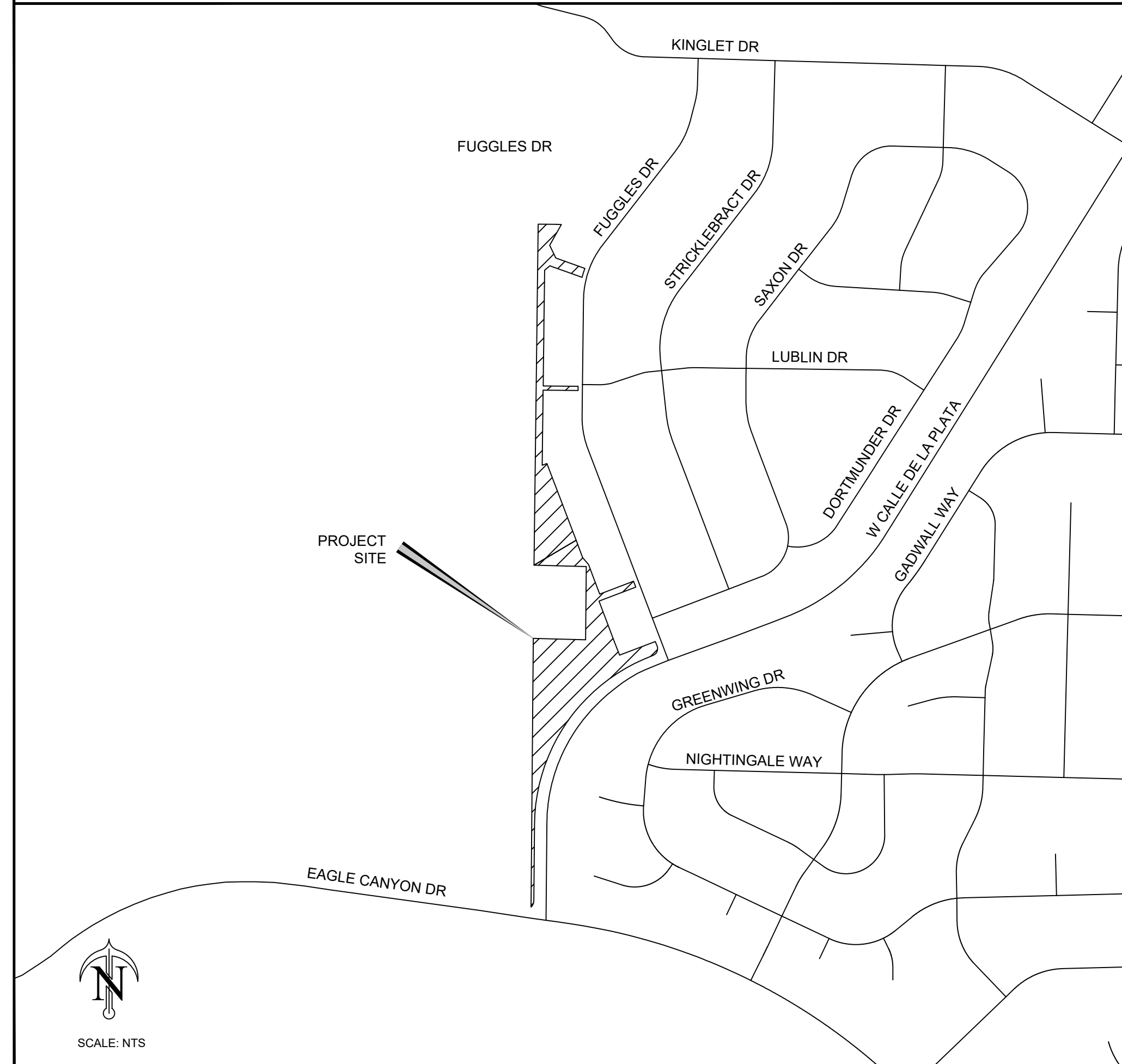
T1 TITLE SHEET
 C1 SITE & UTILITY PLAN
 C2 DRAINAGE FEATURES 1
 C3 DRAINAGE FEATURES 2
 C4 DRAINAGE FEATURES 3
 C5 DRAINAGE FEATURES 4
 C6 DRAINAGE FEATURES 5
 D1 DETAILS

PROJECT AUTHORITY

OWNER
 EQUUS MANAGEMENT GROUP
 5480 RENO CORPORATE DR #100
 RENO, NV 89511
 (775) 852-2224
 vanessa@equusmanagement.com

CIVIL ENGINEER
 ROBISON ENGINEERING COMPANY
 RYAN SWITZER, PE
 846 VICTORIAN AVE, STE 20
 SPARKS, NV 89431
 (775) 852-2251 x725
 (775) 852-9736 fax
 rswitzer@robisoneng.com

VICINITY MAP



NOTES

GENERAL NOTES

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, AND ORDINANCES OR STANDARDS SPECIFIED BY THE PERMITTING JURISDICTION. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND PERMITTING STANDARDS, PROMPTLY NOTIFY ENGINEER, OR ADOPT THE MORE CONSERVATIVE STANDARD CONSISTENT WITH THE INTENT OF THE PLANS. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR BEARS SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
- IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBISON ENGINEERING AT 775-852-2251 FOR RESOLUTION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.
- IN THE EVENT ELECTRONIC FILES (CAD, ETC) ARE PROVIDED BY ROBISON ENGINEERING, AN INDEMNIFICATION AGREEMENT IS IMPLIED BY THAT USE, AND IF THERE IS ANY CONFLICT BETWEEN ELECTRONIC DATA AND THE STAMPED/PERMIT PLAN SET, THE STAMPED DRAWINGS SHALL GOVERN AND DIRECT THE WORK. IT IS THE SOLE RESPONSIBILITY OF THE CLIENT TO ACQUIRE APPROVED PLANS FROM THE GOVERNING JURISDICTION.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTACT "USA NORTH 811" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.

EROSION CONTROL NOTES

- TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:
 - THE STATE OF NEVADA GENERAL PERMIT NVR100000
 - THE "TRUCKEE MEADOWS HANDBOOK"
 - WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITES BEST MANAGEMENT PRACTICES HANDBOOK.

PROJECT NOTES

- ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY WASHOE COUNTY.
- IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.
- SUBMITTALS: SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, MATERIAL AND COLOR SAMPLES, AND DELIVERED MATERIALS OR PRODUCTS (ROOFING, ETC.), WITHOUT EXCEPTION, SHALL BE OFFERED FOR REVIEW AND APPROVAL TO OWNER PRIOR TO THEIR INCORPORATION INTO THE PROJECT. WHERE QUANTITATIVE JUDGEMENT IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIALS' SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, ONSITE AND OFFSITE. THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE) 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, AND PROVIDE 48 HOURS PRIOR NOTICE FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION. CONTRACTOR TO PROVIDE ALL NECESSARY TRAFFIC CONTROL, MAINTAIN ACCESS TO ALL PARCELS, PROVIDE ALL TEMPORARY AND/OR PERMANENT PATCHING AS REQUIRED BY GOVERNING AGENCY. ALL CONSTRUCTION SIGNING, BARRICADES AND TRAFFIC DELINEATION TO CONFORM TO THE STATE OF NEVADA, DEPARTMENT OF TRANSPORTATION, "NEVADA WORK ZONE TRAFFIC CONTROL MANUAL" (LATEST EDITION).
- THE WORK IN THIS CONTRACT INCLUDES ALL ONSITE AND OFFSITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL AGENCY.
- ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.

GRADING NOTES

- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH WASHOE COUNTY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, AND GENERAL CONTRACTOR HAS OCCURRED.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION PROVISIONS.
- CONTRACTOR SHALL CAREFULLY INSPECT DETAILS, THE CONTEXT OF PLANS, AND MAKE APPROPRIATE CONFIRMING MEASUREMENTS AGAINST EXISTING CONDITIONS PRIOR TO SETTING SUBGRADE, AND SHALL COORDINATE WITH SURVEYOR TO SET ELEVATION AND LOCATION CONTROL PROPERLY TO ESTABLISH SUBGRADE PRIOR TO FINAL SURFACE TREATMENTS.
- ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED; ADDITIONAL DISTURBANCE NOT PART OF PLANNED LANDSCAPING SHALL BE STABILIZED AND BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDED IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
- USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING ROADS.
- USE EXTREME CARE IN WORKING IN AREAS OUTSIDE THE PROJECT BOUNDARY SO AS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
- SEE EROSION CONTROL NOTES. THIS SHEET FOR STORMWATER DISCHARGE PERMIT REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FINAL SUBGRADE SURFACES ARE FIRM AND EXHIBIT NO SIGNS OF DEFLECTION.
- THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH WASHOE COUNTY ORANGE BOOK STANDARDS AS APPLICABLE. THIRD PARTY TESTING AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO REQUIRED TESTING. ALSO, ON-LINE INSPECTION REQUEST TO SPWD TO BE SUBMITTED 24 HOURS PRIOR TO ALL INSPECTIONS.
- REFER TO STRUCTURAL PLANS FOR EARTHWORK REQUIREMENTS OF BUILDING PADS AND FOUNDATIONS.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.

TOPOGRAPHIC MAP NOTES

- THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY. NO INFORMATION SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RENDER ANY OPINION THEREON. ALL BEARINGS AND DISTANCES SHOWN ARE FROM RECORD ONLY.
- BASIS OF BEARINGS: NEVADA STATE PLANE, WEST ZONE, NAD83, GROUND DISTANCES. SCALE FACTOR 1.000197939.

EARTHWORK SUMMARY:

DISTURBED AREA: 1.73 ACRES
 CUT: 5,970 CY
 FILL: 480 CY
 NET: 5,490 CY (IMPORT)

ABBREVIATIONS

AC	ASPHALT CONCRETE	NTS	NOT TO SCALE
APN	ASSESSOR'S PARCEL NO.	(P)	PROPOSED
CY	CUBIC YARDS	PUE	PUBLIC UTILITY EASEMENT
(E)	EXISTING	PM	PARCEL MAP
EG	EXISTING GRADE	SF	SQUARE FEET
FG	FINISH GRADE	TW	TOP OF WALL
FDN	FOUNDATION	TYP	TYPICAL
FL	FLOW LINE		

LEGEND

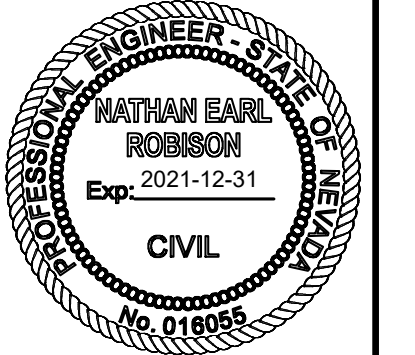
---	PROPERTY BOUNDARY	---	4540	(E) MAJOR CONTOUR	---	(P) LIMITS OF GRADING
---	EASEMENT	---	4539	(E) MINOR CONTOUR	---	(E) FLOW LINE
---	SETBACK	---	4540	(P) MAJOR CONTOUR	---	(P) FLOW LINE
---	(E) STORM DRAIN	---	4539	(P) MINOR CONTOUR	---	AC
						PCC

EAGLE CANYON NORTH
 PERMANENT STORMWATER CONTROL
 SHEET T1
 TITLE SHEET

THE UNSTAMPED AND UNREVIEWED COPY OF THIS PLAN IS NOT VALID. THE ENGINEER'S SIGNATURE AND SEAL NUMBER, SUPERSEDES ALL OTHER COPIES AND ELECTRONIC COPIES AND CONTRACT NOTES AND CONTRACT AGREEMENT.
 0" 1/2" 1" INCH=FULL SCALE

PREPARED FOR:
EQUUS MANAGEMENT
 5480 RENO CORPORATE DR #100
 RENO, NV 89511
 (775) 852-2224

Robison Engineering
 846 VICTORIAN AVENUE
 SPARKS, NV 89431
 www.robisoneng.com
 (775) 852-2251
 DRAWN: LJD
 DATE: 2021-08-30



NO	DATE	BY	CHKD	DESCRIPTION
1	2021-01-22	LJD	RMS	CLIENT REVIEW
2	2021-08-16	LJD	RMS	CLIENT REVIEW
3	2021-08-30	LJD	NER	WASHOE COUNTY SPECIAL USE PERMIT

REFERENCES

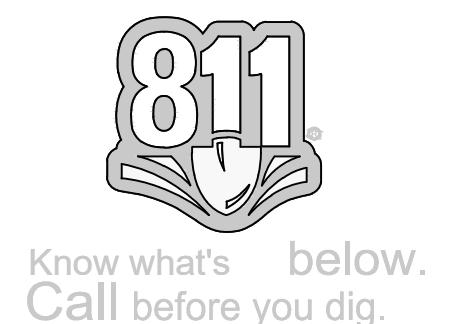
NO	DATE	BY	CHKD	DESCRIPTION
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2	2021-08-16	LJD	RMS	CLIENT REVIEW
3	2021-08-30	LJD	NER	WASHOE COUNTY SPECIAL USE PERMIT

REVISIONS

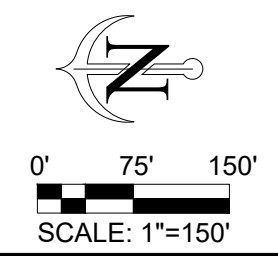
NO	DATE	BY	CHKD	DESCRIPTION
1	2021-01-22	LJD	RMS	CLIENT REVIEW
2	2021-08-16	LJD	RMS	CLIENT REVIEW
3	2021-08-30	LJD	NER	WASHOE COUNTY SPECIAL USE PERMIT

APPROVALS

T1
 SHEET 1 OF 8



C:\Users\jdoyle\Documents\Projects\811\DWG\Civil\ECN\PermanentFlow\811_DWG\Civil\ECN\PermanentFlow\811.dwg 8/25/2021 5:25:37 PM LDOYLE



**EAGLE CANYON NORTH
PERMANENT STORMWATER CONTROL**

SHEET C1
SHEET INDEX

WASHOE COUNTY
PROJECT NO: 1-1581-01-003
NEVADA

THE NET STAMPED AND
PROFESSIONAL SEAL
COPY OF THIS PLAN
SUPERSEDES ALL OTHER
COPIES AND ELECTRONIC
VERSIONS. THIS PLAN
NOTES AND CONTRACT
AGREEMENT.

0" 1/2" 1"
INCH@FULL SCALE

PREPARED FOR:
**EQUUMS
MANAGEMENT**

5480 RENO
CORPORATE DR #100
RENO, NV 89511
(775) 852-2224

**Robinson
Engineering**

846 VICTORIAN AVENUE
RENO, NV 89505
www.robinsoneg.com
(775) 852-2251

DRAWN: LJD
DATE: 2021-08-30



1	
2	
3	
4	
5	
6	
7	
8	

REFERENCES	
NO	DESCRIPTION
P1	CLIENT REVIEW
P2	CLIENT REVIEW
0	WASHOE COUNTY SPECIAL USE PERMIT

REVISIONS	
NO	DESCRIPTION

APPROVALS

C1

SHEET 2 OF 8



C:\Users\dmitcham\OneDrive\Documents\Projects\811\Drawings\ECN\Permanent\Drawings\0302023\23-040 PM.LD01E

EAGLE CANYON NORTH
PERMANENT STORMWATER CONTROL
 SHEET C2
 DRAINAGE FEATURES 1

THE METASTAMPED AND
 PROFESSIONAL SEAL
 COPY OF THIS PLAN
 SUPERSEDES ALL OTHER
 COPIES AND ELECTRONIC
 NOTES AND CONTRACT
 AGREEMENT.
 0" 1/2" 1"
 INCH@FULL SCALE

PREPARED FOR:
EQUUS
MANAGEMENT
 5480 RENO
 CORPORATE DR #100
 RENO, NV 89511
 (775) 852-2224

Robinson Engineering
 845 VICTORIAN AVENUE
 RENO, NV 89511
 WWW.ROBINSONENG.COM
 (775) 852-2251
 DRAWN: LJD
 DATE: 2021-08-30



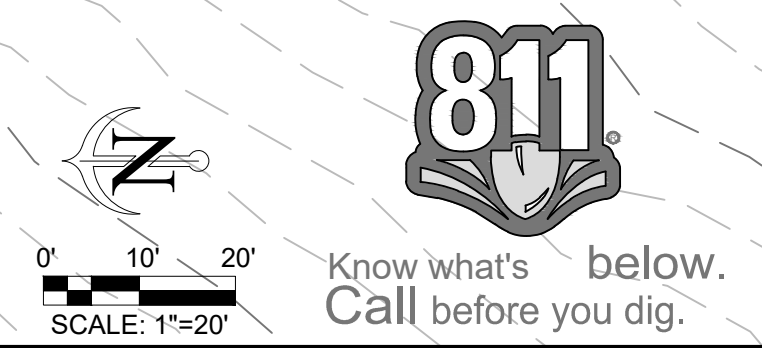
NO	DATE	BY	CHKD	DESCRIPTION
1	2021-01-22	LJD	RMS	CLIENT REVIEW
2	2021-08-16	LJD	RMS	CLIENT REVIEW
3	2021-08-16	LJD	RMS	CLIENT REVIEW
4	2021-08-30	LJD	NER	WASHOE COUNTY SPECIAL USE PERMIT
5				
6				
7				
8				

NO	DATE	BY	CHKD	DESCRIPTION
0				

NO	DATE	BY	CHKD	DESCRIPTION
0				

NO	DATE	BY	CHKD	DESCRIPTION
0				

APPROVALS
C2
 SHEET 3 OF 8





**EAGLE CANYON NORTH
PERMANENT STORMWATER CONTROL**

SHEET C3
DRAINAGE FEATURES 2

WASHOE COUNTY
PROJECT NO: 1-1581-01-003

THE WET STAMPED AND
PROFESSIONAL SEAL
COPY OF THIS PLAN
SUPERSEDES ALL OTHER
COPIES AND ELECTRONIC
VERSIONS INCLUDING
NOTES AND CONTRACT
AGREEMENT.

0" 1/2" 1"
INCH@FULL SCALE

PREPARED FOR:
**EQUUS
MANAGEMENT**

5480 RENO
CORPORATE DR #100
RENO, NV 89511
(775) 852-2224

**Robinson
Engineering**

846 VICTORIAN AVENUE
RENO, NV 89505
WWW.ROBINSONENG.COM
(775) 852-2251

DRAWN: LJD
DATE: 2021-08-30



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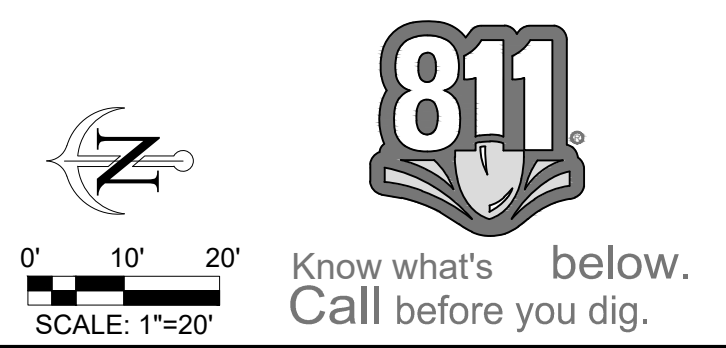
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	CLIENT REVIEW	2021-01-22	LJD	RMS				
	CLIENT REVIEW	2021-08-16	LJD	RMS				
	WASHOE COUNTY SPECIAL USE PERMIT	2021-08-30	LJD	NER				

REVISIONS								
NO	DESCRIPTION	DATE	BY	CHK'D	DATE	BY	CHK'D	
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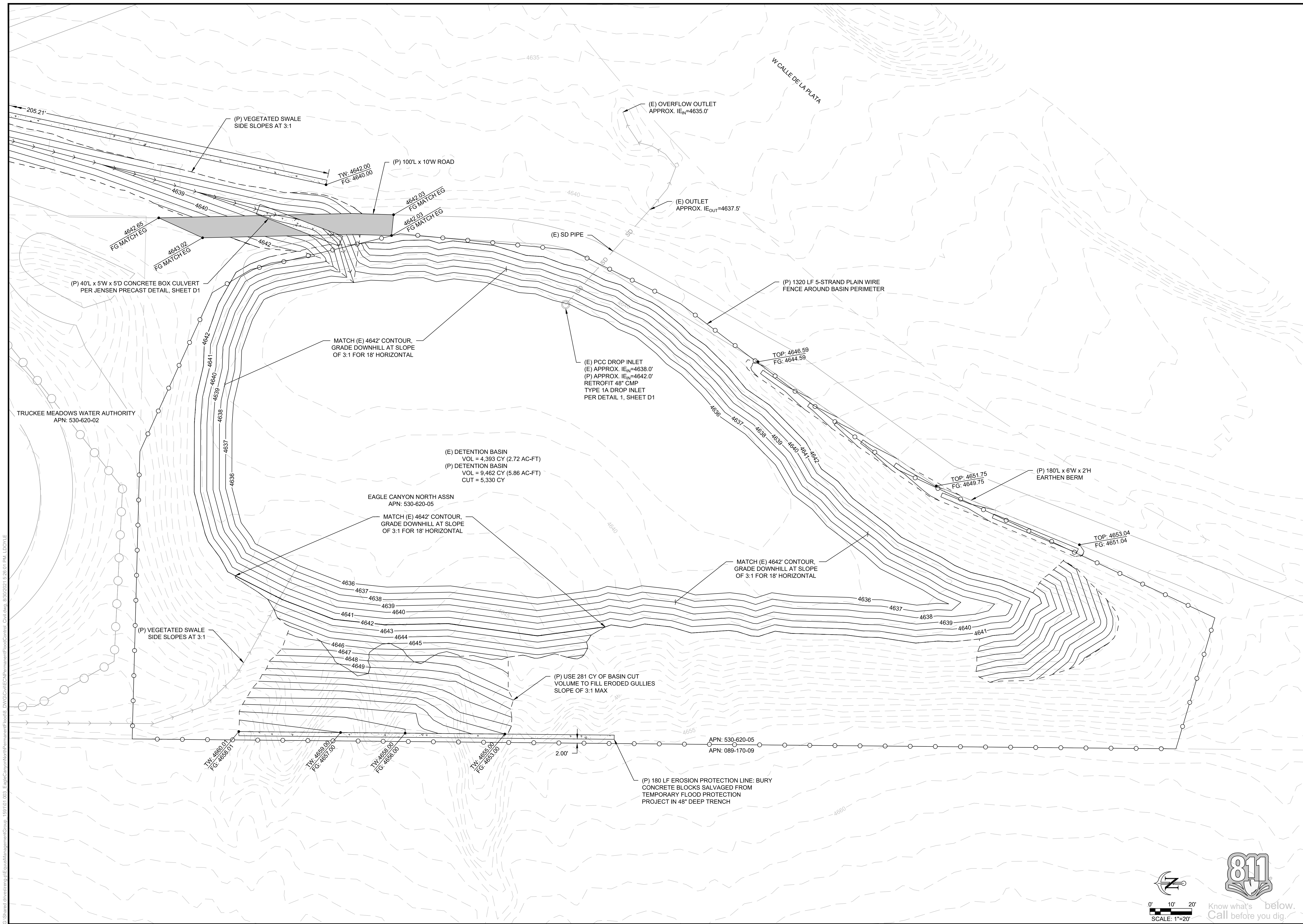
APPROVALS

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SHEET 4 OF 8



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**EAGLE CANYON NORTH
PERMANENT STORMWATER CONTROL**

SHEET C6
DRAINAGE FEATURES 5

WASHOE COUNTY
PROJECT NO: 1-1591-01-003
NEVADA

THE UNSTAMPED AND
UNREVISIONED COPY OF THIS PLAN
SHALL BE VOID. THE USER SHALL OBTAIN
SUPERSEDES ALL OTHER
COPIES AND ELECTRONIC
NOTES AND CONTRACT
AGREEMENT.

0" 1/2" 1"
INCH@FULL SCALE

PREPARED FOR:
**EQUUS
MANAGEMENT**

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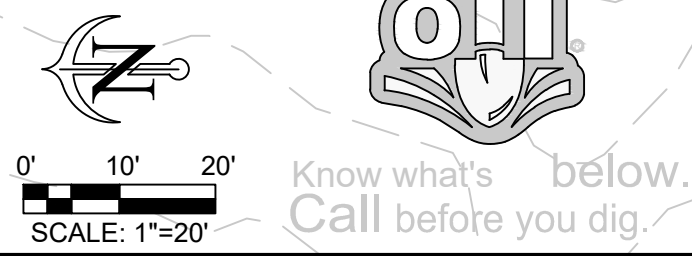
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NO	DESCRIPTION	DATE	BY	CHKD	DATE	BY	CHKD	
P1	CLIENT REVIEW	2021-01-22	LJD	RMS				
P2	CLIENT REVIEW	2021-08-16	LJD	RMS				
0	WASHOE COUNTY SPECIAL USE PERMIT	2021-08-30	LJD	NER				

REVISIONS	

APPROVALS

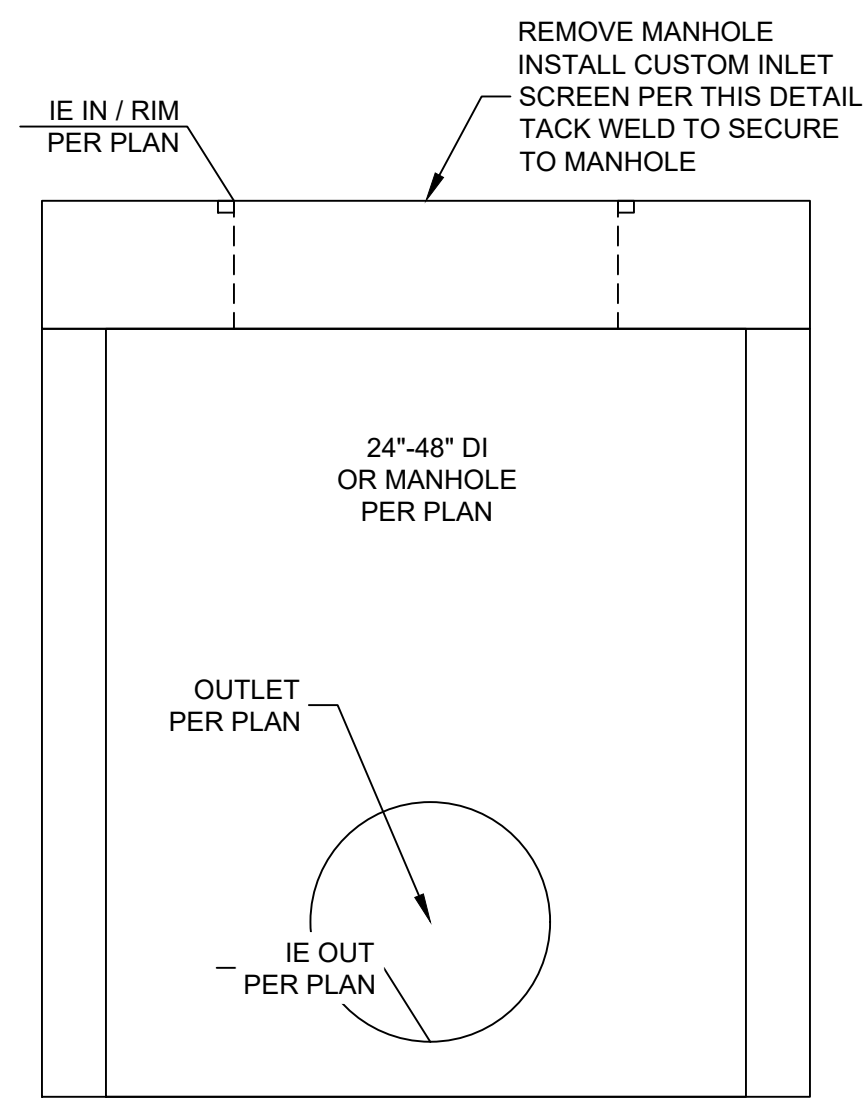
C6

SHEET 7 OF 8



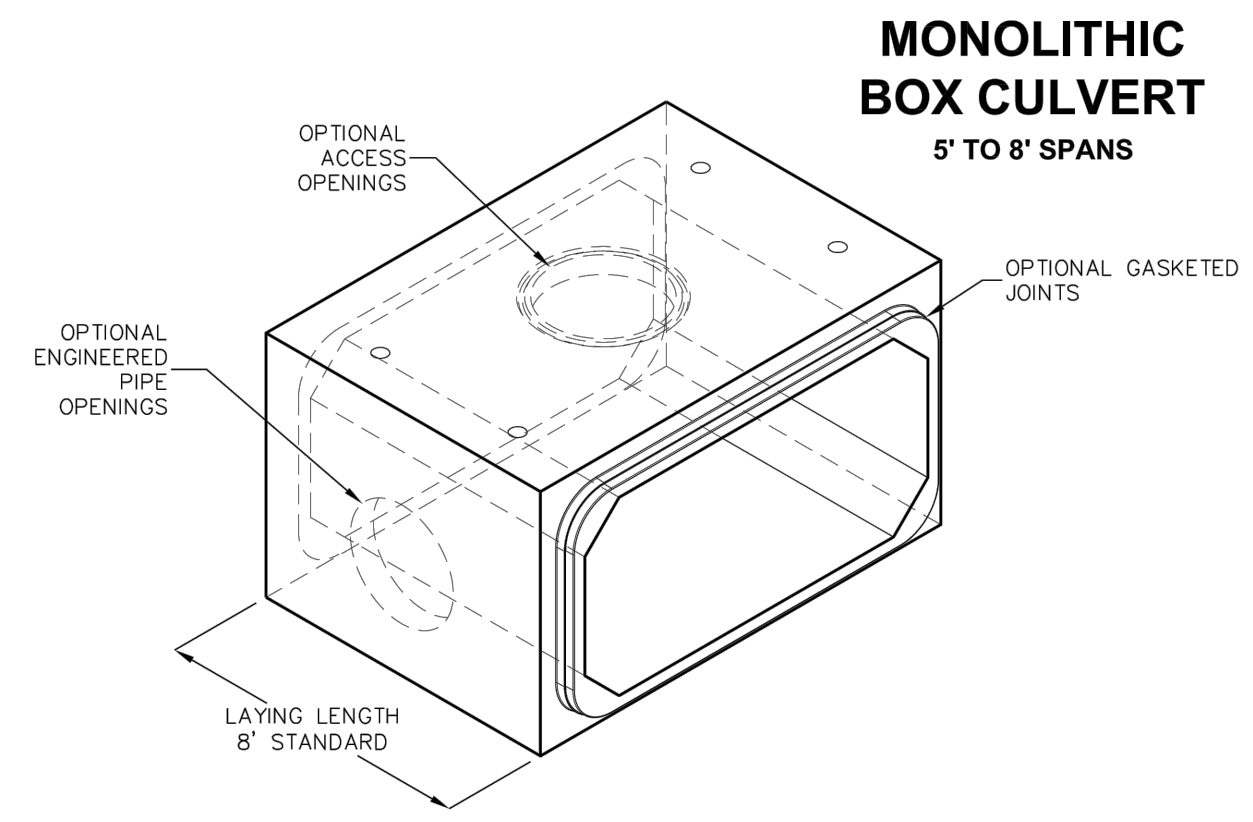
0' 10' 20'
SCALE: 1"=20'

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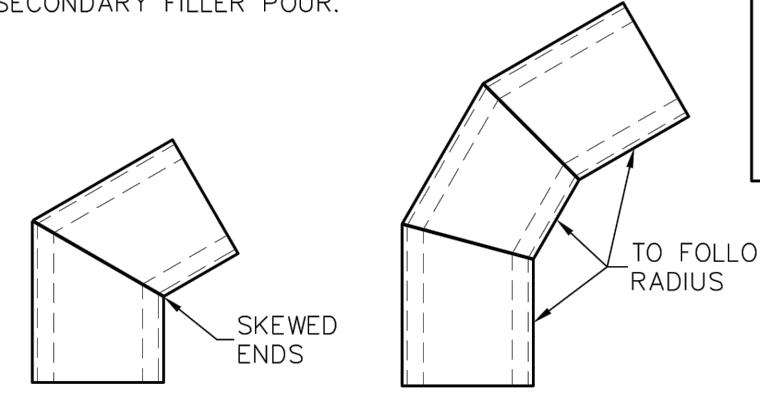


DETAIL 1 - EAGLE CANYON DI INLET
SCALE: 1"=1'-0"

NOTE: SEE WASHOE COUNTY STANDARD DETAIL W-10.2 FOR DETAILS OF INSTALLATION. THIS DETAIL PROVIDES "APPROVED EQUAL" REPLACEMENT OF THE NEENAH BEEHIVE AND SPECIFIES 48" MANHOLE FOR DROP INLET BODY.



ENDS CAN BE ENGINEERED SKEWS TO ALLOW FOR CURVES IN CULVERT RUN - NO NEED FOR SECONDARY FILLER POUR.

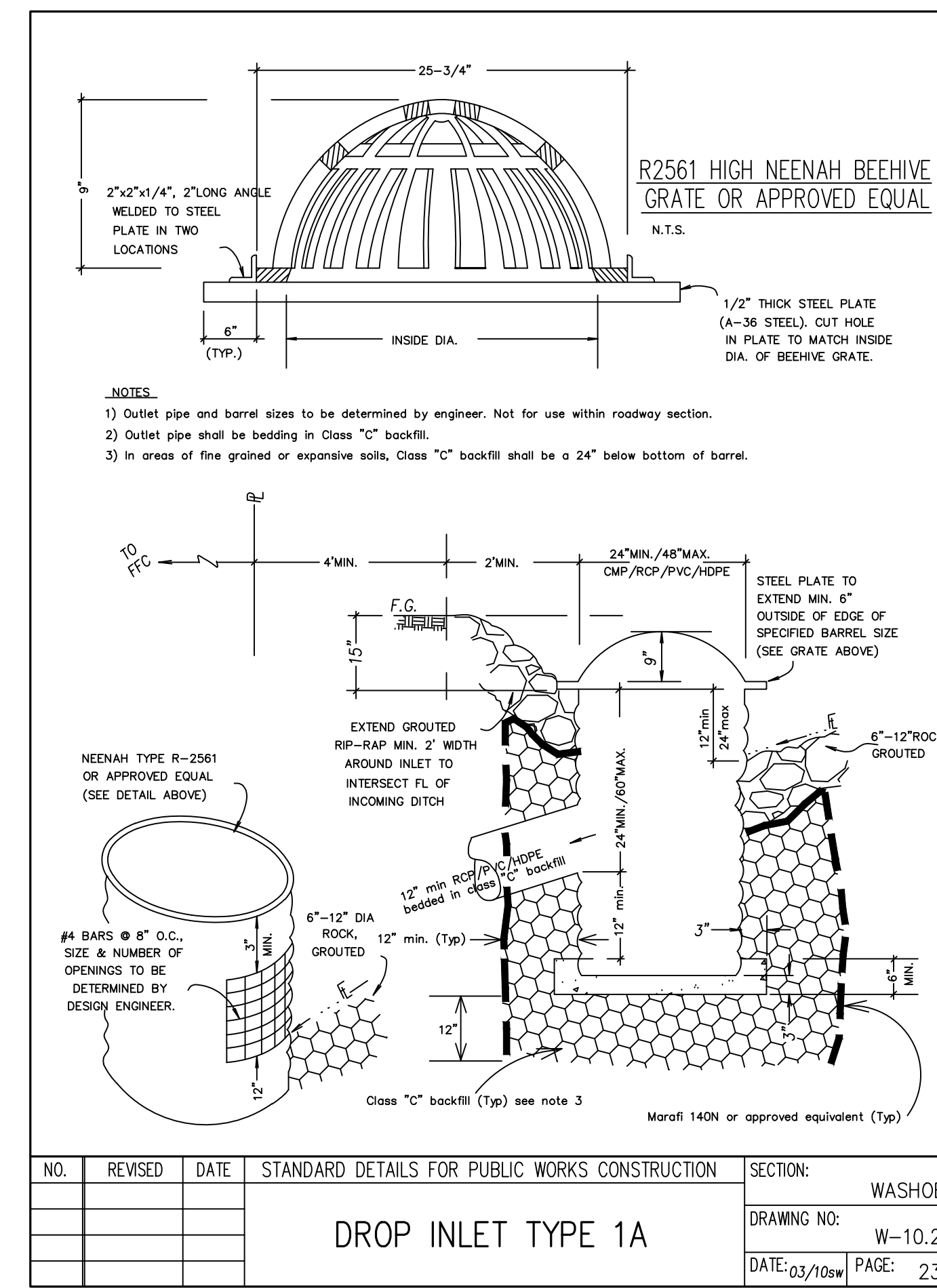


DESIGNS AVAILABLE MEETING ASTM C1577, CALTRANS D83A & D83B, AIRCRAFT, RAIL, AND OTHER LOADING CRITERIA.

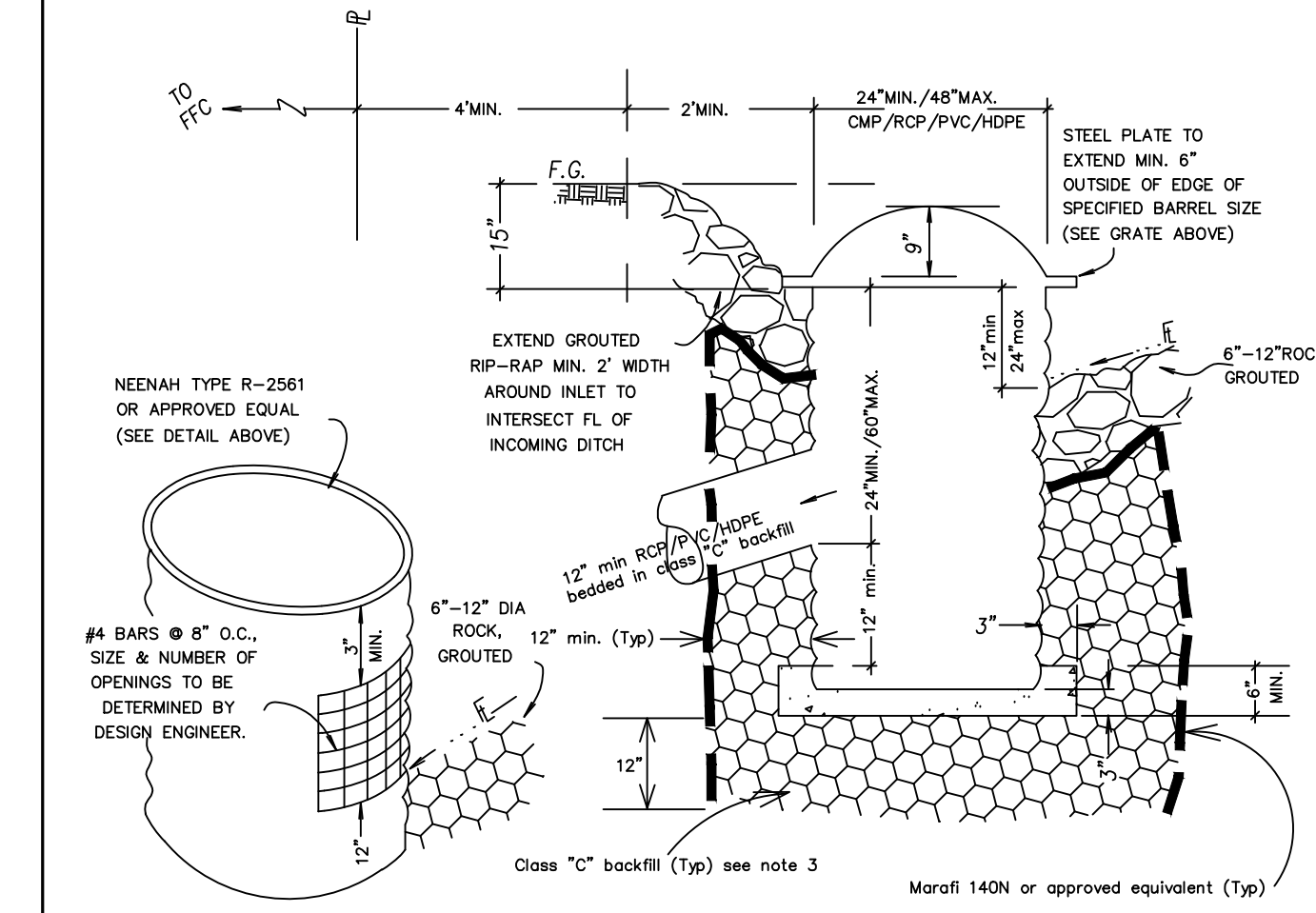
DESIGNS BASED ON SPECIAL LOADING OR DEPTHS OF BURY ARE AVAILABLE ON REQUEST. CUSTOM PIPE HOLES, ACCESS OPENINGS, AND SKEWED SECTIONS ARE AVAILABLE. STANDARD HEIGHTS AVAILABLE IN ONE FOOT INCREMENTS. CUSTOM HEIGHTS ARE AVAILABLE.

FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

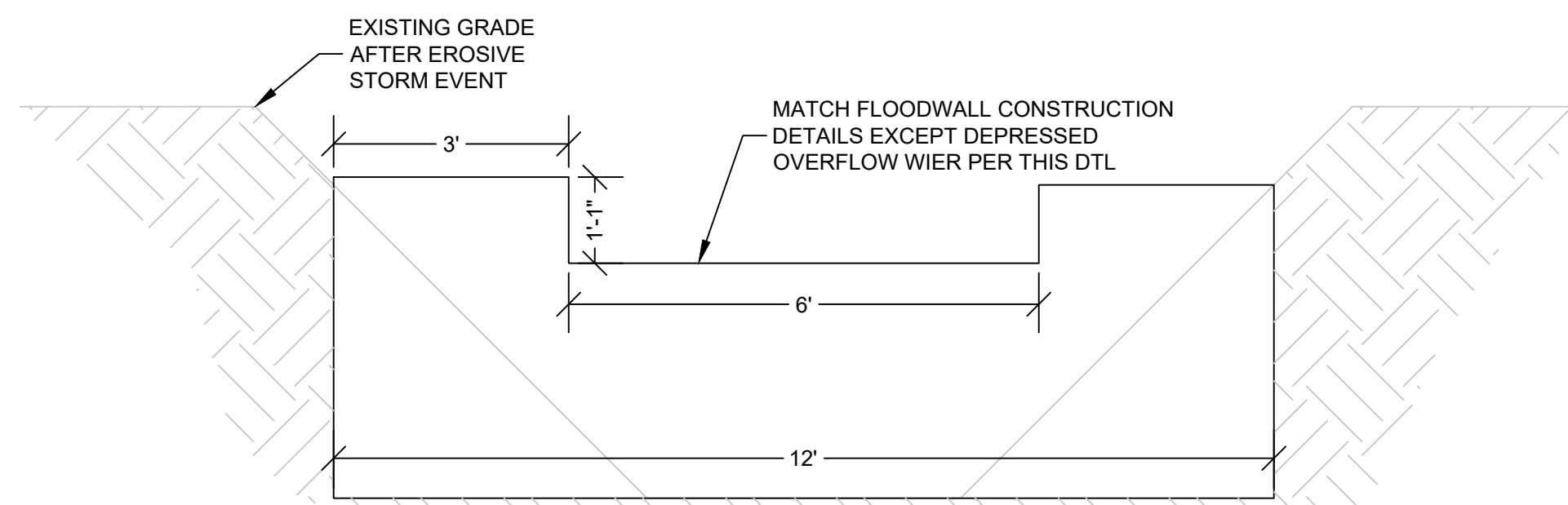
A Jensen Precast reserves the right to make changes to product design and/or dimensions without notice. Please contact Jensen Precast whenever necessary for confirmation or advice on product design.



- NOTES:
- 1) Outlet pipe and barrel sizes to be determined by engineer. Not for use within roadway section.
 - 2) Outlet pipe shall be bedding in Class "C" backfill.
 - 3) In areas of fine grained or expansive soils, Class "C" backfill shall be a 24" below bottom of barrel.

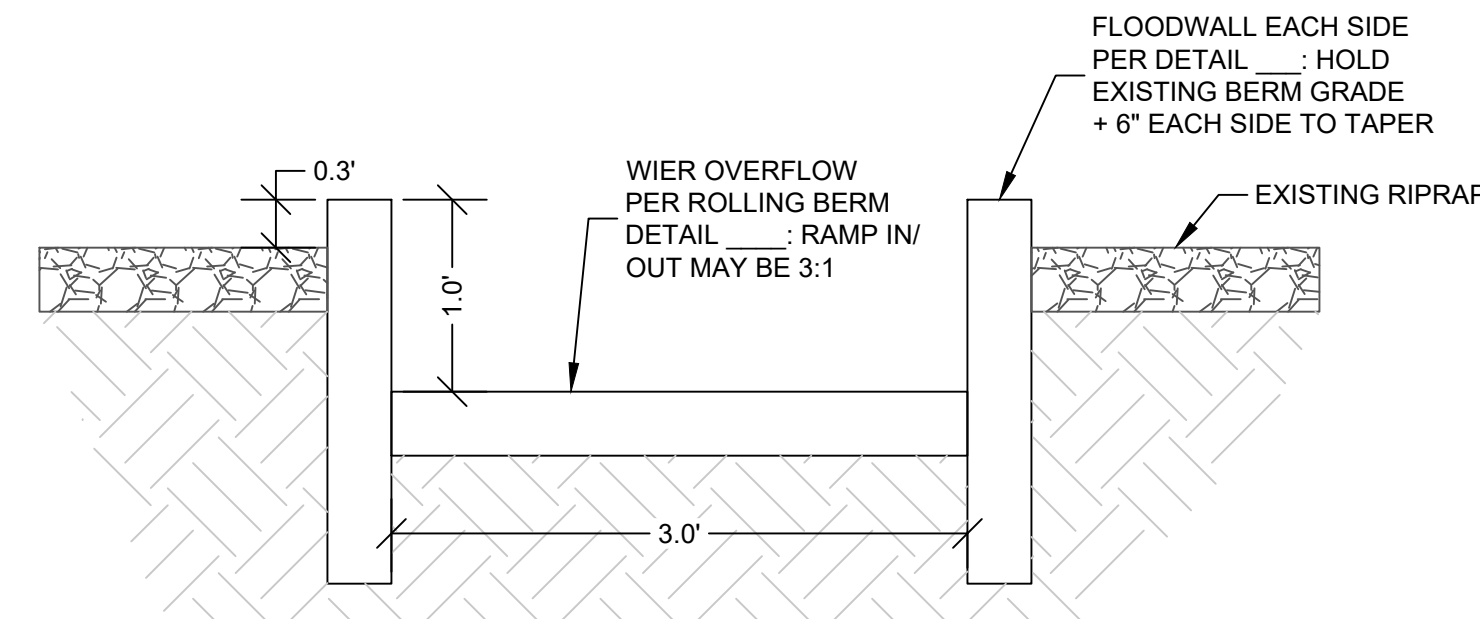


NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
				WASHOE
				DRAWING NO: W-10.2
				DATE: 03/10sw PAGE: 23



DETAIL 2 - PCC CHECK DAM WIER
SCALE: 1"=2'-0"

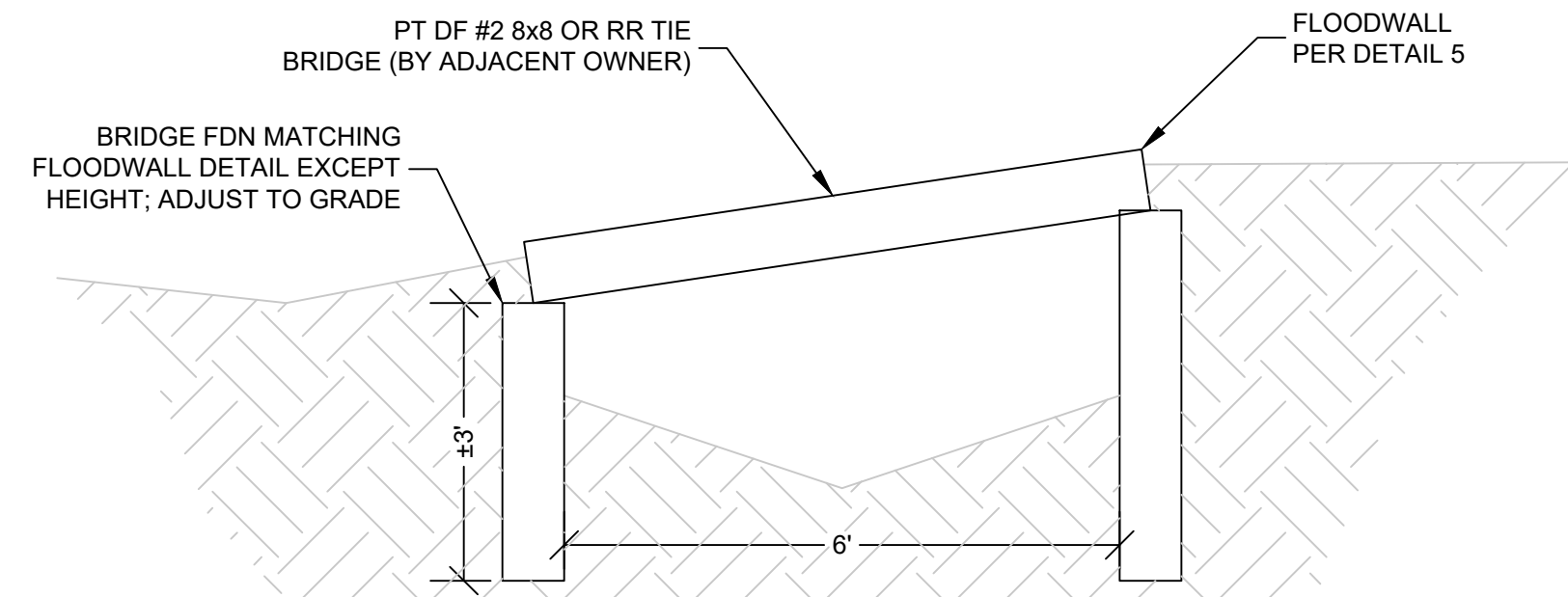
NOTE: CONCRETE SHALL CONFORM TO WASHOE COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS. SUBMIT MIX DESIGN TO ENGINEER FOR APPROVAL.



DETAIL 3 - PCC CHANNEL INLET
SCALE: 1"=2'-0"

- NOTES:
- 1) CONCRETE SHALL CONFORM TO WASHOE COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS. SUBMIT MIX DESIGN TO ENGINEER FOR APPROVAL.
 - 2) PROVIDE CONSTRUCTION JOINTS AT 24" O/C AND TROWEL CRACK CONTROL AT 8' O/C EXPOSED FACE
 - 3) VEGETATED SWALE HOLD SAME DIMENSIONS BUT OMIT FLOODWALL IN AREAS WHERE IT IS NOT REQUIRED (PER PLAN)

DETAIL 5 - PCC FLOODWALL
SCALE: 1"=2'-0"



NOTE: THIS DETAIL TO BE USED WHERE EXISTING ACCESS THROUGH REAR FENCE ONLY. COORDINATE WITH ADJACENT HOMEOWNER AND CONSTRUCT FDN AT HOMEOWNER EXPENSE.

DETAIL 6 - FLOODWALL CROSSING
SCALE: 1"=2'-0"

THESE STAMPED AND SIGNED COPIES OF THIS PLAN SHALL BE SUBMITTED TO THE SUPERVISOR OF PUBLIC WORKS AND ELECTRONIC COPIES AND ELECTRONIC NOTES AND CONTRACT AGREEMENT.

PREPARED FOR:
EQUUS MANAGEMENT
5480 RENO CORPORATE DR #100
RENO, NV 89511
(775) 852-2224

DESIGNED BY:
Jensen Precast
848 VICTORIAN AVENUE
RENO, NV 89511
(775) 852-2251
DRAWN: LJD
DATE: 2021-08-30



NO.	DATE	DESCRIPTION
1	2021-01-22	CHKD
2	2021-08-16	LID RMS
3	2021-08-16	LID RMS
4	2021-08-30	LID NER
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REFERENCES

NO.	DATE	DESCRIPTION
P1	2021-01-22	CLIENT REVIEW
P2	2021-08-16	CLIENT REVIEW
0	2021-08-30	WASHOE COUNTY SPECIAL USE PERMIT

REVISIONS

NO.	DATE	DESCRIPTION

APPROVALS

D1