

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: NJEA - Hilgers-Easter Remodel and Addition			
Project Description: Full interior remodel with new garage, entry, and office. The existing garage will be converted to living space.			
Project Address: 666 Tumbleweed Cir. Incline Village, NV 89451			
Project Area (acres or square feet): 3,346 sf			
Project Location (with point of reference to major cross streets AND area locator): 666 Tumbleweed Circle, halfway btwn Fallen Leaf Way & Pinto Ct.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
125-522-01	.1644 (7,160sf)		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Kenneth Easter & J'nee Hilgers Easter		Name: same as applicant	
Address: 774 Mays Blvd. Suite 10 PMB 722		Address:	
Incline Village, NV Zip: 89451		Zip:	
Phone: Fax:		Phone: Fax:	
Email: nate.easter@tti.com.hk		Email:	
Cell: 678-473-7411 Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Elise Fett & Associates, Ltd.		Name:	
Address: PO Box 5989		Address:	
Incline Village, NV Zip: 89450		Zip:	
Phone: 775-833-3388 Fax:		Phone: Fax:	
Email: julie@elisefett.com		Email:	
Cell: 775-315-3086 Other:		Cell: Other:	
Contact Person: Julie Soules		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

3,270 sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

n/a

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

n/a

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

New retaining walls are required for the reduced driveway slope, there are 4 offsite parking spots. 2 in the driveway and 2 in the garage.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

no foreseen negative impacts

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	IVGID	n/a
Electrical Service	NV Energy	n/a
Solid Waste Disposal Service	Waste Management	n/a
Water Service	IVGID	n/a

TRPA NOTES

COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN EARTHONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

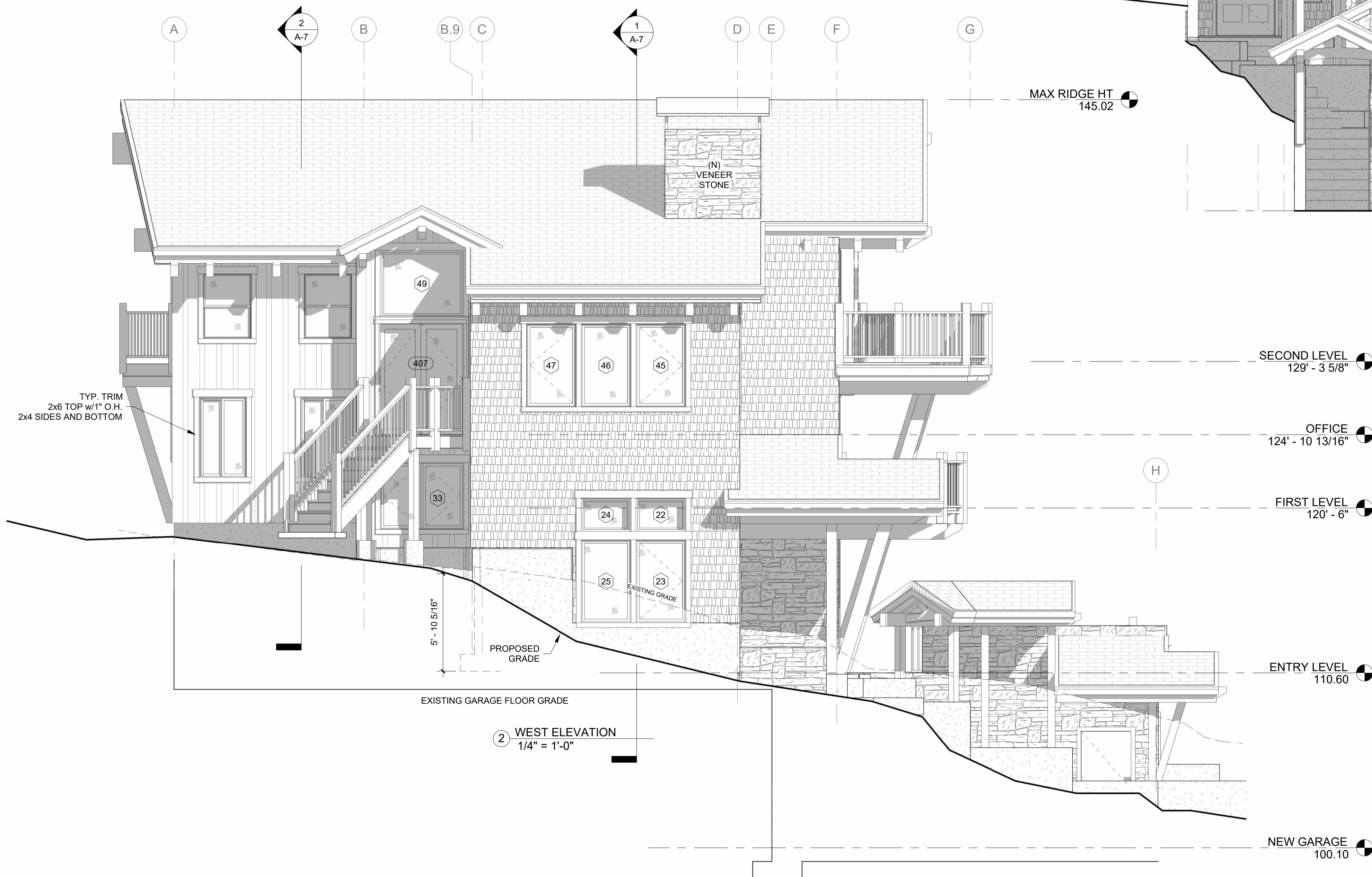
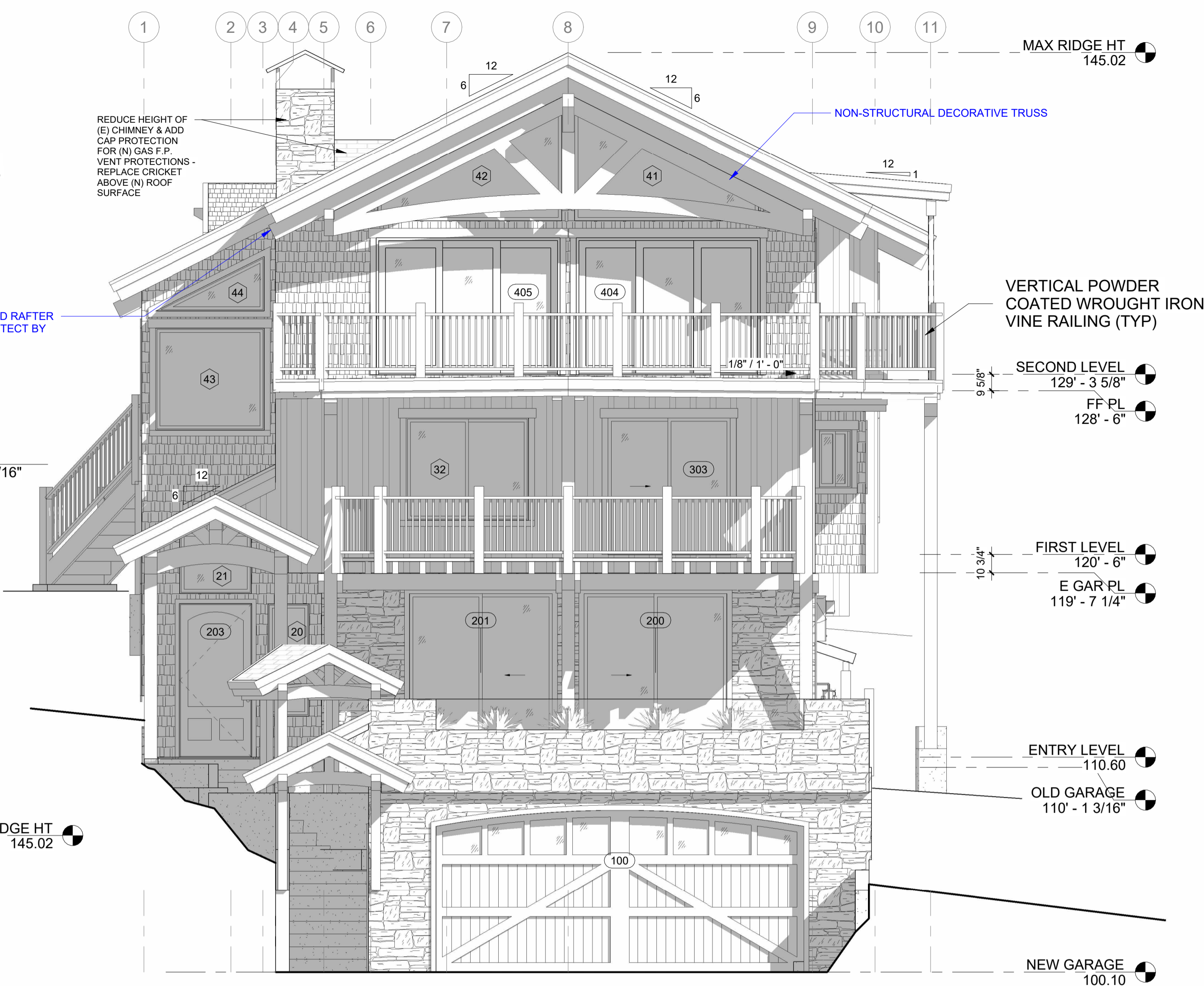
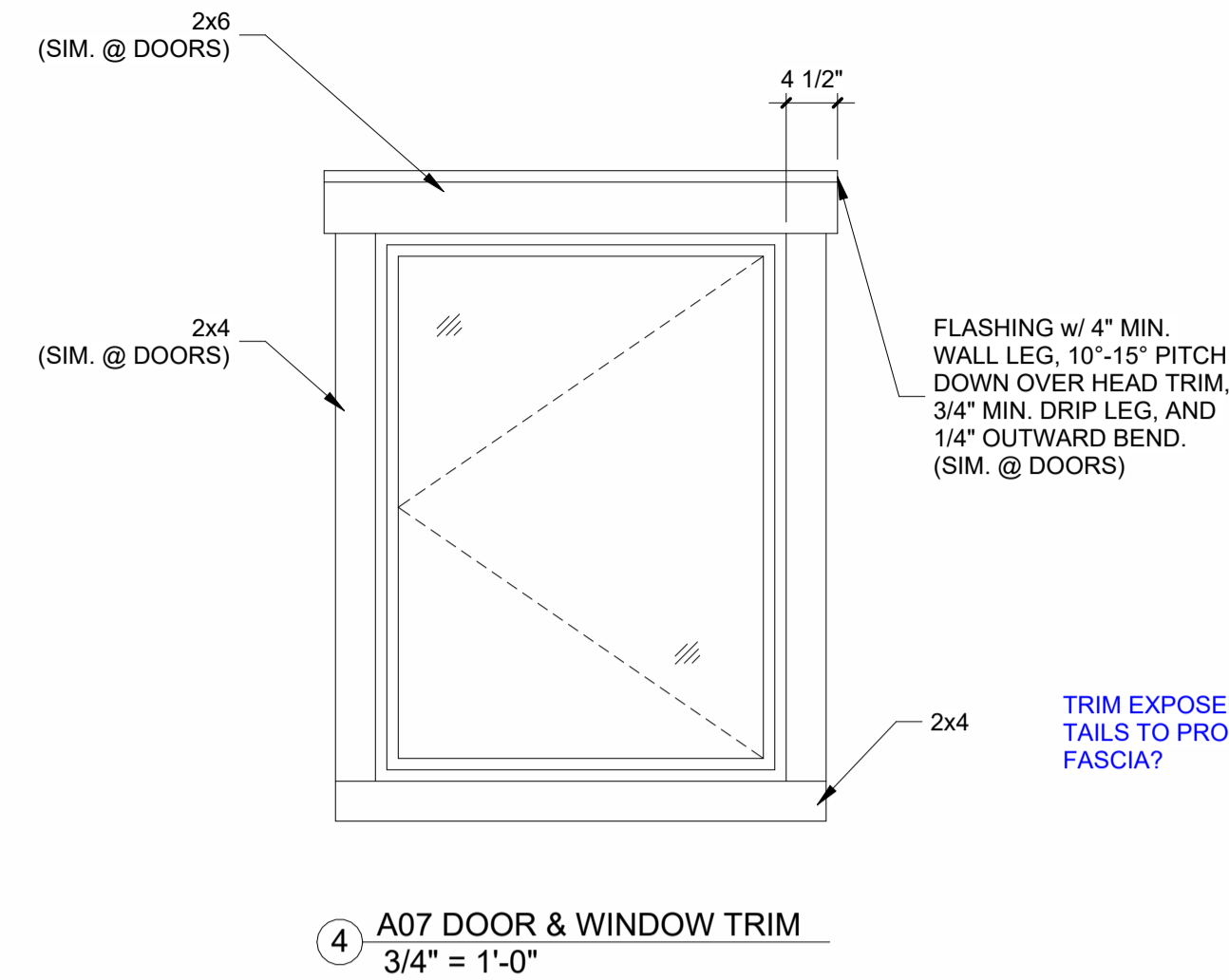
ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTHONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

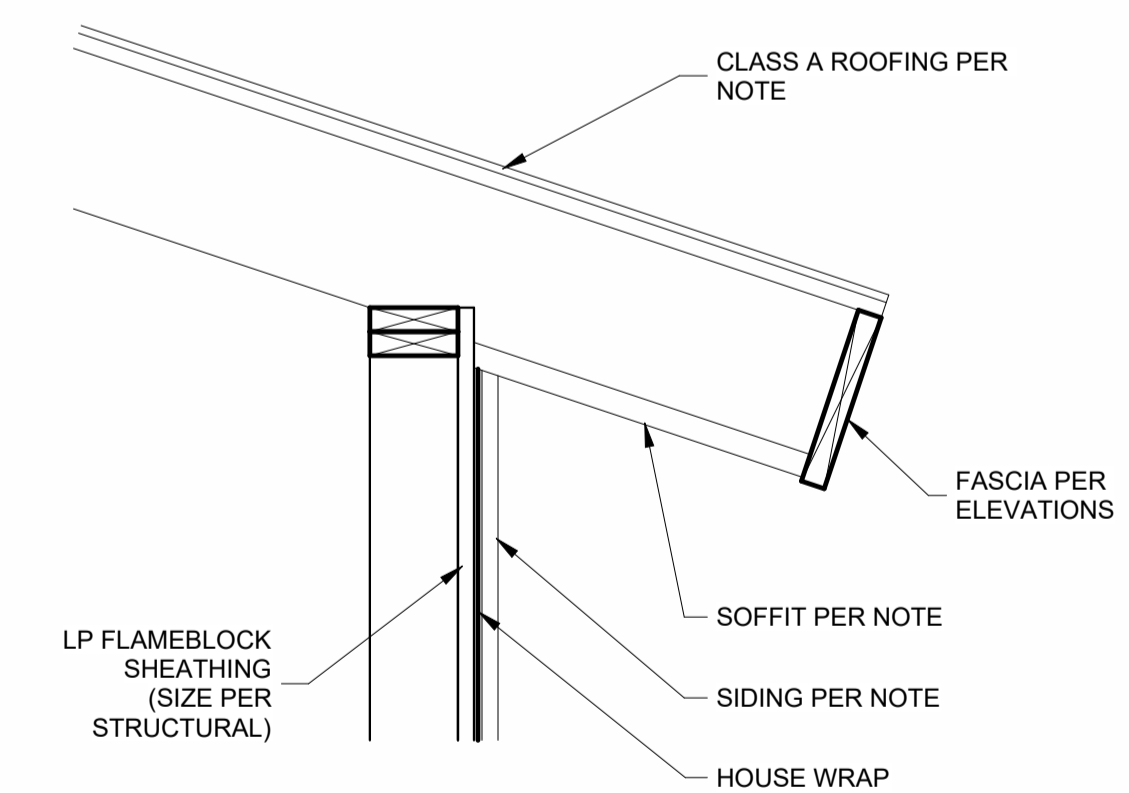
LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8, EXTERIOR LIGHTING STANDARDS AND TRPA DESIGN REVIEW GUIDELINES.

EXTERIOR FINISHES / W.U.I. NOTES

- ROOF: COMPOSITE ROOF TO MATCH EXISTING, AS NOTED ON ELEVATIONS. CLASS "A" ASSEMBLY
- EAVES (SOFFIT) FASCIA: APPROVED 1-HOUR FIRE RESISTANT CONSTRUCTION, IGNITION RESISTANT MATERIAL, 2x LUMBER OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. NO EXPOSED TAILS UNLESS HEAVY TIMBER, 3/4" MINIMUM SOLID MATERIAL.
- VENTS: 4×4 SQUARE INCHES $1/4''$ NON-COMBUSTIBLE CORROSION-RESISTANT MESH, VULCAN, BRANDGUARD, OR SIMILAR APPROVED VENTS
- EXTERIOR WALLS: OVER EXISTING T1-11 ADD 2x4 BATTENS @ 1' o.c., NEW SIDING OVER LP FLAMEBLOCK SHEATHING OR SIMILAR TO BE T1-11 w/ 2x4 BATTENS @ 1' o.c., SHINGLES OR STONE AS SHOWN ON ELEVATIONS.
- WINDOWS: DOUBLE PANE w/ AT LEAST ONE TEMPERED PANE (MIN)
- EXTERIOR DOORS (EXCLUDING VEHICLE ACCESS DOORS): APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE (1-3/4" MIN), MINIMUM 20 MINUTE RATING
- DECKING:
 - UNSOFFITED: HEAVY TIMBER WITH FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE.
 - SOFFITED: PROVIDE 3/4" MINIMUM SOLID MATERIAL.
 - SUPPORT COLS: 6x6 MIN. PER WUI (SIZED PER STRUCTURAL)
 - SUPPORT BEAMS: 6x8 OR 4x10 MIN. PER WUI (SIZED PER STRUCTURAL)
 - DECK JOISTS: 4x8 MIN. IF NOT SOFFITED PER WUI (SIZED PER STRUCTURAL)
 - LEDGERS: 3x MIN. PER WUI (SIZED PER STRUCTURAL)
- GUTTERS & DOWNSPOUTS: GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.



1 SOUTH ELEVATION
1/4" = 1'-0"



3 A05 WUI SECTION
1" = 1'-0"

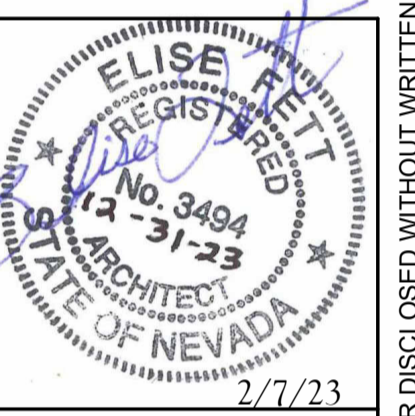
DECK FRAMING & W.U.I. NOTES
 SUPPORT COLUMNS: 6X6 (MIN)
 SUPPORT BEAMS: 6X8 OR 4X10 (MIN)
 DECK JOISTS: 4X8 (MIN) IF NOT SOFFITED
 LEDGERS: 3X (MIN)
 DECKING: WATERPROOF ASSEMBLY P.A.D.

REMODEL NOTE:
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REVISIONS		
#	DATE	BY

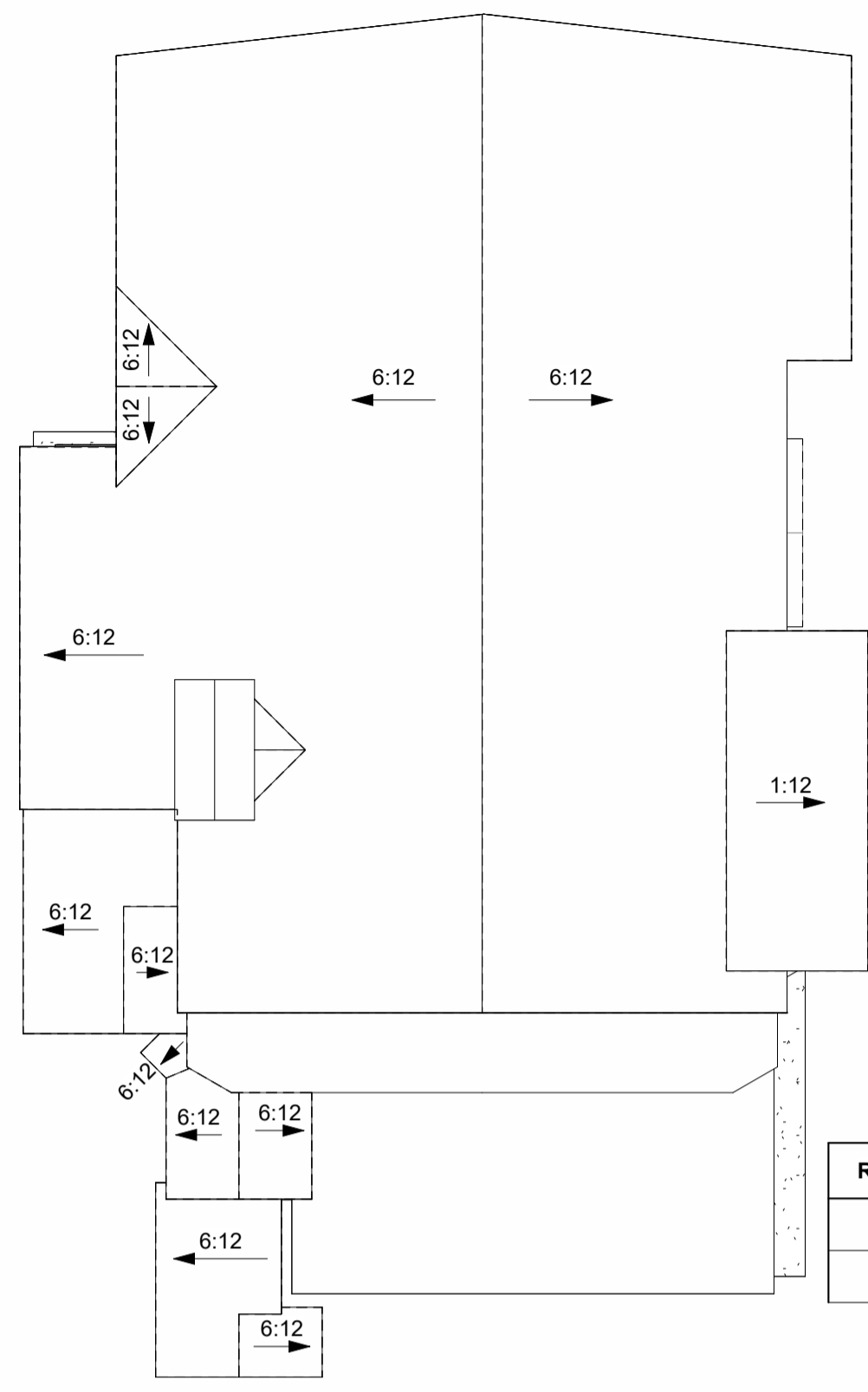
P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775) 833-3388
 FAX: (775) 833-2388
 elise@elisefett.com

ELISE FETT & ASSOCIATES, LTD.
 AIA • RCE
**ARCHITECTURE
 ENGINEERING**



HILGERS-EASTER REMODEL/ADDITION
 666 TUMBLEWEED CIRCLE
 INCLINE VILLAGE, NV 89451
 APN: 125-522-01

SCALE: As indicated
 JOB NO: NJEA
 PRINT DATE: 2/7/2023 3:03:47 PM
 SHEET
A-4
 SOUTH & WEST ELEVATIONS



4 ROOF SLOPE PLAN
1/8" = 1'-0"

NOTE: CONTRACTOR TO VERIFY FIELD CONDITIONS (ROOF SLOPE / BEARING POINTS) PRIOR TO ORDERING TRUSSES OR CUTTING RAFTERS.

ALLOWABLE BUILDING HEIGHT CALCULATIONS

HOUSE SITE SLOPE 22%
 >50% OF ROOF PITCH 6:12
 MAX. ALLOWABLE BUILDING HEIGHT 36'-8"
 MAX. PROPOSED HEIGHT 34' 1 13/16"
 PER SEGMENT CALC TOTAL ALLOWABLE HEIGHT =
 (28' + 36'8" + 36'8") * 1.5 / 3 = 50'-8"

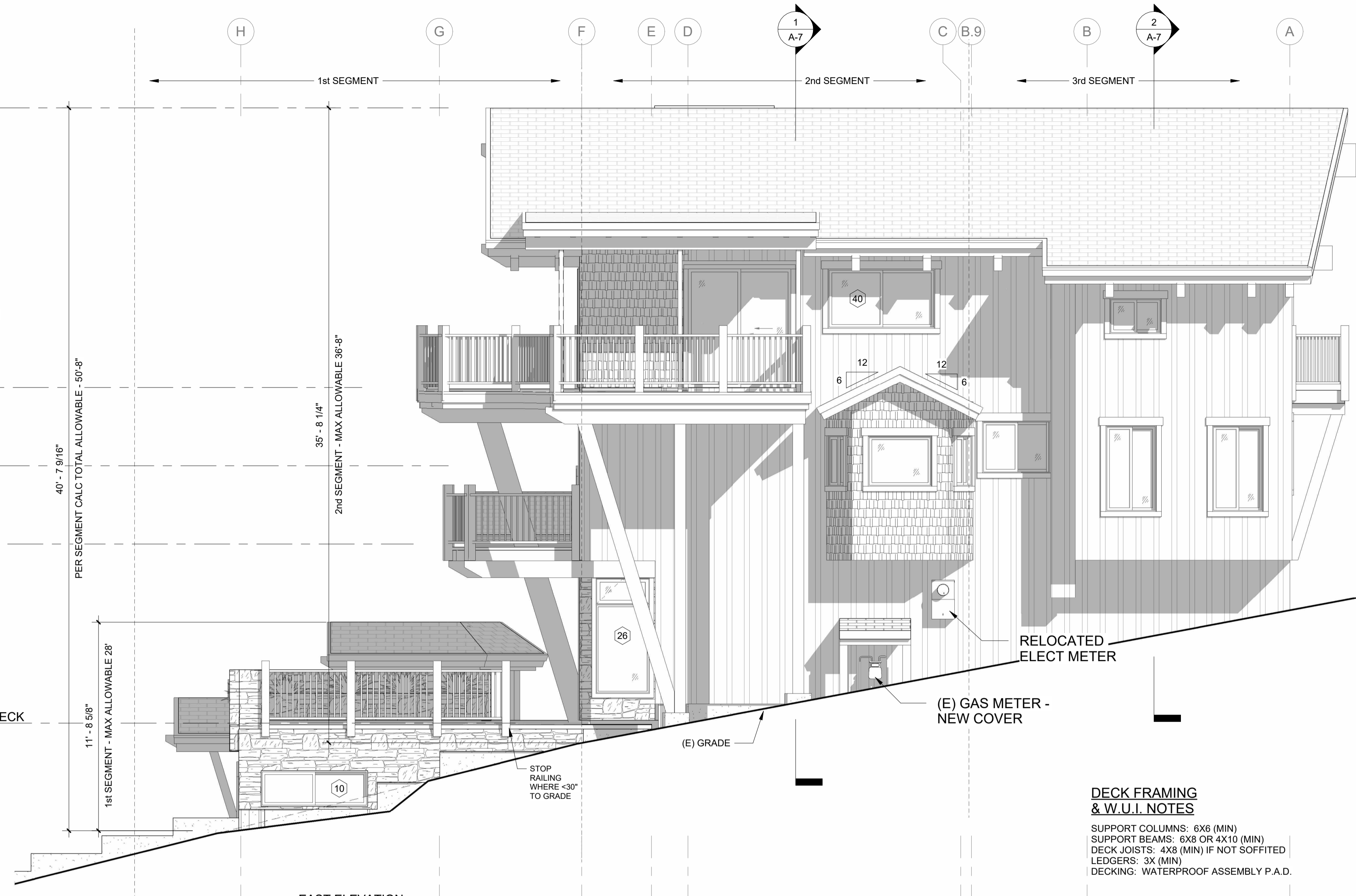
MAX RIDGE HT 145.02

SECOND LEVEL 129' - 3 5/8"

OFFICE 124' - 10 13/16"

FIRST LEVEL 120' - 6"

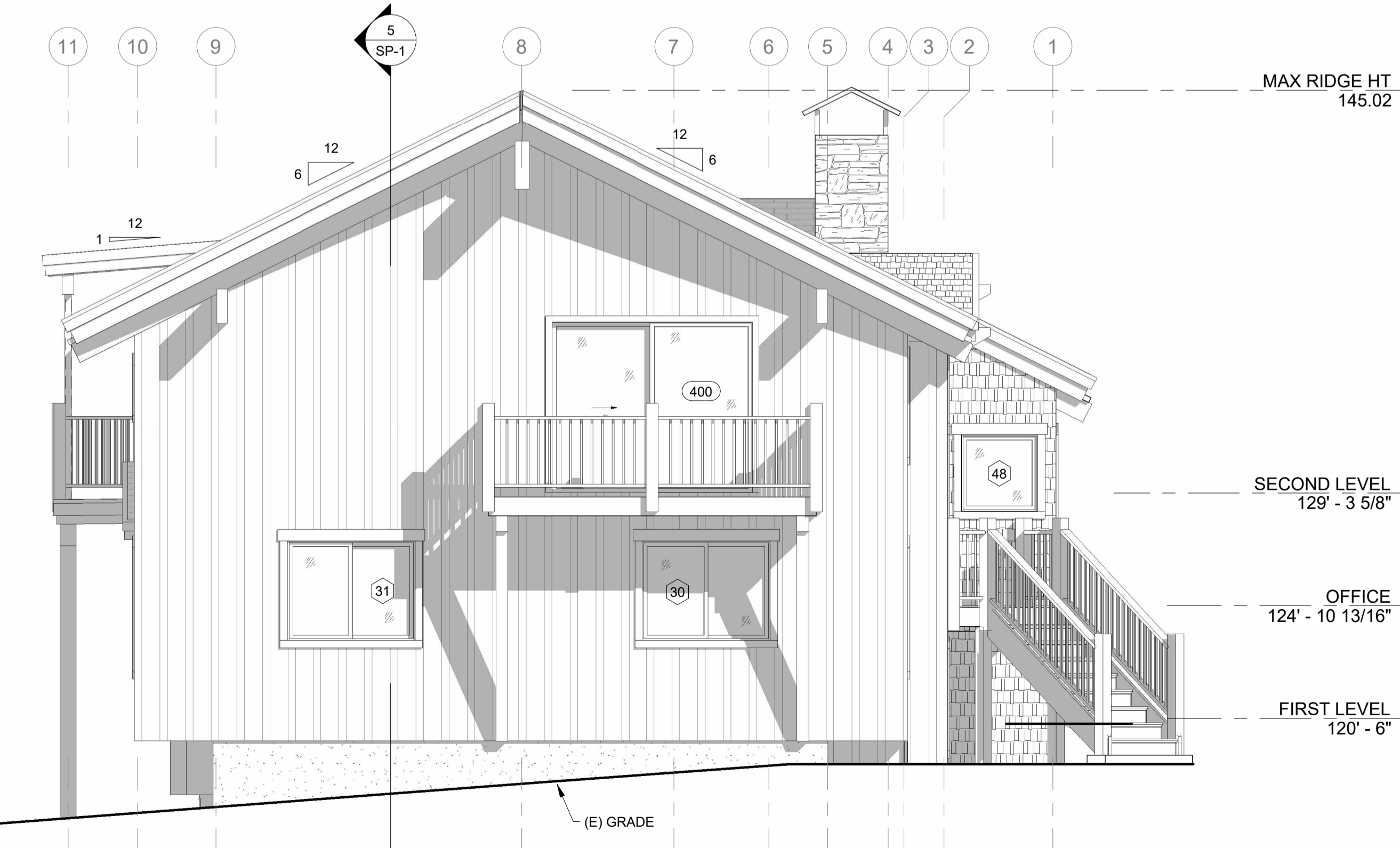
GARAGE ROOF DECK 110.43



1 EAST ELEVATION
1/4" = 1'-0"

DECK FRAMING & W.U.I. NOTES

SUPPORT COLUMNS: 6X6 (MIN)
 SUPPORT BEAMS: 6X8 OR 4X10 (MIN)
 DECK JOISTS: 4X8 (MIN) IF NOT SOFFITED
 LEDGERS: 3X (MIN)
 DECKING: WATERPROOF ASSEMBLY P.A.D.



2 NORTH ELEVATION
1/4" = 1'-0"

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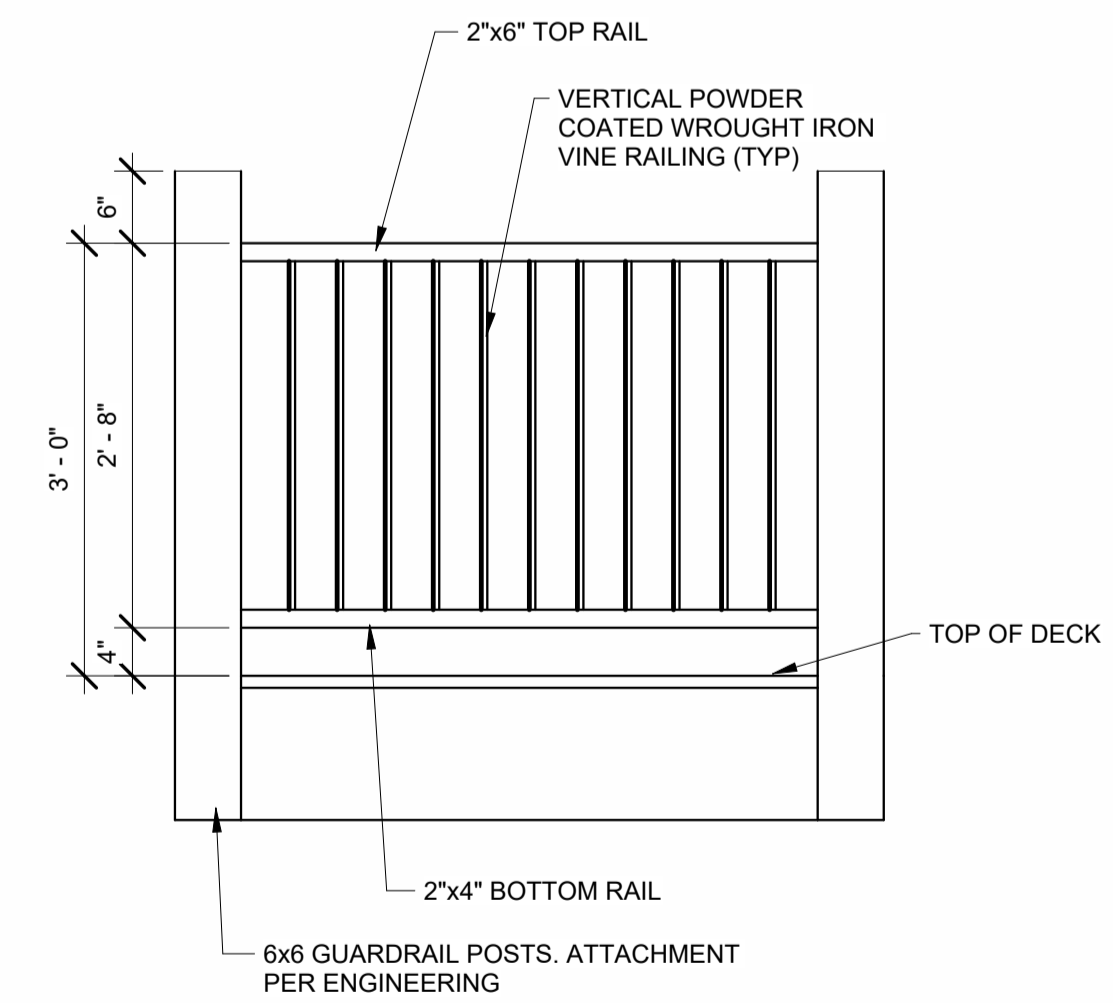
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3 A01 DECK RAILING DETAIL
3/4" = 1'-0"

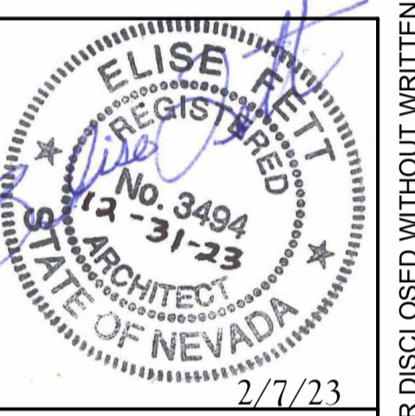
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REVISIONS		
#	DATE	BY

P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775)833-3388
 FAX: (775)833-2388
 elise@eliseftt.com

ELISE FETT & ASSOCIATES, LTD.
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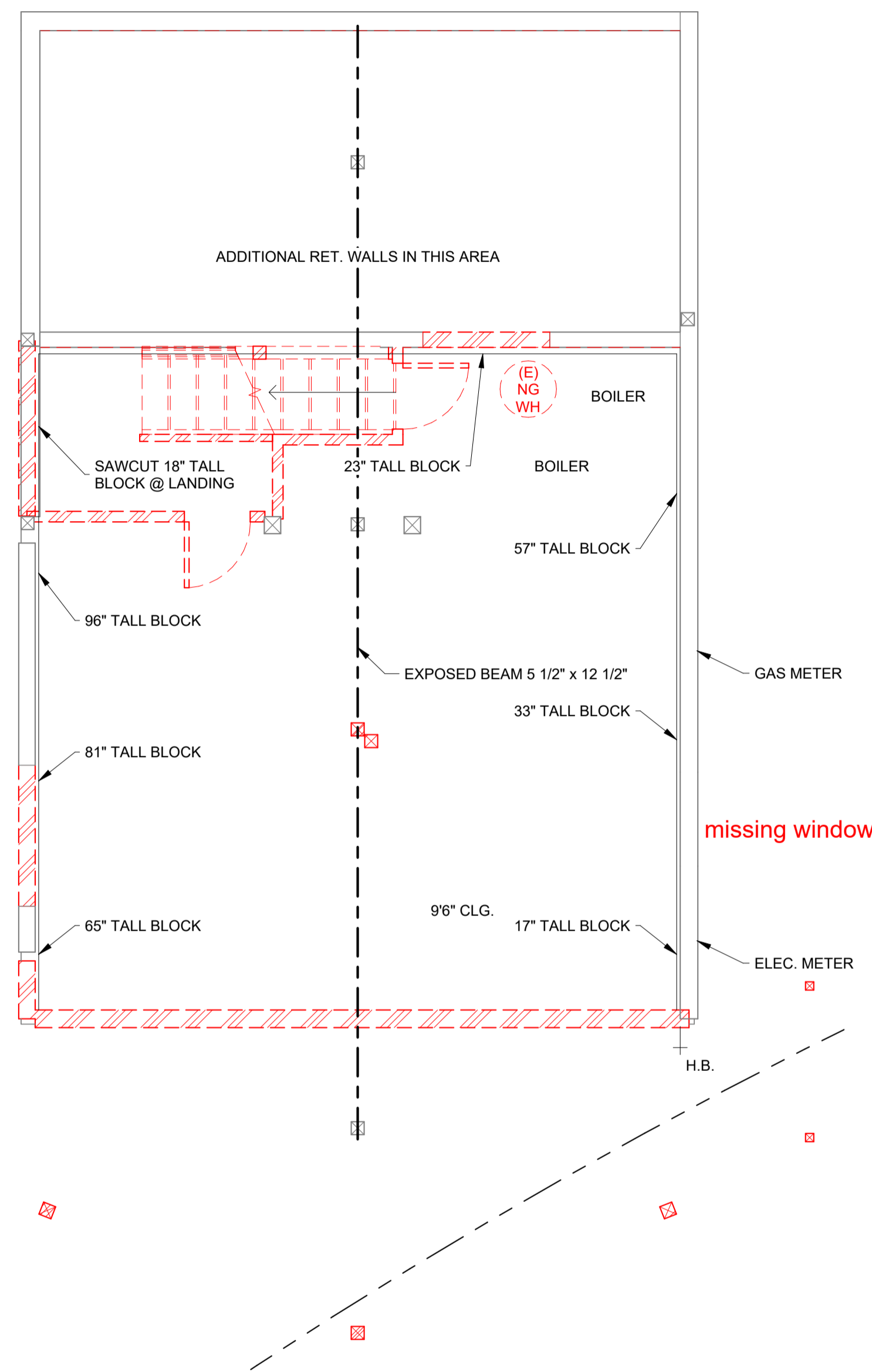


HILGERS-EASTER REMODEL/ADDITION
 666 TUMBLEWEED CIRCLE
 INCLINE VILLAGE, NV 89451
 APN: 125-522-01

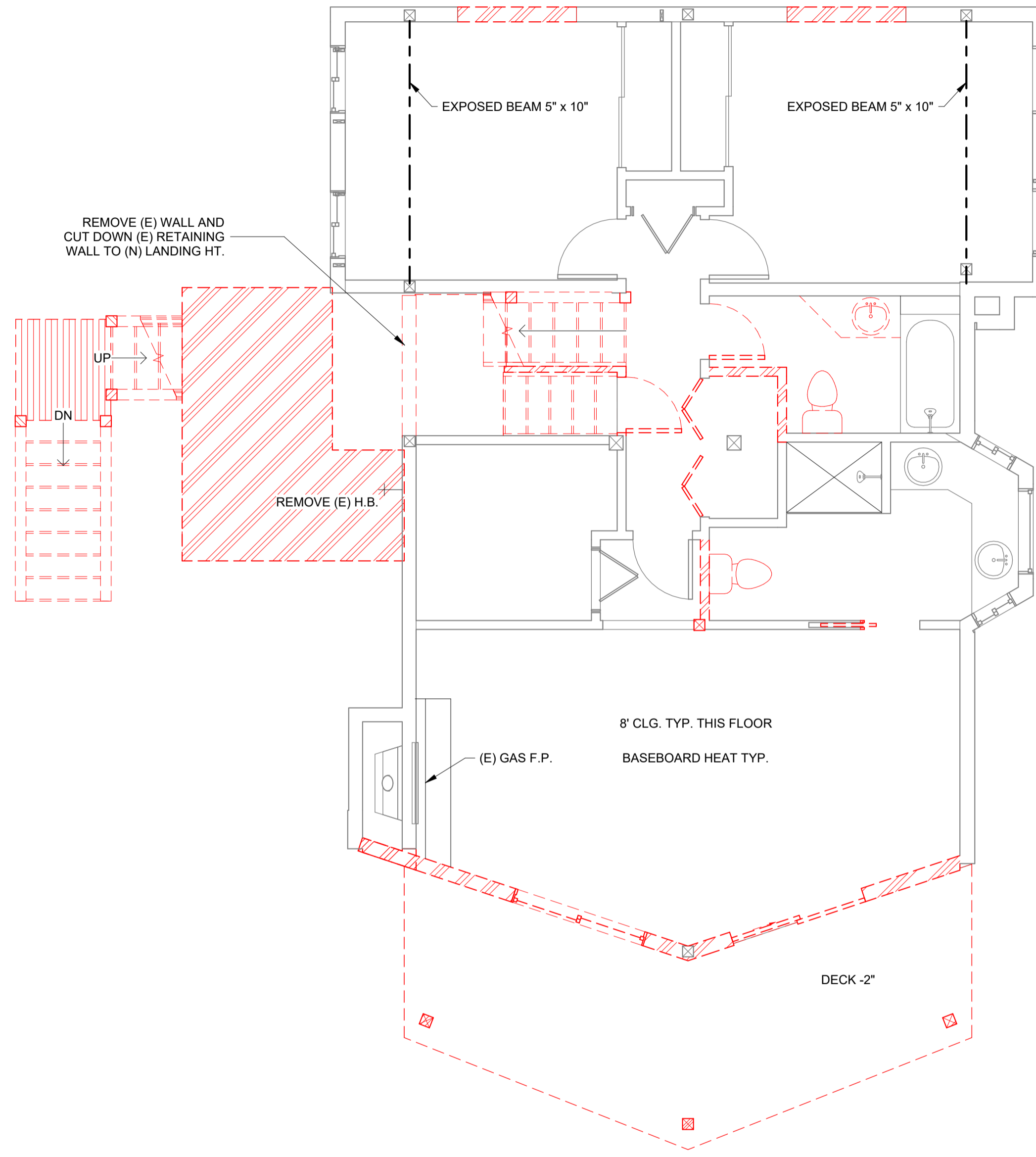
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A-5
 NORTH & EAST ELEVATIONS

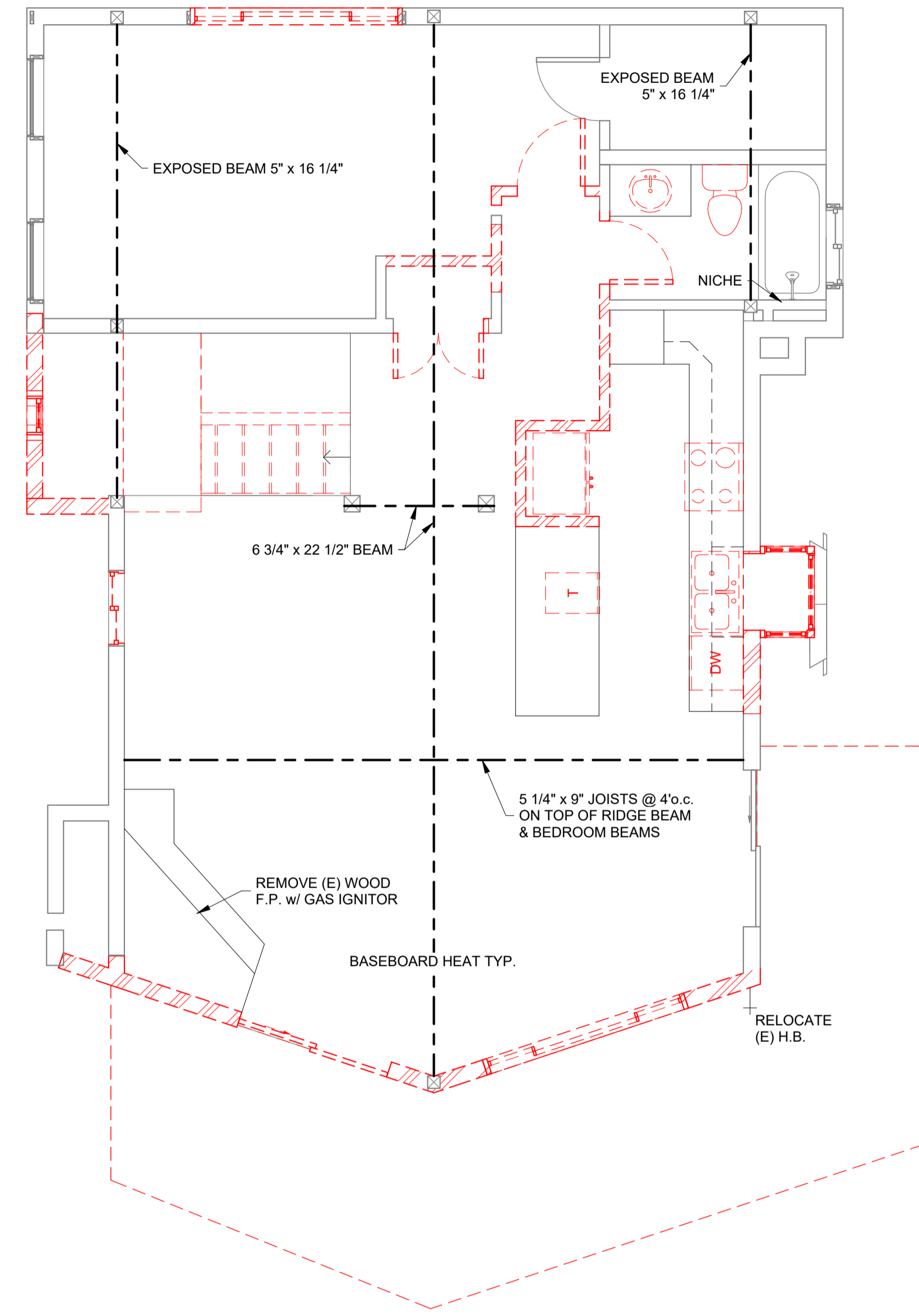
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① (E)/DEMO GARAGE
1/4" = 1'-0"



② (E)/DEMO FIRST FLOOR
1/4" = 1'-0"



③ (E)/DEMO SECOND FLOOR
1/4" = 1'-0"

WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

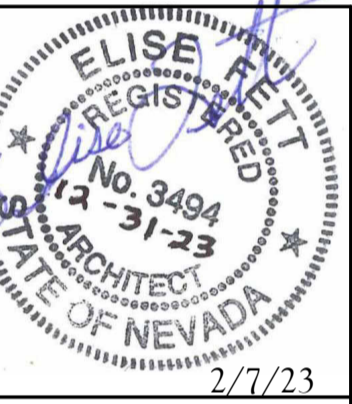
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NEVADA 89450
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HILGERS-EASTER REMODEL/ADDITION
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SCALE: 1/4" = 1'-0"
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SHEET

A-1

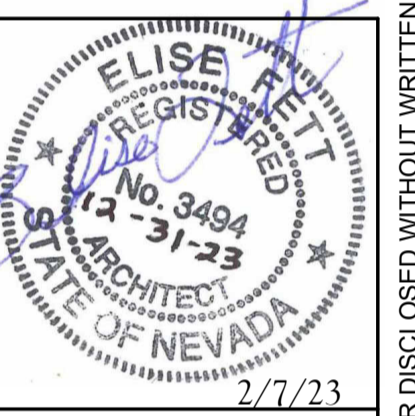
(E)/DEMO PLANS

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P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775)833-3388
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A-2
 NEW GARAGE & ENTRY LEVEL

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WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

GARAGE DOOR SCHEDULE

Mark	Family	Width	Height	Comments
100	OVERHEAD SECTIONAL	18'-0"	8'-0"	
101	SINGLE FLUSH	3'-0"	7'-0"	

GARAGE WINDOW SCHEDULE

Mark	Family	Width	Height	Head HT	Comments
10	SLIDER	6'-0"	2'-0"	7'-8"	

WINDOW & DOOR NOTES:

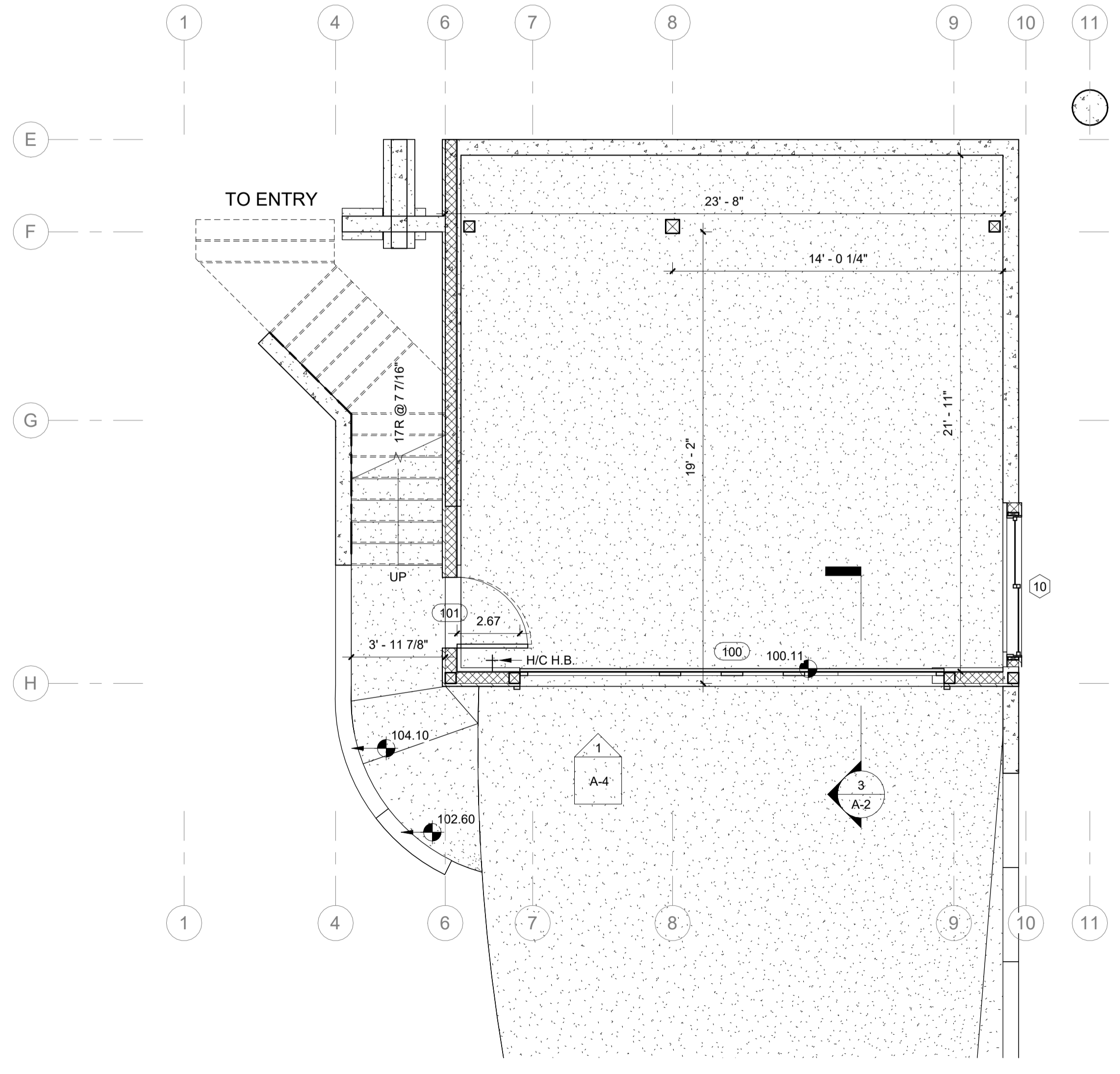
- FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
- ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
- SEE ENERGY REQUIREMENTS SHEET A-6 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDERING.
- ALL GLASS DOORS TO BE SAFETY GLAZED.

ENTRY LEVEL DOOR SCHEDULE

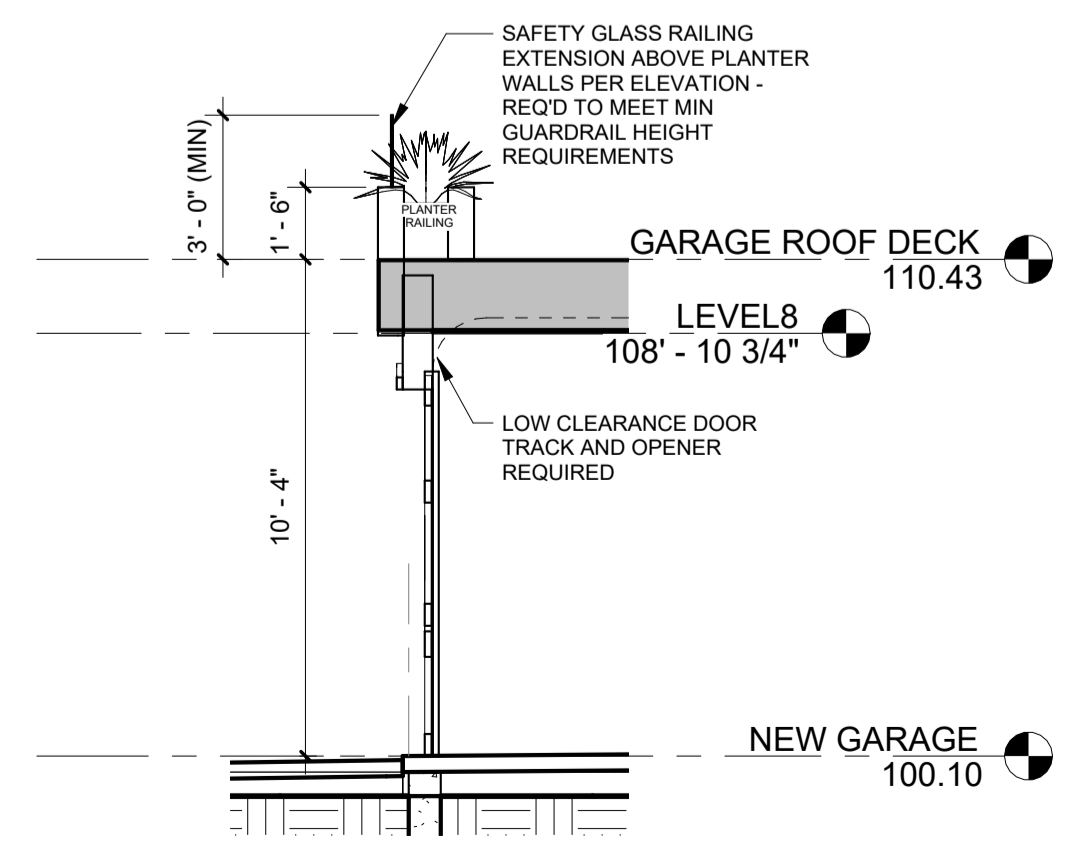
Mark	Family	Width	Height	Comments
200	DOUBLE SLIDING	7'-0"	8'-0"	SAFETY GLAZING
201	DOUBLE SLIDING	7'-0"	8'-0"	SAFETY GLAZING
202	DOUBLE FLUSH GLASS	5'-0"	8'-0"	SAFETY GLAZING
203	GLASS ENTRY	3'-6"	7'-6"	SAFETY GLAZING
204	DOUBLE FLUSH	3'-0"	8'-0"	
205	BARN DOOR	4'-6"	6'-8"	
206	SINGLE FLUSH	2'-6"	6'-8"	
207	SINGLE FLUSH	2'-6"	6'-8"	
208	SINGLE FLUSH	2'-6"	6'-8"	

ENTRY LEVEL WINDOW SCHEDULE

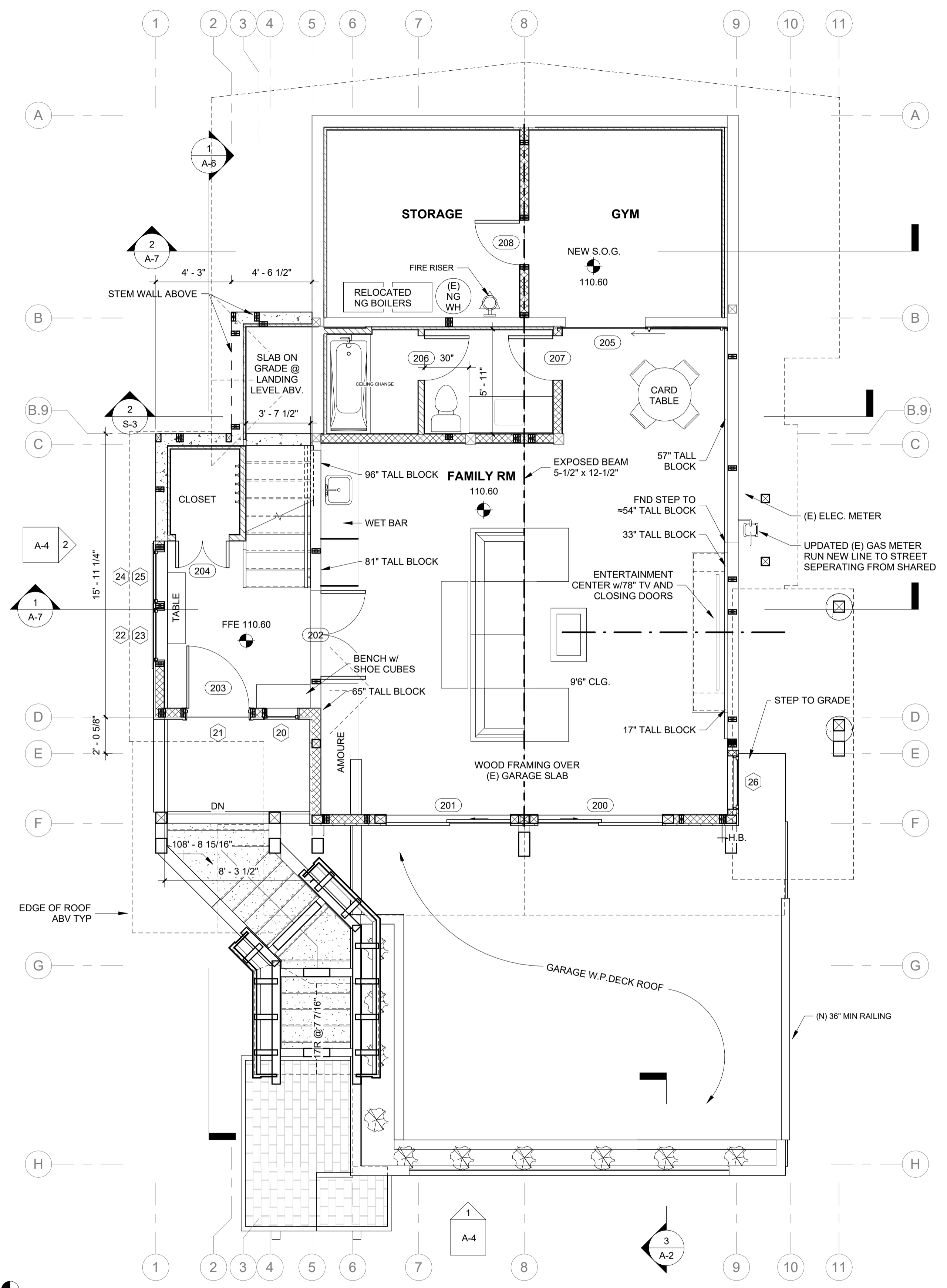
Mark	Family	Width	Height	Head HT	Comments
20	FIXED	2'-0"	5'-6"	7'-6"	SAFETY GLAZING
21	FIXED	3'-6"	3'-0"	11'-0"	
22	FIXED	3'-0"	2'-0"	10'-6"	
23	CASEMENT	3'-0"	5'-0"	8'-0"	
24	FIXED	3'-0"	2'-0"	10'-6"	
25	FIXED	3'-0"	5'-0"	8'-0"	
26	FIXED WITH UPPER AWNING	3'-0"	6'-6"	8'-0"	



2 NEW GARAGE
 1/4" = 1'-0"



3 GARAGE DECK PLANTER RAILING SECTION
 1/4" = 1'-0"



1 ENTRY LEVEL
 1/4" = 1'-0"

WALL FINISH NOTES

- (N) WALLS SEPARATING SLEEPING AREAS TO HAVE 5/8" GYP TYP.
- RE-PLACED/PATCHED DRYWALL ON (E) WALLS OR (N) PARTIAL WALLS TO MATCH EXISTING
- ALL (N) FRAME WALLS SUBJECT TO WATER SPLASH TO HAVE APPROVED MOLD BOARD. MOLD BOARD TO BE INSTALLED AT ALL TUBS, KITCHEN SPLASH, LAUNDRY SPLASH, AND BATH SPLASH.
- NEW SHOWER WALLS SHALL BE APPROVED NON-ABSORBENT WATERPROOF MATERIAL TO THE CEILING. REDGARD AND DENS-SHIELD TILE BACKER OR EQUAL. U.N.O. MEMBRANES SHALL BE BONDED TO DRAINS, NOT LOOSE LAID.

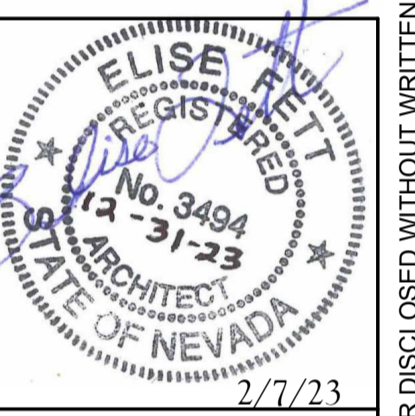
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 ENGINEERING**



HILGERS-EASTER REMODEL/ADDITION
 666 TUMBLEWEED CIRCLE
 INCLINE VILLAGE, NV 89451
 APN: 125-522-01

SCALE: 1/4" = 1'-0"
 JOB NO: NJEA
 PRINT DATE: 2/7/2023 3:03:35 PM
 SHEET

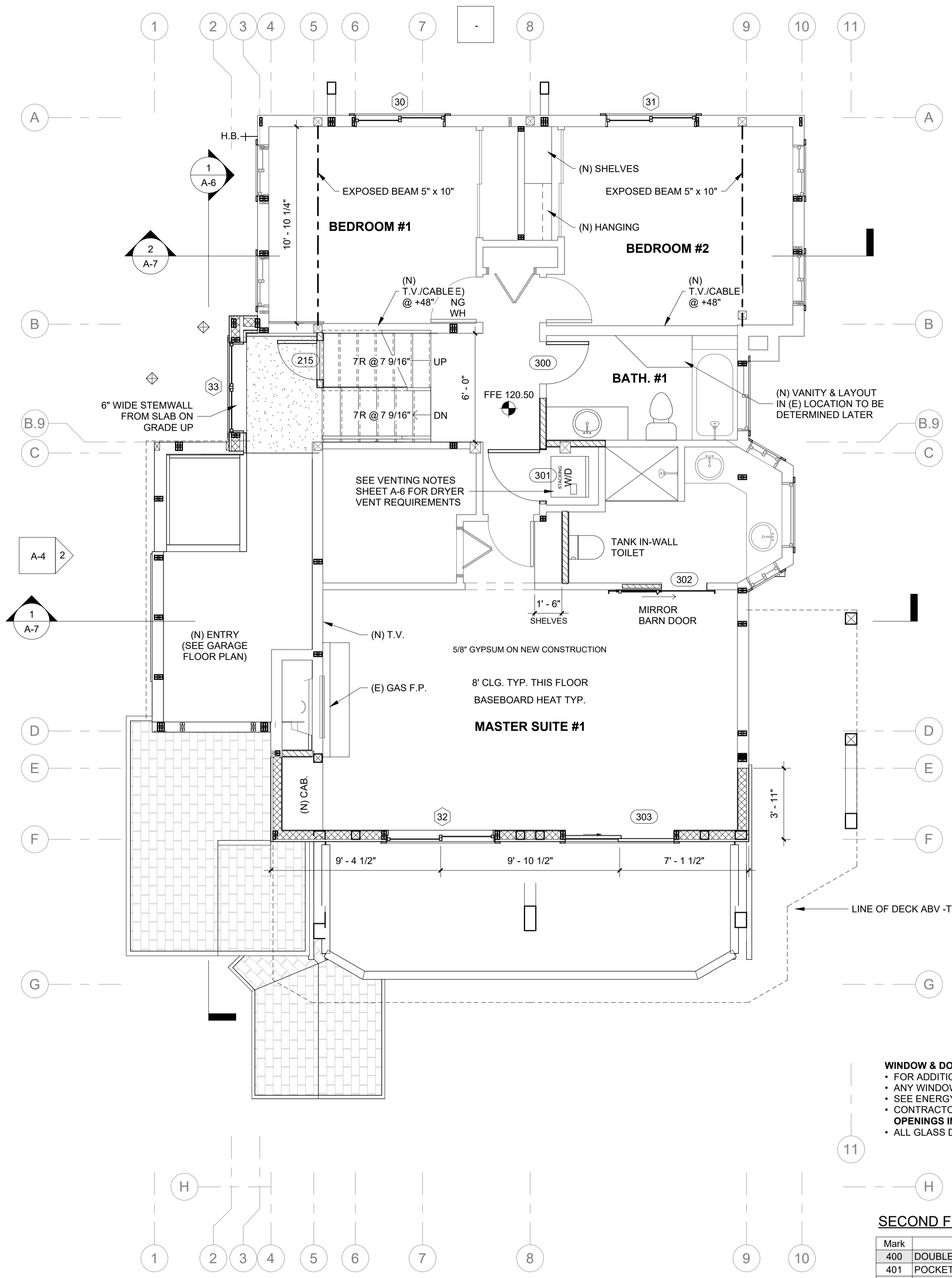
A-3
 1st & 2nd LEVEL

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WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.



2 PROPOSED FIRST FLOOR
 1/4" = 1'-0"

FIRST FLOOR DOOR SCHEDULE

Mark	Family	Width	Height	Comments
215	SINGLE FLUSH	2'-2"	3'-0"	
300	SINGLE FLUSH	2'-4"	6'-8"	
301	SINGLE FLUSH	2'-10"	6'-8"	
302	BARN DOOR	2'-6"		
303	DOUBLE SLIDING	6'-0"	6'-8"	

FIRST FLOOR WINDOW SCHEDULE

Mark	Family	Width	Height	Head HT	Comments
30	SLIDER	5'-0"	3'-10 1/2"	6'-11"	
31	SLIDER	5'-0"	3'-10 1/2"	6'-11"	
32	SLIDER	6'-0"	5'-0"	6'-8"	
33	CASEMENT DOUBLE	5'-0"	4'-0"	7'-1 1/2"	

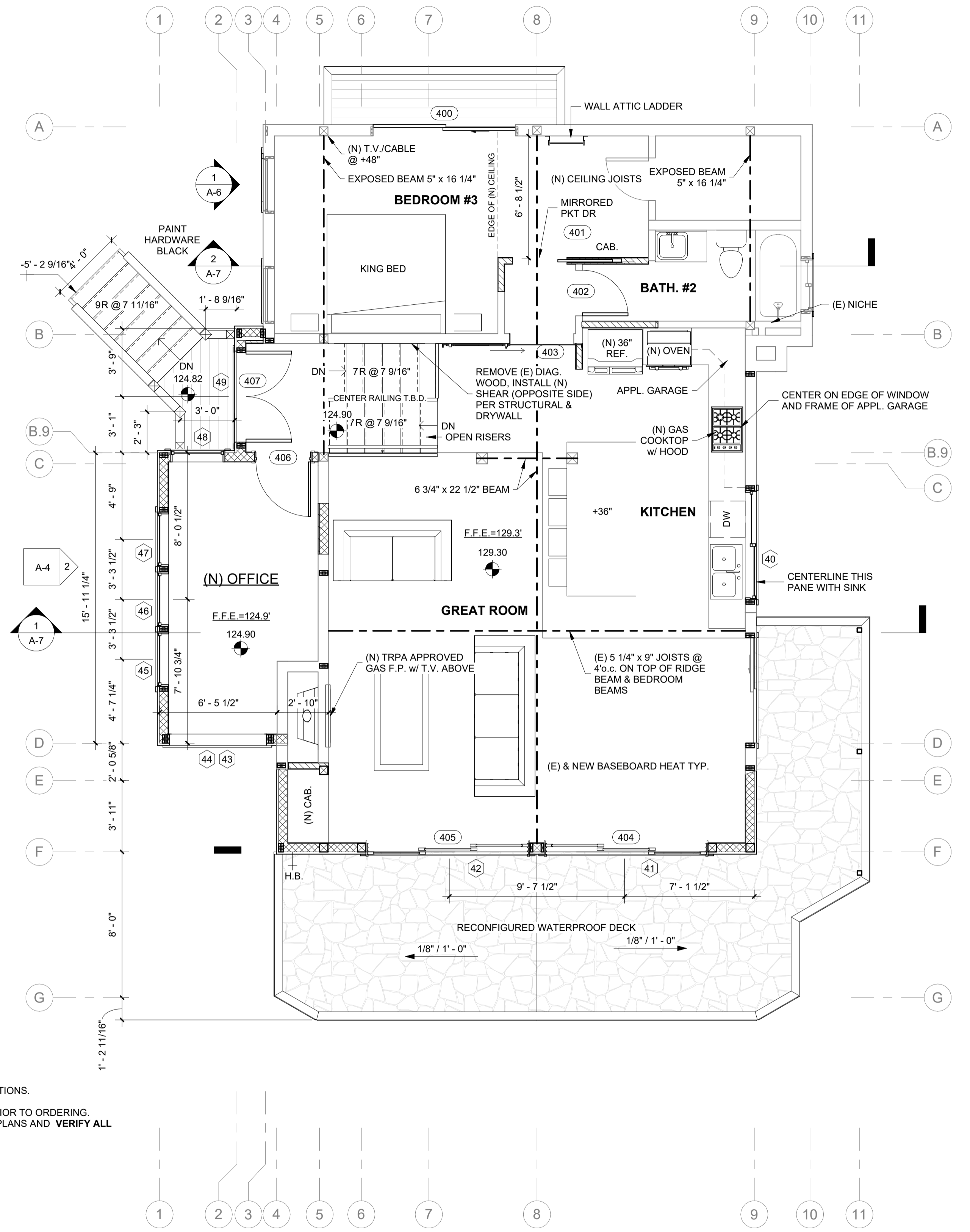
SECOND FLOOR DOOR SCHEDULE

Mark	Family	Width	Height	Comments
400	DOUBLE SLIDING	7'-10"	6'-8"	
401	POCKET	3'-0"	6'-8"	
402	SINGLE FLUSH	2'-6"	6'-8"	
403	BARN DOOR	3'-6"	6'-8"	VERIFY WIDTH IN FIELD
404	STACKING 3-PANEL	9'-0"	6'-8"	
405	STACKING 3-PANEL	9'-0"	6'-8"	
406	SINGLE - FULL HEIGHT GLASS	3'-0"	6'-8"	
407	DOUBLE FLUSH GLASS	5'-0"	6'-8"	

SECOND FLOOR WINDOW SCHEDULE

Mark	Family	Width	Height	Head HT	Comments
40	SLIDER	6'-0"	3'-4"	6'-8"	
41	TRAPEZOID	9'-0"	5'-7"	13'-1"	
42	TRAPEZOID	9'-0"	5'-7"	13'-1"	
43	FIXED	5'-4"	5'-0"	6'-8"	
44	FIXED RAKED	5'-4"	2'-8"	10'-2"	
45	CASEMENT	3'-0"	5'-0"	6'-8"	
46	FIXED	3'-0"	5'-0"	6'-8"	
47	CASEMENT	3'-0"	5'-0"	6'-8"	
48	FIXED	3'-0"	3'-0"	6'-8"	
49	FIXED	5'-0"	4'-0"	6'-8"	

1 PROPOSED SECOND FLOOR
 1/4" = 1'-0"



WALL FINISH NOTES

- (N) WALLS SEPARATING SLEEPING AREAS TO HAVE 5/8" GYP TYP.
- REPLACED/PATCHED DRYWALL ON (E) WALLS OR (N) PARTIAL WALLS TO MATCH EXISTING
- ALL (N) FRAME WALLS SUBJECT TO WATER SPLASH TO HAVE APPROVED MOLD BOARD. MOLD BOARD TO BE INSTALLED AT ALL TUBS, KITCHEN SPLASH, LAUNDRY SPLASH, AND BATH SPLASH.
- NEW SHOWER WALLS SHALL BE APPROVED NON-ABSORBENT WATERPROOF MATERIAL TO THE CEILING, REDGARD AND DENSHIELD TILE BACKER OR EQUAL. U.N.O. MEMBRANES SHALL BE BONDED TO DRAINS, NOT LOOSE LAID.

REMODEL NOTE:

THIS PROJECT IS AN ADDITION/REMODEL OF AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED UPON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT LAYOUT, EXISTING FIELD CONDITIONS, AND PROVIDED (E) PLANS AND INFORMATION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE CONTRACTORS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.

NJEA – Hilgers-Easter Remodel and Addition

666 Tumbleweed Circle
Incline Village, NV 89451

APN: 125-522-01

Project Description

This project proposes a remodel and addition to an existing single-family residence. The existing home is 3-stories with a built-in garage that is nearly inaccessible with the existing 23% driveway slope. The proposed plan includes a dug-out garage at the front of the home in order to achieve a useable driveway and garage for the owners. The existing garage will be converted to living space and there will be a partial pop-out/expansion of all three existing levels over the new garage. However, the bulk of the new garage will feature a roof deck to minimize the mass at the street level.

WCC 110.220.60(a) Discussion and Applicability

Section 110.220.60(a) states that the front yard setback for accessory structures may be extended to the front property line on a lot where the slope of the front half of the lot is greater than two (2) foot rise (or fall) for every ten (10) feet above (or below) the established street grade. The front half of the lot has a slope greater than 20%, the established street grade per the survey is 99.4' at the center, with the corresponding grade halfway through the lot of 114.5', this equates to a 15.1' rise above over a run of approximately 63'. This equates to a 24% slope of the front half of the lot or two point four (2.4) feet for every ten (10) feet above the established street grade.

The engineering department reviewed the proposed project under withdrawn WPVAR22-0002 and did not have any objections to the variance. They have subsequently reviewed the project as part of building permit application WBLD22-105581. They have requested a revocable occupancy permit which is being processed. Otherwise, it is prudent to say that the conditions of 110.220.60(a)(1-3) have been made.

Per 110.220.60(a)(4) the placement of the structure may not be sited closer than fifteen (15) feet from the edge of pavement of the abutting street. The proposed structure is sited 18' 3 7/8" from the edge of pavement at its closest point, which satisfies this requirement.

LOT 9

I.V.G.I.D. FIXTURE COUNT

Table with 5 columns: Fixture, Count, Water Value, Sewer Value, Water Count, Sewer Count. Includes items like Water Sink, Bar Sink, Dishwasher, etc.

IVGID NOTES

- (E) HYDRONIC HEATING SYSTEM TO REMAIN
IF NOT A CLOSED LOOP SYSTEM, ANNUAL BACKFLOW TESTING WILL BE REQUIRED
FIRE SPRINKLERS w/4-HEAD FLOW CALCULATION REQUIRED
SEWER LINE MUST BE AIR TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS
METER TO BE UPGRADED

NLTFFPD

- ADDRESS IDENTIFICATION NUMBERS MUST BE 6" IN HEIGHT MIN.
RESIDENTIAL FIRE SPRINKLERS SYSTEM REQUIRED
NFPA 72 FIRE ALARM SYSTEM MAY BE PROVIDED IN LIEU OF 110V INTERCONNECTED DETECTORS. THESE SYSTEMS REQUIRE A SEPARATE PERMIT (SEE DEFERRED SUBMITTALS FOR DETAILS)
A KNOX BOX SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IFC CHAPTER 5
WHEN HOT WORK IS CONDUCTED WITHIN A WILDFIRE RISK AREA IN ACCORDANCE WITH 2018 IFC SECTION 105.6.23: HOT WORK OPERATIONS INCLUDING CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPE, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITIES REQUIRE A PERMIT FROM THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT 775-831-0351.

DEFERRED SUBMITTALS

- A SEPARATE PLAN/PERMIT FOR REQUIRED FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED TO NLTFFPD FOR PERMIT PER RESOLUTION 16-1
A SEPARATE PLAN WILL BE REQUIRED IF OWNER ELECTS TO GO WITH A NFPA 72 FIRE MONITORED ALARM SYSTEM IN LIEU OF 110V INTERCONNECTED DETECTORS AND THE PLAN SHALL BE SUBMITTED TO NLTFFPD FOR PERMIT PER RESOLUTION 16-1.

WASHOE ENGINEERING NOTES

- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
AN ENCROACHMENT/EXCAVATION AND/OR REVOCABLE OCCUPANCY PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS IN THE COUNTY RIGHT-OF-WAY
A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH LOCATION PRIOR TO INSTALLATION.
THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL/CERTIFICATE OF OCCUPANCY.
DRIVEWAY AND PEDESTRIAN ACCESS PAVING SHALL SLOPE DOWN FROM EXISTING EDGE OF PAVING A MINIMUM 4% GRADE FOR 4 FEET, THEN 1% MINIMUM THEREAFTER.
ALL PAVING WITHIN COUNTY RIGHT-OF-WAY SHALL BE A MINIMUM 4" OF TYPE 3 ASPHALT PAVING FOR THE FIRST 4' AND MINIMUM 3" OF TYPE 3 ASPHALT PAVING FOR THE REMAINING DISTANCE. TYPE 3 ASPHALT WITHIN THE RIGHT OF WAY SHALL BE OVER A MINIMUM OF 6" OF COMPACTED TYPE 2 CLASS B AGGREGATE BASE MEETING THE REQUIREMENTS OF THE LATEST EDITION OF ORANGE BOOK SPECIFICATIONS. HOT MIX ASPHALT SHALL BE TYPE 3, PG-28 (OR COUNTY APPROVED EQUIVALENT), 3% AIR VOIDS, 50 BLOWS PER SIDE MIX WITH LIME AND NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT, COMPACTED TO A MINIMUM OF 93% RICE RELATIVE COMPACTION.
SLOTTED DRAINS WITHIN DRIVEWAYS SHALL BE LOCATED OUTSIDE OF WASHOE COUNTY RIGHT-OF-WAY AND MAINTAINED BY PROPERTY OWNER.

NOTE:

- EXISTING SURVEY & SITE PLAN PROVIDED BY TURNER & ASSOCIATES, INC. LAND SURVEYING.
ALL PERFORATED DRAINAGE PIPE OUTLETS TO BE KEPT CLEAR AND MARKED, ESPECIALLY FROM BEHIND RETAINING WALLS. WITH A MINIMUM 3' LONG METAL STAKE, PLACED A MINIMUM 1" INTO THE GROUND AND PAINTED RED ON TOP.

CODE ANALYSIS

CODE EDITION - I.R.C. 2018
OCCUPANCY GROUP - R-3
TYPE OF CONSTRUCTION - V-B
2018 IFC & IBC
2018 FIRE AMENDMENTS INCLUDING RESOLUTIONS 18-1 & 18-2
IR1 CONSTRUCTION REQUIRED

LAND AREA

7,160 SQ. FT.
0.1644 acres
(PER SURVEY)

SQUARE FOOTAGE

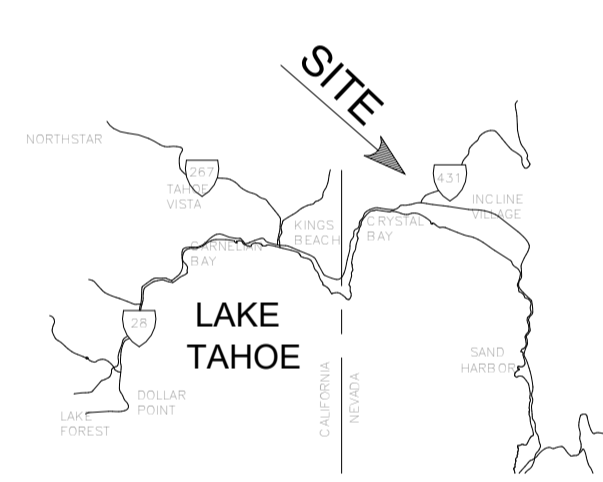
Table with 2 columns: Description, Square Footage. Includes Residence to Remain, Garage to Remain, Deck Rebuilt, etc.

EARTHWORK

CUT = 190 CU.YDS.
FILL = LESS THAN 5 CU.YDS.
EXPORT = 185 CU.YDS.

TO BE EXPORTED OUT OF THE BASIN OR TO A TRPA APPROVED SITE.

VICINITY MAP:



SCOPE OF WORK

THIS PROJECT IS PRIMARILY A GARAGE AND ENTRY ADDITION TO AN EXISTING SINGLE-FAMILY HOME. THE EXISTING GARAGE AND HOME ARE NEARLY INACCESSIBLE IN THE WINTER DUE TO THE EXCESSIVELY STEEP DRIVEWAY. THE NEW GARAGE WILL BE DUG IN SUCH THAT THE NEW DRIVEWAY SLOPE WILL BE A SAFE 2%. THE EXTERIOR STAIRS TO THE ENTRY WILL BE COVERED TO PROTECT FROM SNOW AND ICE IN THE WINTER. THE EXISTING GARAGE WILL BE CONVERTED TO A FAMILY ROOM AND THE MECHANICAL WILL BE RELOCATED TO THE EXISTING CRAWLSPACE BEHIND THE REAR GARAGE WALL. THE CRAWLSPACE WILL BE REINFORCED AND RECEIVE A NEW SLAB. ON THE MIDDLE LEVEL BATH 1 WILL BE ENLARGED BY CREATING A SMALLER LAUNDRY AREA AND THERE WILL BE MINOR REMODELING/RECONFIGURING OF THE MASTER SUITE. ON THE UPPER LEVEL, THERE WILL BE A NEW OFFICE OVER THE NEW ENTRY, BATH 2 WILL BE RECONFIGURED SO THAT BEDROOM 3 CAN BE USED AS AN EN SUITE BEDROOM. A NEW GAS FIREPLACE WILL BE INSTALLED IN THE LIVING ROOM AND THE KITCHEN WILL BE REFINISHED. ALL EXISTING DECKS WILL BE REBUILT AND THE ROOF OF THE NEW GARAGE WILL BE A ROOF DECK. EXISTING HYDRONIC HEAT SYSTEM TO REMAIN AND BE EXPANDED TO SERVICE THE ADDITIONAL LIVING SPACES.

TOTALS: 4 BEDROOMS, 3 BATHS, 2 GAS FIREPLACES

TRPA NOTES

- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
EXCAVATION EQUIPMENT SHALL BE LIMITED TO APPROVED CONSTRUCTION AREAS TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE APPROVED AREAS OF DISTURBANCE.
ALL WASTE RESULTING FROM THE SAW-CUTTING OF PAVEMENT SHALL BE REMOVED USING A VACUUM (OR OTHER TRPA APPROVED METHOD) DURING THE CUTTING PROCESS OR IMMEDIATELY THEREAFTER. DISCHARGE OF WASTE MATERIAL TO SURFACE DRAINAGE FEATURES IS PROHIBITED AND CONSTITUTES A VIOLATION OF THIS PERMIT.

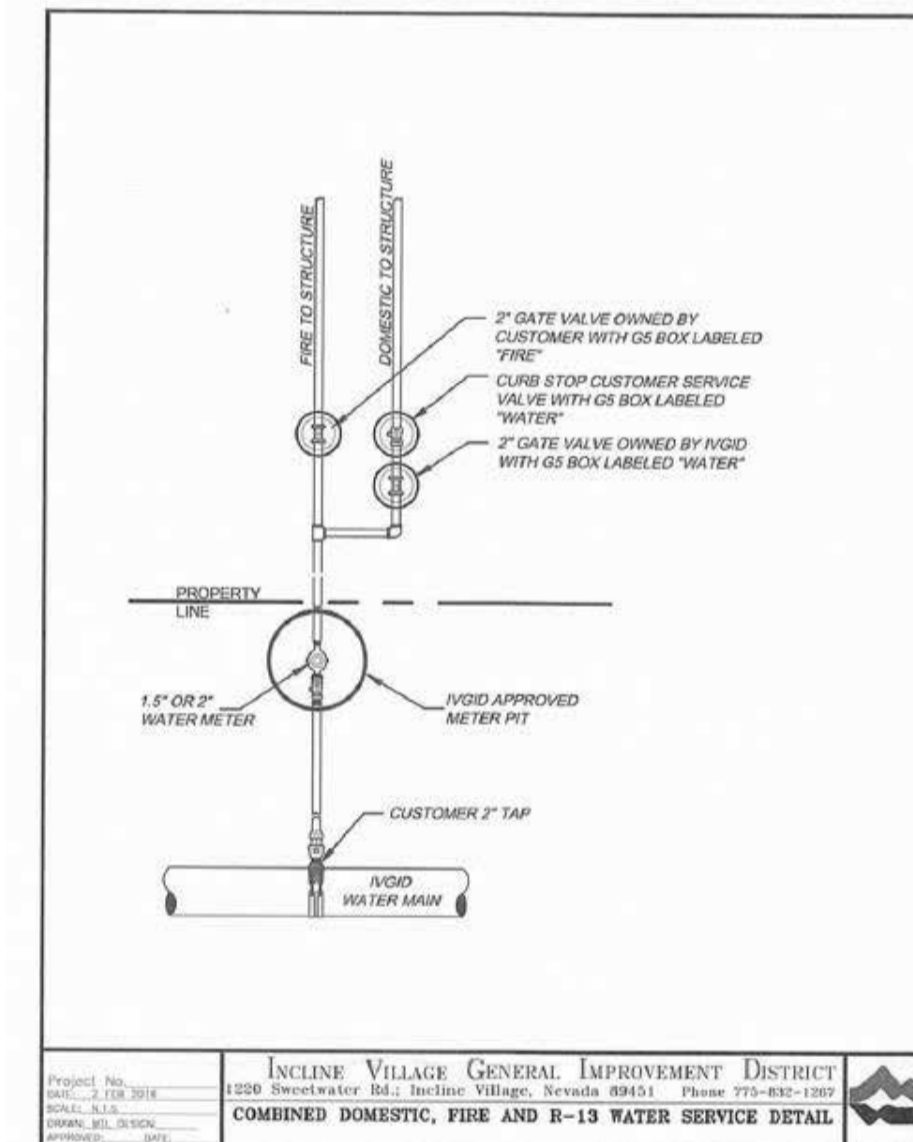
LOT 1

LOT 3

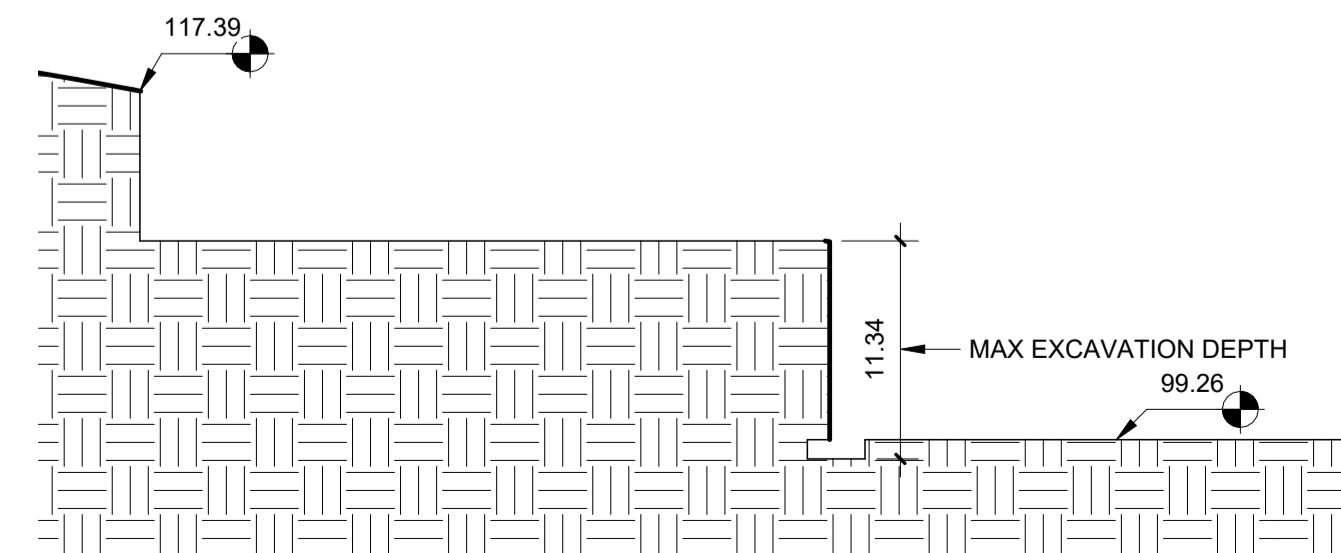
SITE PLAN
1/8" = 1'-0"

LEGEND:

- EXISTING CONTOURS
CONTOUR TO BE REMOVED
TREE, SIZE, TYPE
TREES TO BE REMOVED
LIMIT OF DISTURBED AREA (3449 SF)



101.3 IVGID Connection - meter/tap upgrade w/fire sprinklers no irrigation NTS



MAX EXCAVATION SECTION 1" = 10'-0"

REVISIONS table with columns: #, DATE, BY. Shows revision 1 on 2-6-2023 by EFA.

OWNER

KENNETH EASTER
JNEE HILGERS-EASTER
ASSOCIATES, INC. LAND SURVEYING.
86 CEDAR DR
REDHILL PENINSULA
18 PAK PAT SHAN RD
TAI TAM HONG KONG

PROPERTY

666 TUMBLEWEED CIR
INCLINE VILLAGE NV 89451
WASHOE COUNTY, NEVADA
INCLINE VILLAGE 4 LOT 2 BLK J
APN: 125-522-01

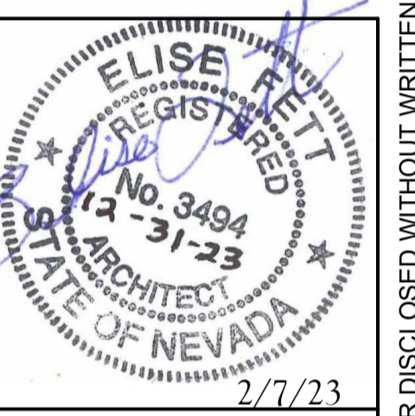
CONTACT PERSON

ELISE FETT & ASSOCIATES, LTD.
P.O. BOX 5989
INCLINE VILLAGE, NV 89450
(775) 833-3388

SHEET INDEX:

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SP-3 TRPA BMP PLAN
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SP-3b TRPA BMP DETAILS
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A-5 NORTH & EAST ELEVATIONS
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SD2 STRUCTURAL DETAILS
SD3 STRUCTURAL DETAILS
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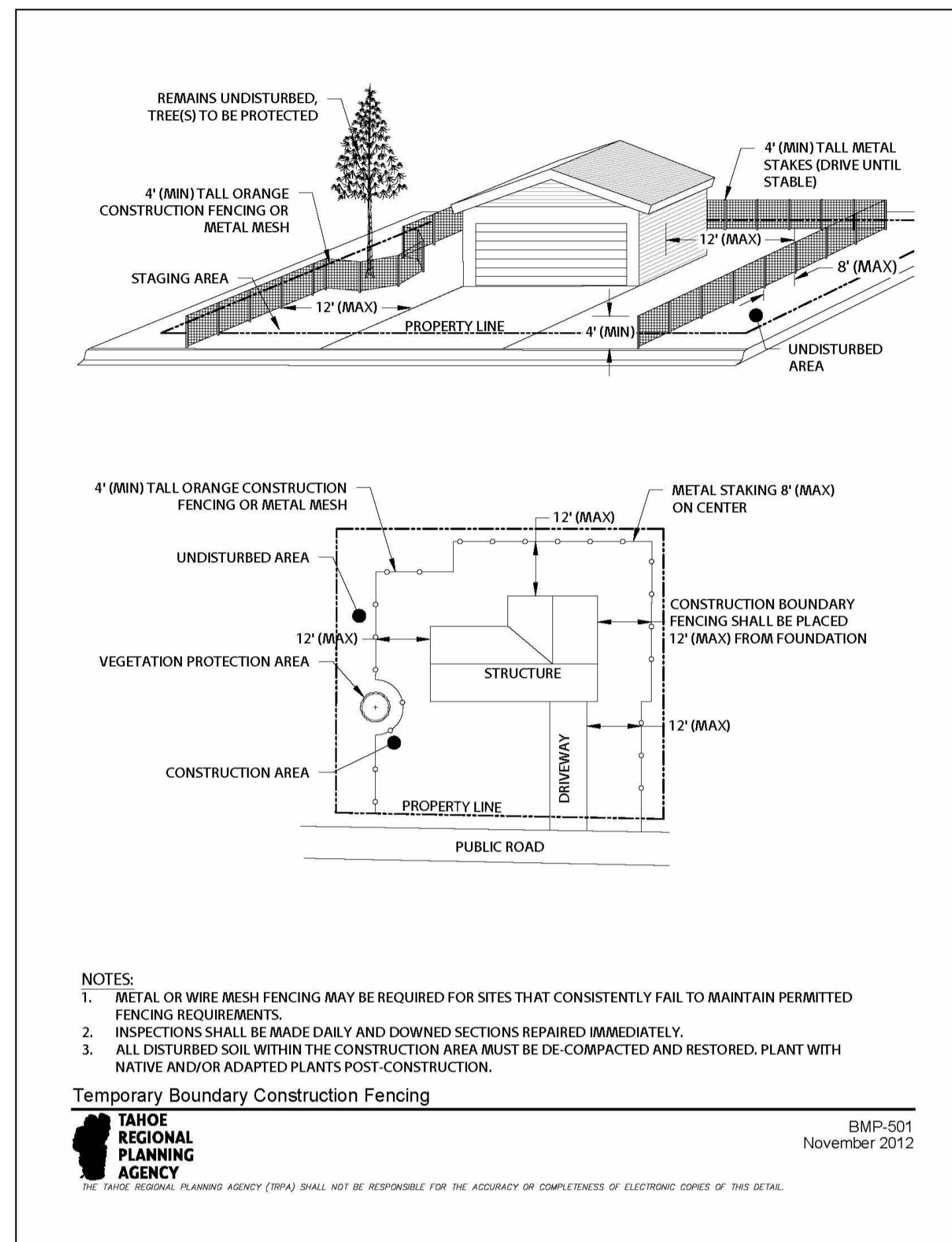
ELISE FETT & ASSOCIATES, LTD.
AIA • RCE
ARCHITECTURE
ENGINEERING
P.O. BOX 5989
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NEVADA 89450
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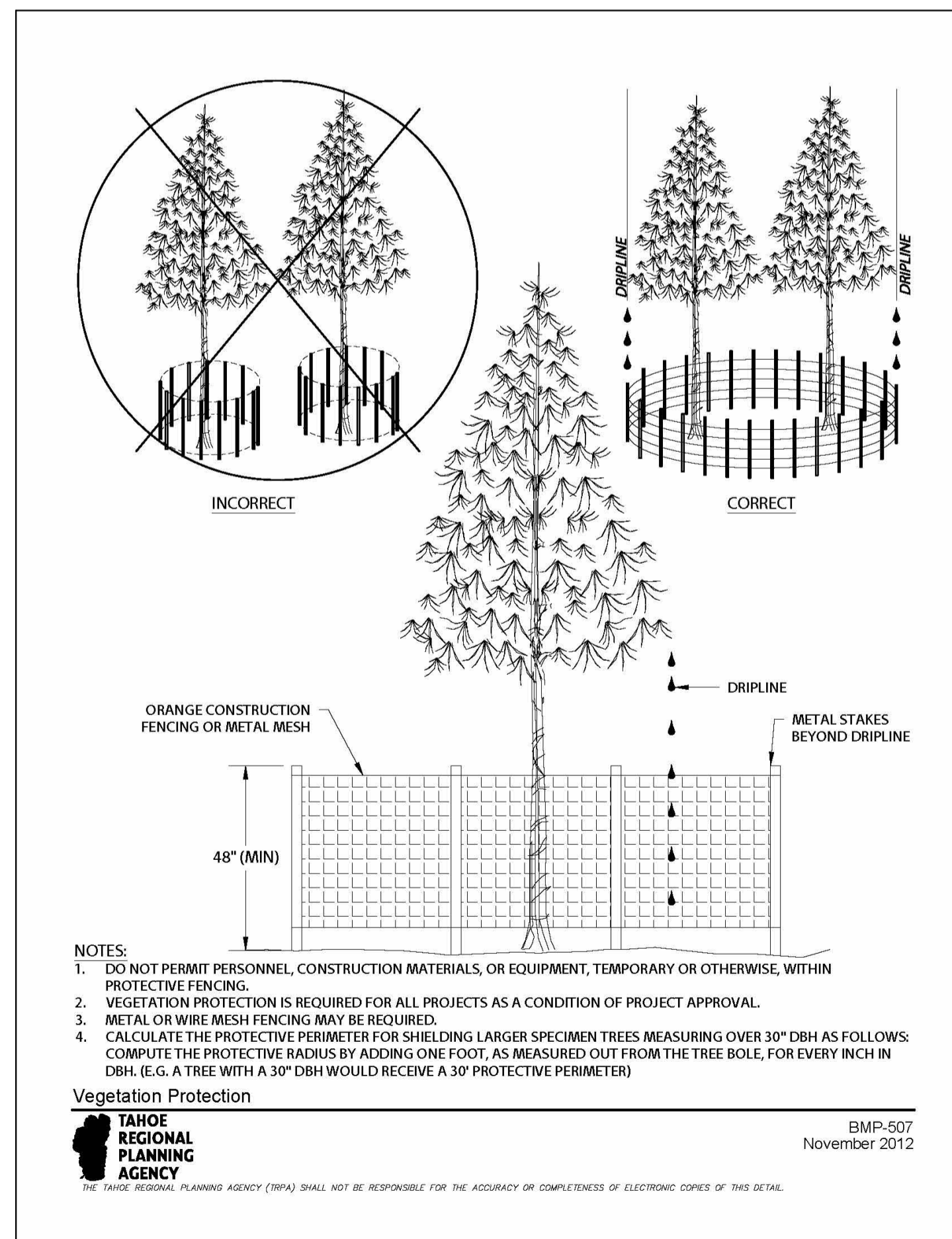
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SITE / GRADING PLAN

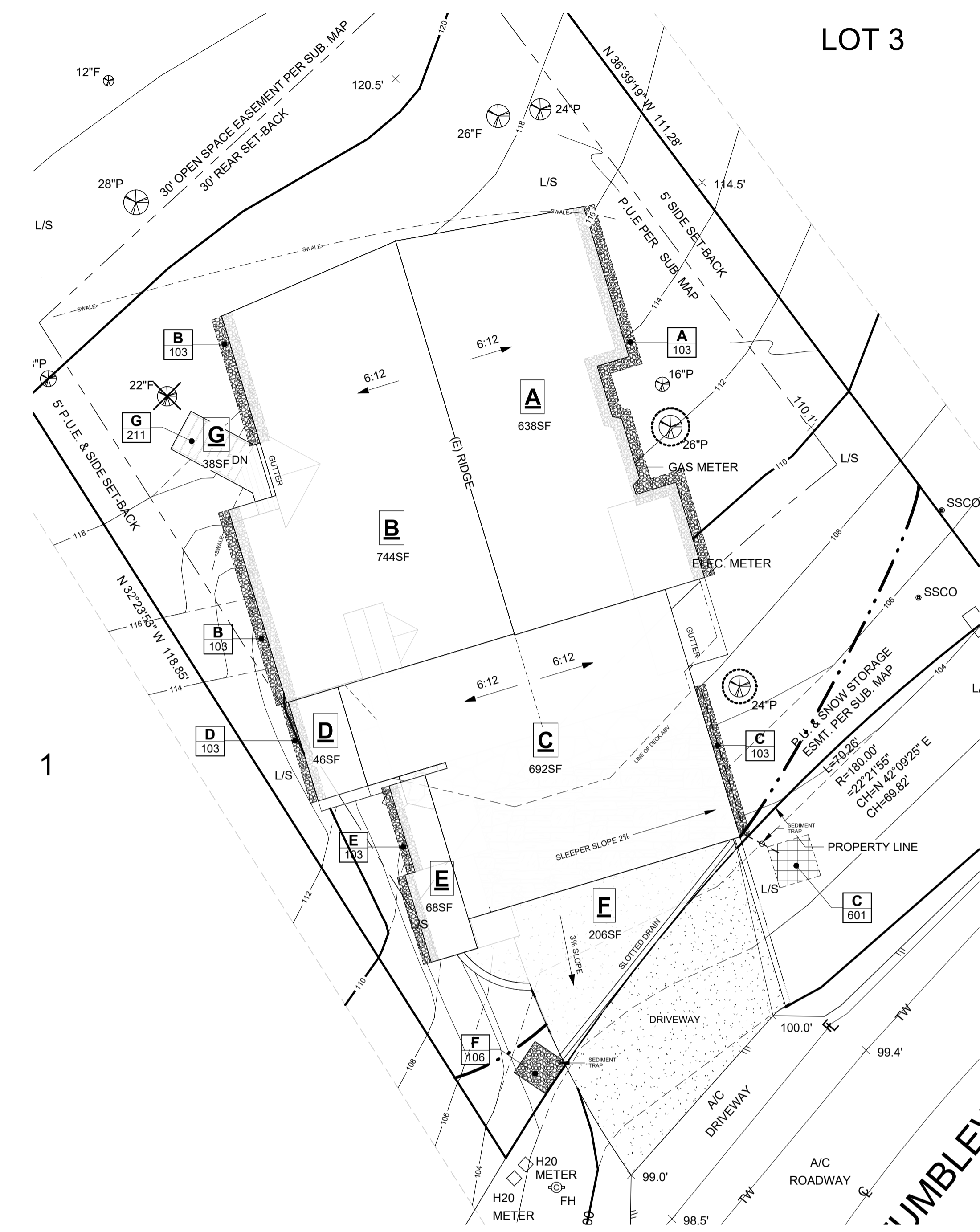
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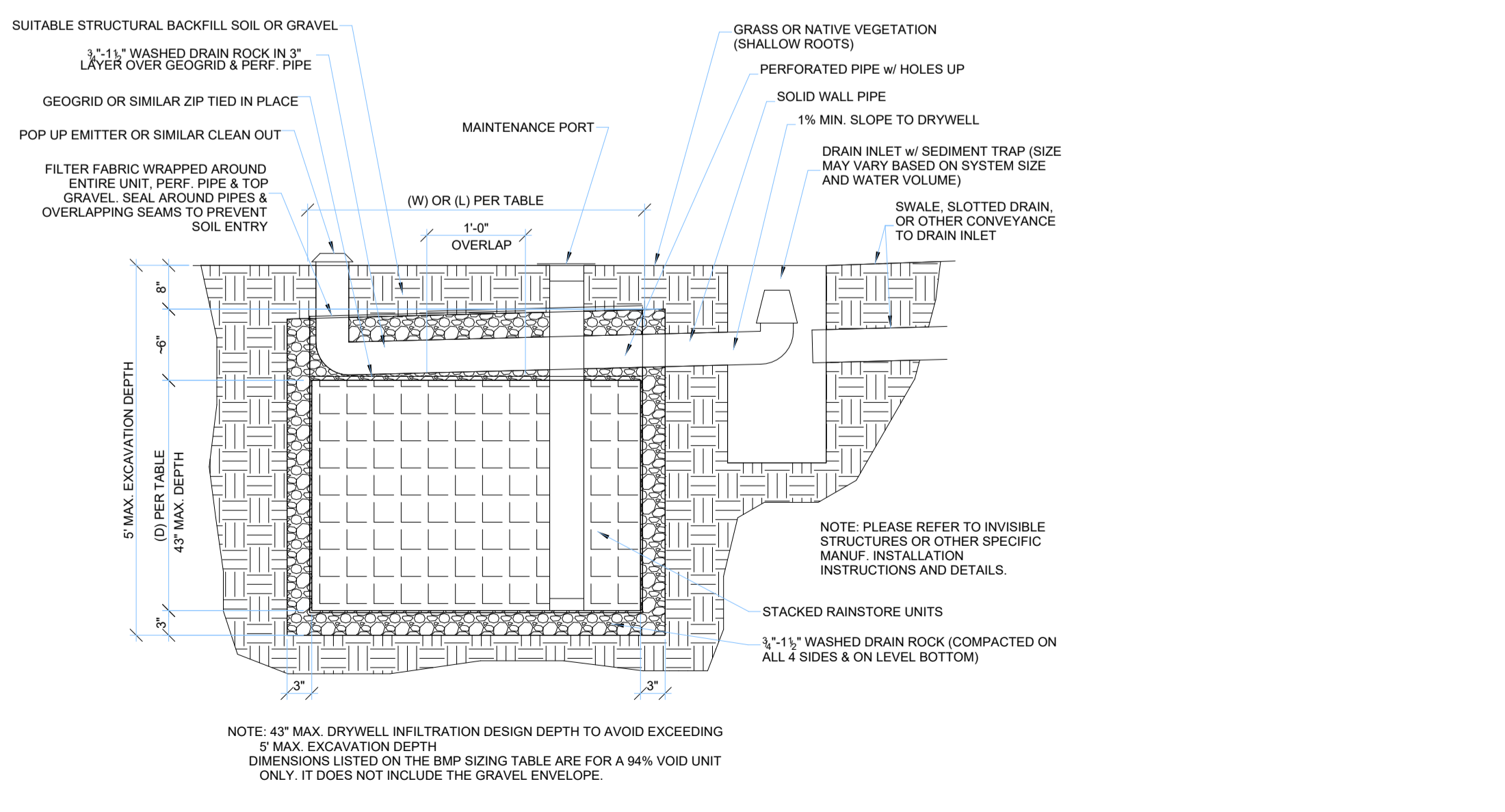
1 501 - TEMP BOUNDARY FENCING
 12" = 1'-0"



2 507 - VEGETATION PROTECTION
 12" = 1'-0"



5 TRPA BMP PLAN
 1/8" = 1'-0"



4 601 - RAINSTORE DRYWELL
 3/4" = 1'-0"

BMP NOTES:

ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND THE HOME LANDSCAPING GUIDE FOR LAKE TAHOE & VICINITY. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT.

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF PINE NEEDLES OR WOOD CHIPS AS A DUST CONTROL MEASURE. THIS MULCH SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.

INSTALL PARKING BARRIERS TO RESTRICT PARKING TO PAVED SURFACES ONLY.

ALL PROJECT RELATED VEHICLES SHALL PARK ON EXISTING PAVED SURFACES OR EXISTING COMPACTED ROAD SHOULDERS.

PROVIDE VEGETATION PROTECTIVE FENCING AROUND CONSTRUCTION AREA AS SHOWN ON PLAN. NO MORE THAN 12' FROM CONSTRUCTION AREA.

PHOTOGRAPHS SHALL BE TAKEN TO SHOW DEPTH AND INSTALLED DEVICE FOR ANY EXCAVATED THEN BACKFILLED BMP SYSTEM.

ADDITIONAL CLEANOUTS ARE RECOMMENDED AT TURNS FOR ANY PIPED BMP SYSTEM.

SEE THE FOLLOWING BMP SHEETS FOR ADDITIONAL SPECIFIC BMP DETAILS

SEE THE DEFENSIBLE SPACE/FIRE ACCESS PLAN & REFER TO LIVING WITH FIRE, SECOND EDITION, LAKE TAHOE BASIN.

BMP CALLOUTS:

* IF TREE ROOTS 3" OR LARGER ARE ENCOUNTERED, CONTACT ELISE FETT AND ASSOCIATES FOR BMP DESIGN ADJUSTMENTS.

ROOF A to TREATMENT A - INFILTRATION TRENCH. PROVIDE TRENCH - 44'L X 24"W X 7"D OF DRAIN ROCK AT THE DRIPLINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.

ROOF B to TREATMENT B - INFILTRATION TRENCH. PROVIDE TRENCH - 32'L X 32"W X 10"D OF DRAIN ROCK AT THE DRIPLINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.

ROOF DECK PATIO C to TREATMENT C - INFILTRATION TRENCH AND FACILITY. PROVIDE A 14.5'L X 20"W X 10"D INFILTRATION TRENCH AT THE PATIO WITH CONVEYANCE PIPE TO MANUFACTURED INFILTRATION FACILITY WITH SEDIMENT TRAP AS SHOWN ON PLANS AND PER DETAILS.

ROOF D to TREATMENT D - INFILTRATION TRENCH. PROVIDE A 10'L X 24"W X 4"D INFILTRATION TRENCH AT THE DRIPLINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.

ROOF E to TREATMENT E - INFILTRATION TRENCH. PROVIDE A 17'L X 18"W X 4"D INFILTRATION TRENCH AT THE DRIPLINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.

ROOF DRIVEWAY F to TREATMENT F - INFILTRATION FACILITY. PROVIDE GRAVEL INFILTRATION FACILITY 4'L X 48"W X 28"D OF DRAIN ROCK AT END OF SLOTTED DRAIN AS SHOWN ON PLANS AND PER DETAILS.

DECK STAIR G to TREATMENT G - ROCK ARMORED ELEVATED STRUCTURE. PROVIDE .5 CUBIC YARDS OF ARMORED DRAIN ROCK UNDER NEW DECK AND STAIRS AS SHOWN ON PLANS AND PER DETAILS.

VERIFY ALL (E) BMP INSTALLATIONS ARE CLEAN AND OPERATIONAL.

CURRENT BMP CERTIFICATE STATUS

CERT# 863
 CERTIFICATE DATE - 11/12/2001

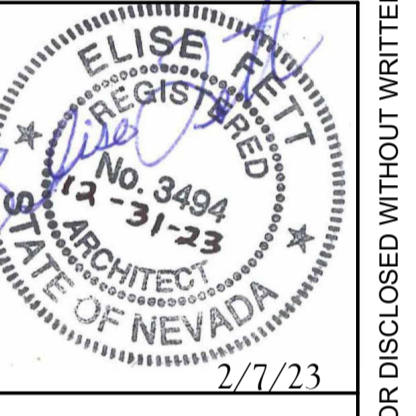
LEGEND

- EXISTING CONTOURS
- CONTOUR TO BE REMOVED
- TREE, SIZE, TYPE
- TREES TO BE REMOVED
- TRPA APPROVED EROSION CONTROL FENCING - NO MORE THAN 12' FROM THE BUILDING FOOT PRINT PER DETAIL
- INFILTRATION TRENCH PER BMP CALLOUTS & DETAIL
- VEGETATION PROTECTIVE FENCING PER DETAIL & NOTE
- GRAVEL DRYWELL PER BMP CALLOUTS & DETAIL
- PREFABRICATED DRYWELL PER BMP CALLOUTS & DETAIL

REVISIONS		
#	DATE	BY

P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775)833-3388
 FAX: (775)833-2388
 elise@elisefett.com

ELISE FETT & ASSOCIATES, LTD.
 AIA • RCE
**ARCHITECTURE
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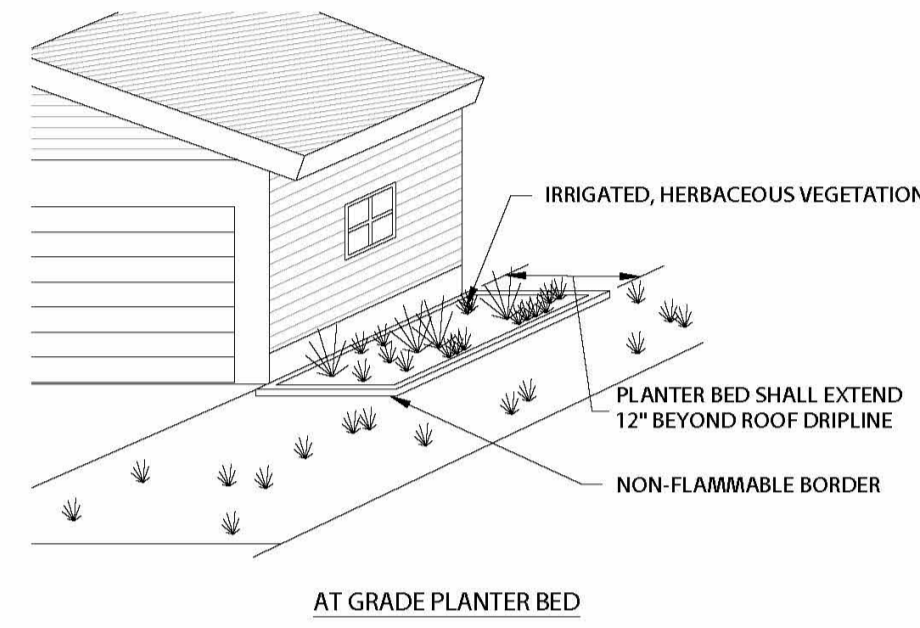
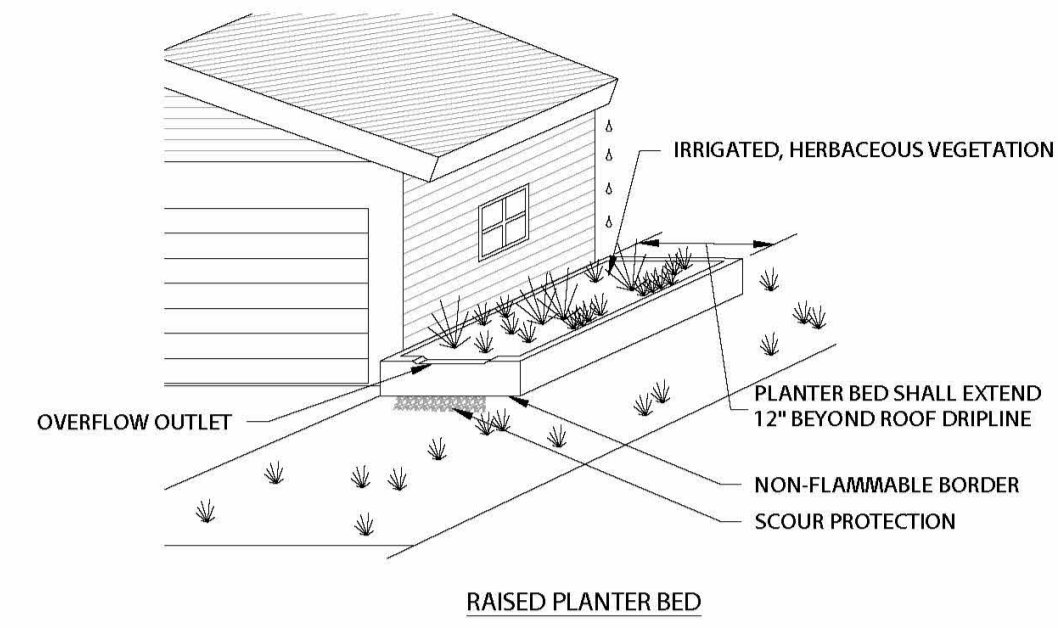


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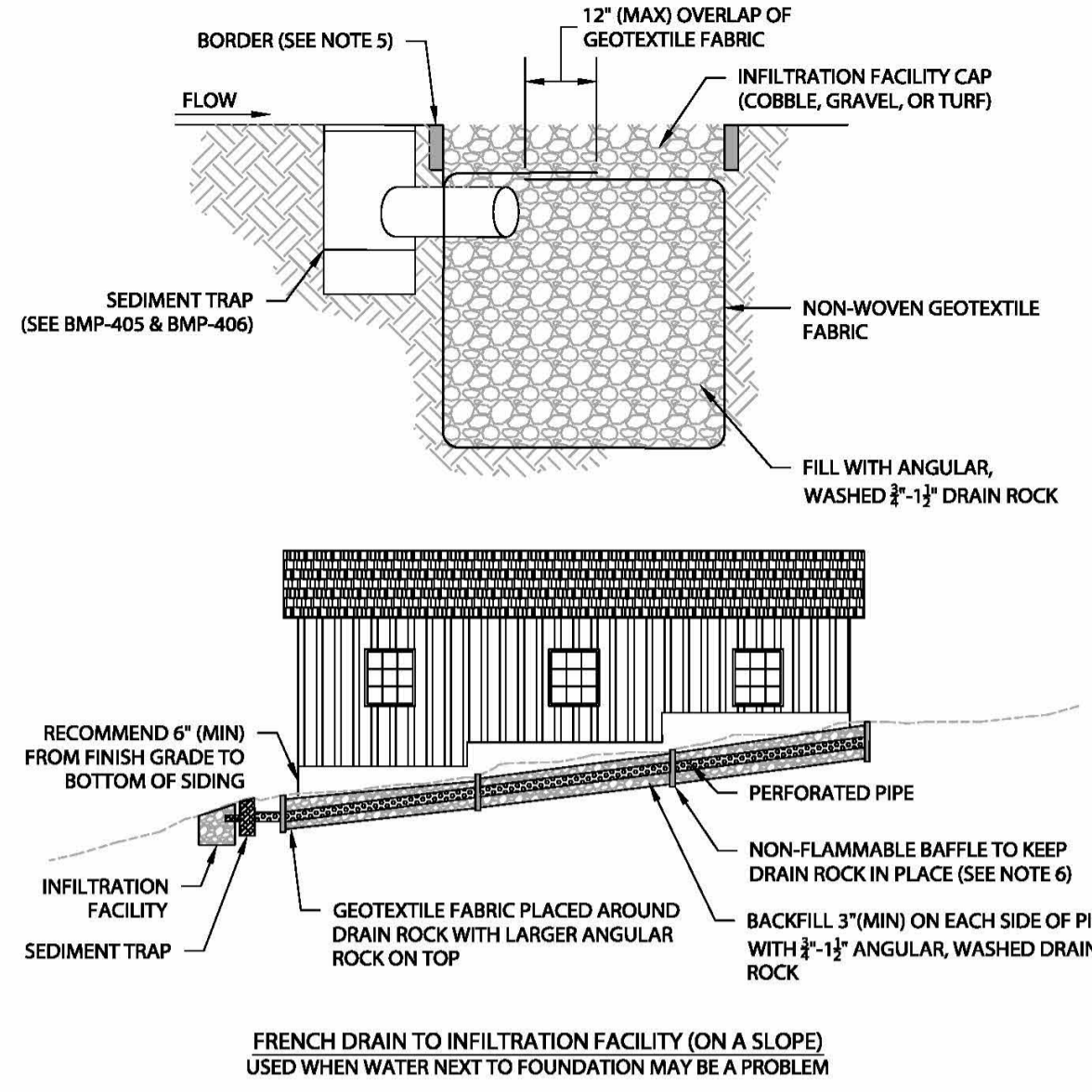
SP-3

TRPA BMP PLAN



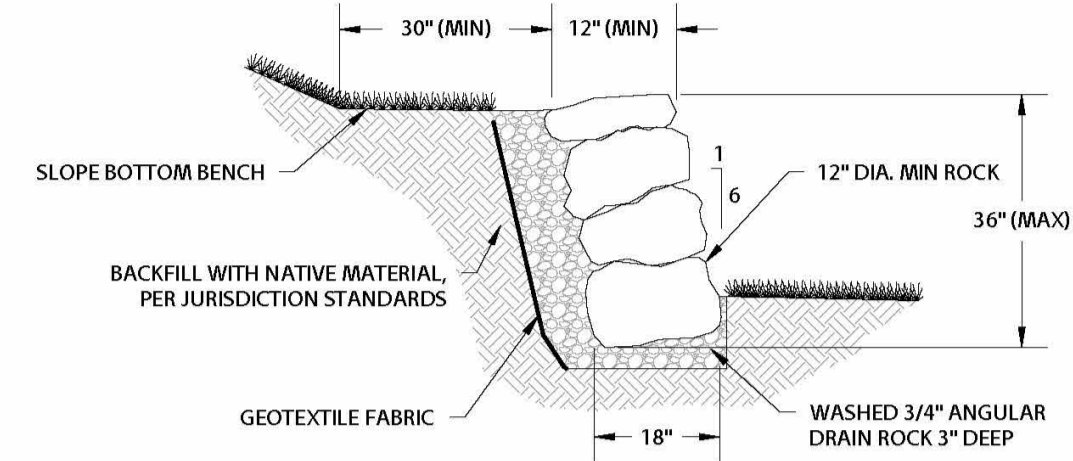
Raised Planter Beds
 TAHOE REGIONAL PLANNING AGENCY
 BMP-105
 November 2012

1 105 - RAISED PLANTER BEDS
 12" = 1'-0"



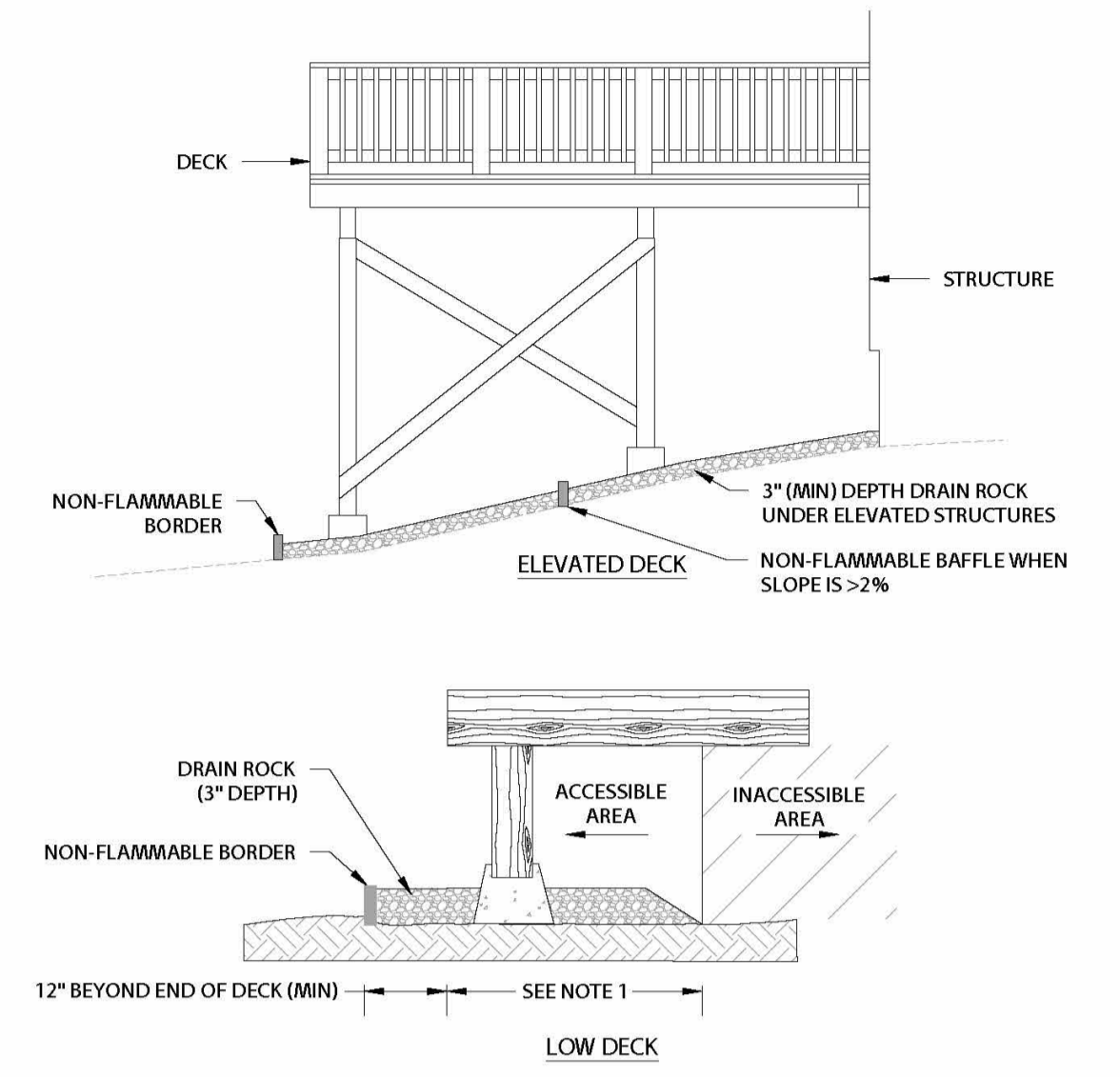
Infiltration Facility
 TAHOE REGIONAL PLANNING AGENCY
 BMP-106
 December 2012

2 106 - INFILTRATION FACILITY
 12" = 1'-0"



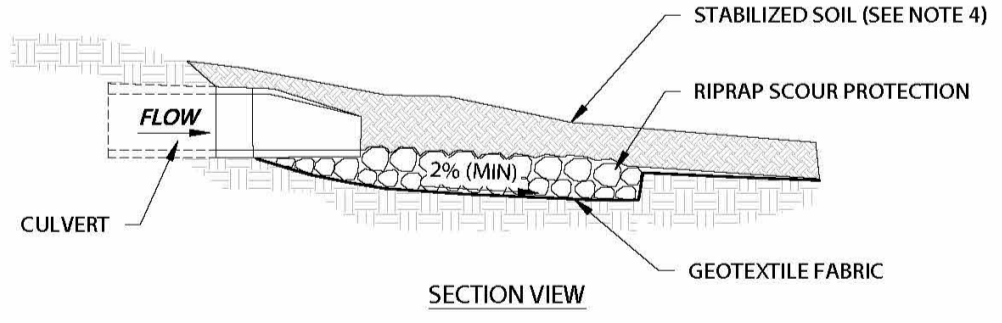
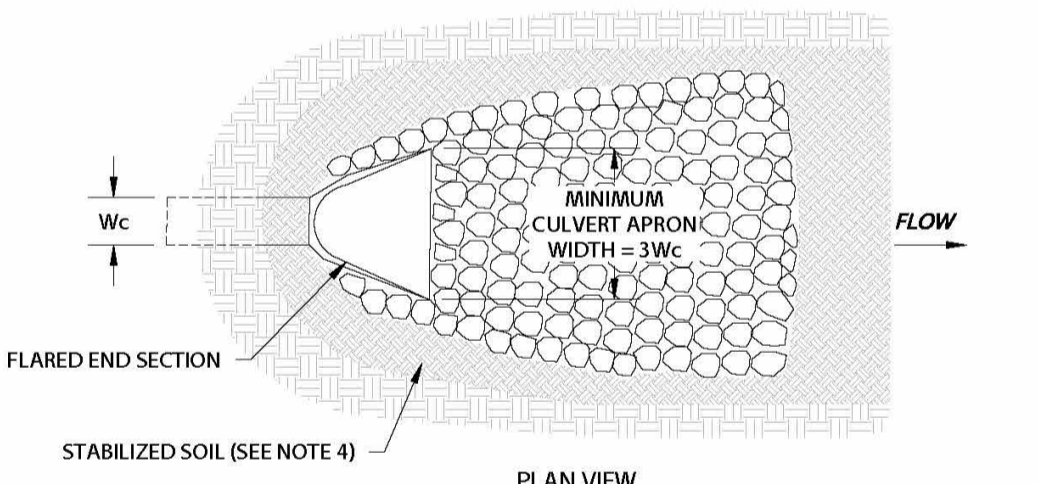
Stacked Rock Wall
 TAHOE REGIONAL PLANNING AGENCY
 BMP-205
 November 2012

3 205 - STACKED ROCK WALL
 12" = 1'-0"



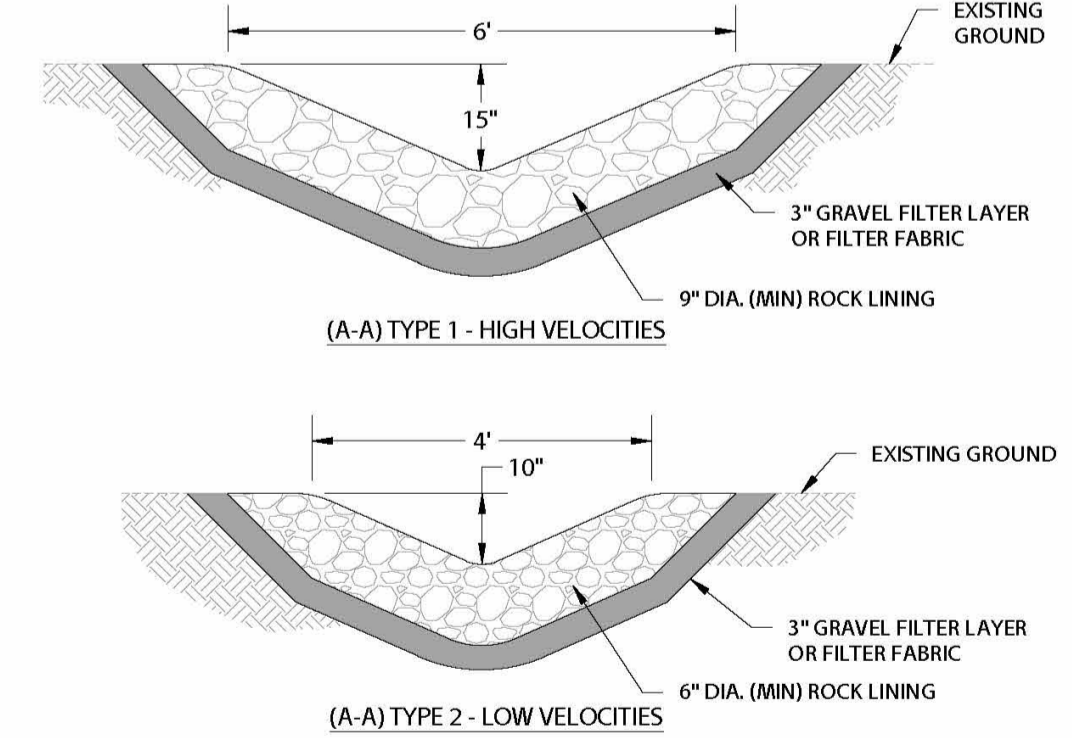
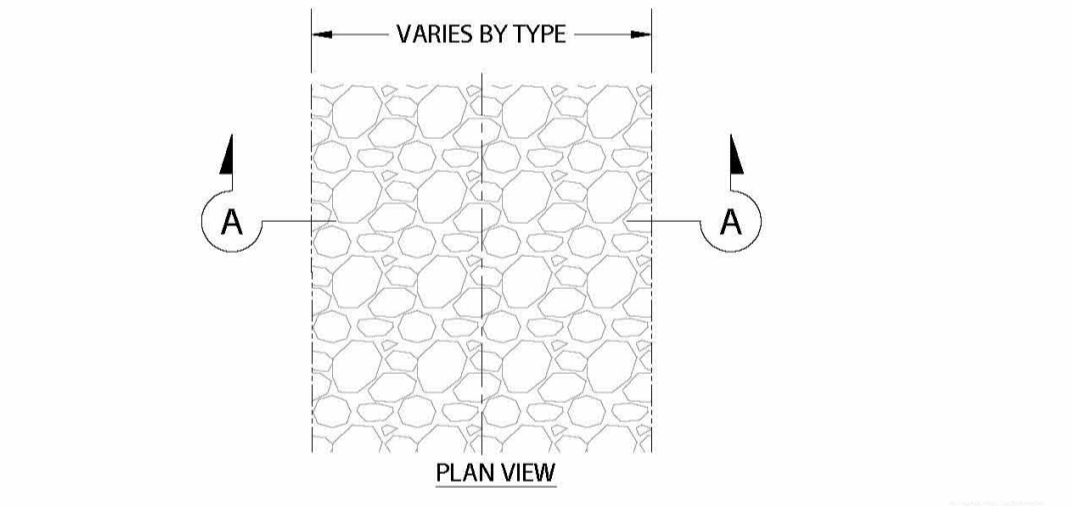
Rock Armor - Elevated Structure
 TAHOE REGIONAL PLANNING AGENCY
 BMP-211
 November 2012

4 211 - ROCK ARMOR
 12" = 1'-0"



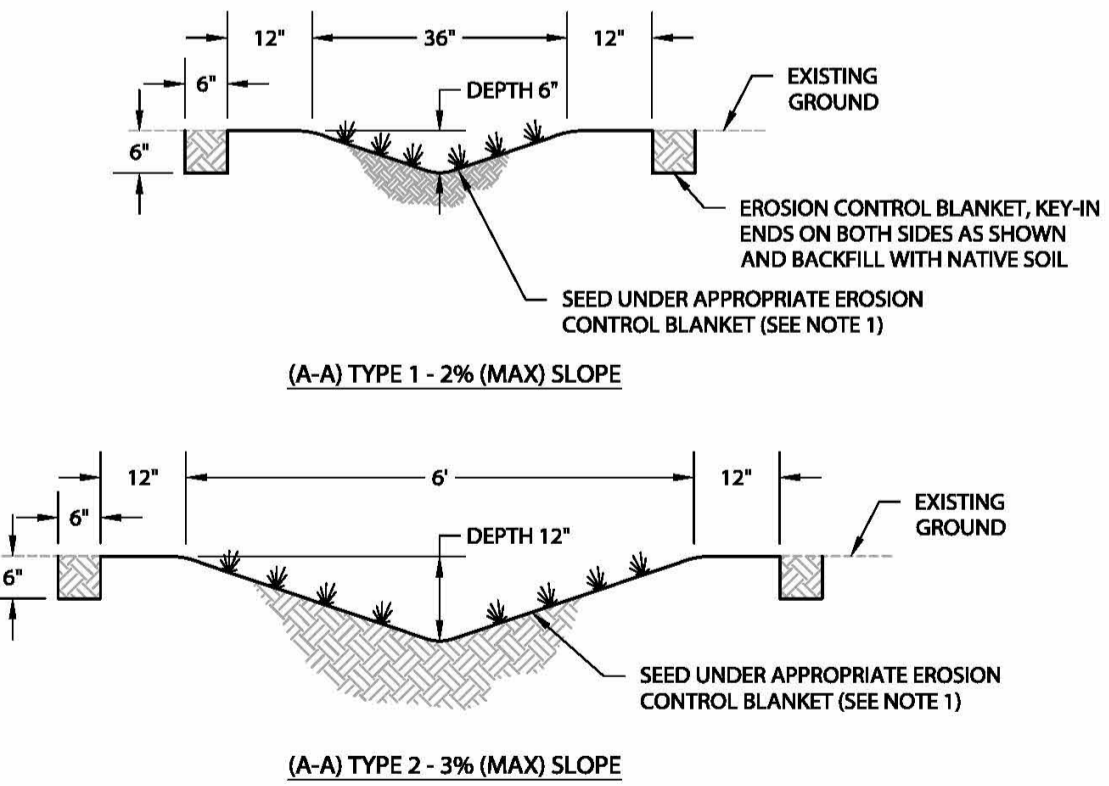
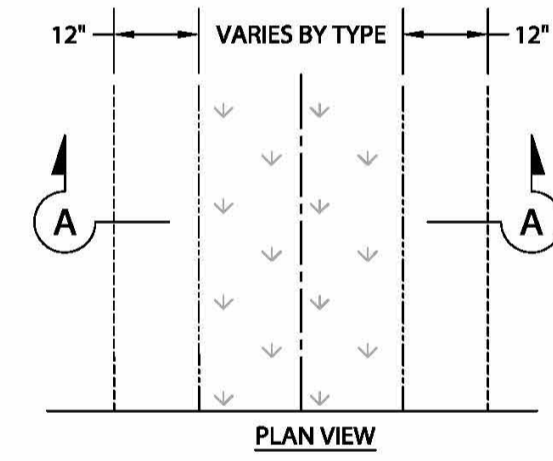
Outlet Protection - Energy Dissipater
 TAHOE REGIONAL PLANNING AGENCY
 BMP-303
 November 2012

6 303 - OUTLET PROTECTION
 12" = 1'-0"



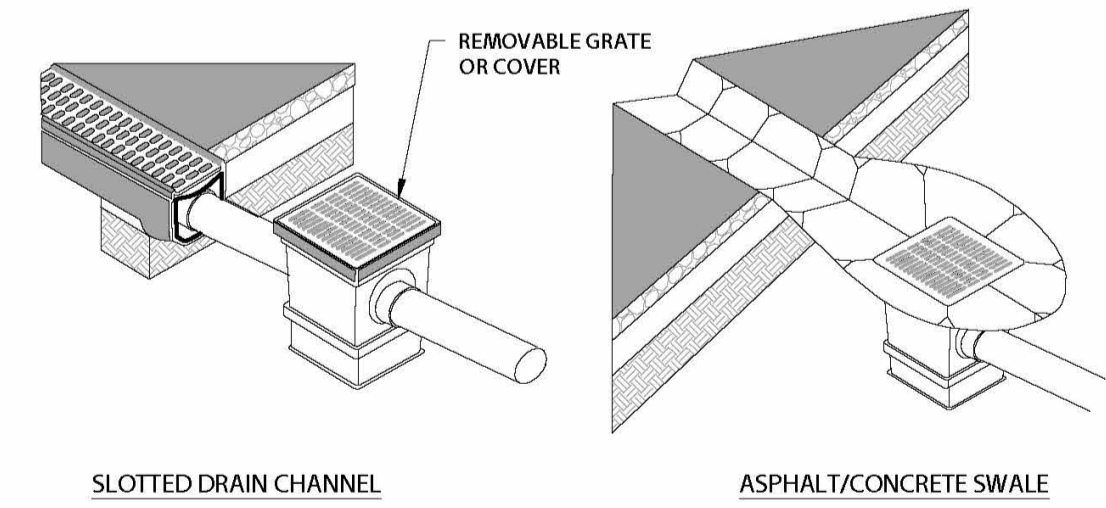
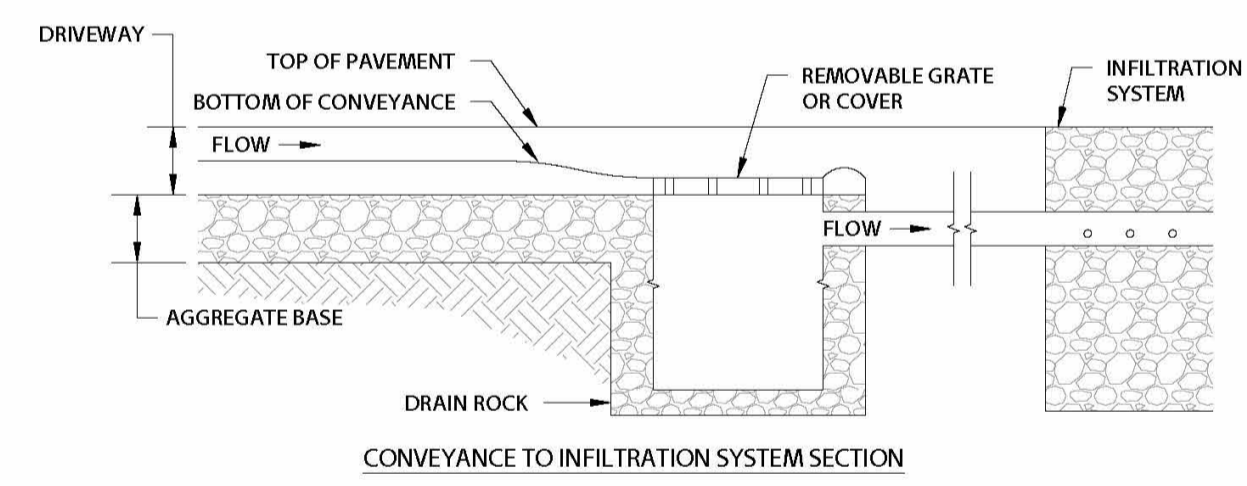
Rock Lined Swale
 TAHOE REGIONAL PLANNING AGENCY
 BMP-308
 November 2012

7 308 - ROCK LINED SWALE
 12" = 1'-0"



Vegetation Swale
 TAHOE REGIONAL PLANNING AGENCY
 BMP-309
 December 2012

8 309 - VEGETATION SWALE
 12" = 1'-0"



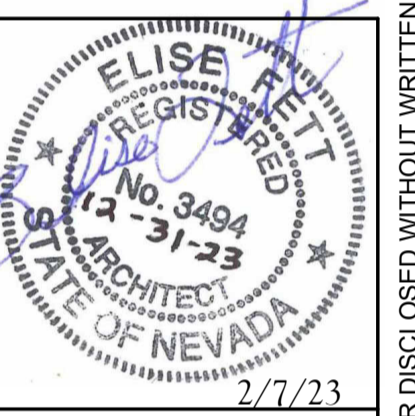
Sediment Trap - Small Scale
 TAHOE REGIONAL PLANNING AGENCY
 BMP-405
 November 2012

5 405 - SEDIMENT TRAP SMALL
 12" = 1'-0"

REVISIONS		
#	DATE	BY

P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775) 833-3388
 FAX: (775) 833-2388
 elise@elisefett.com

ELISE FETT & ASSOCIATES, LTD.
 AIA • RCE
**ARCHITECTURE
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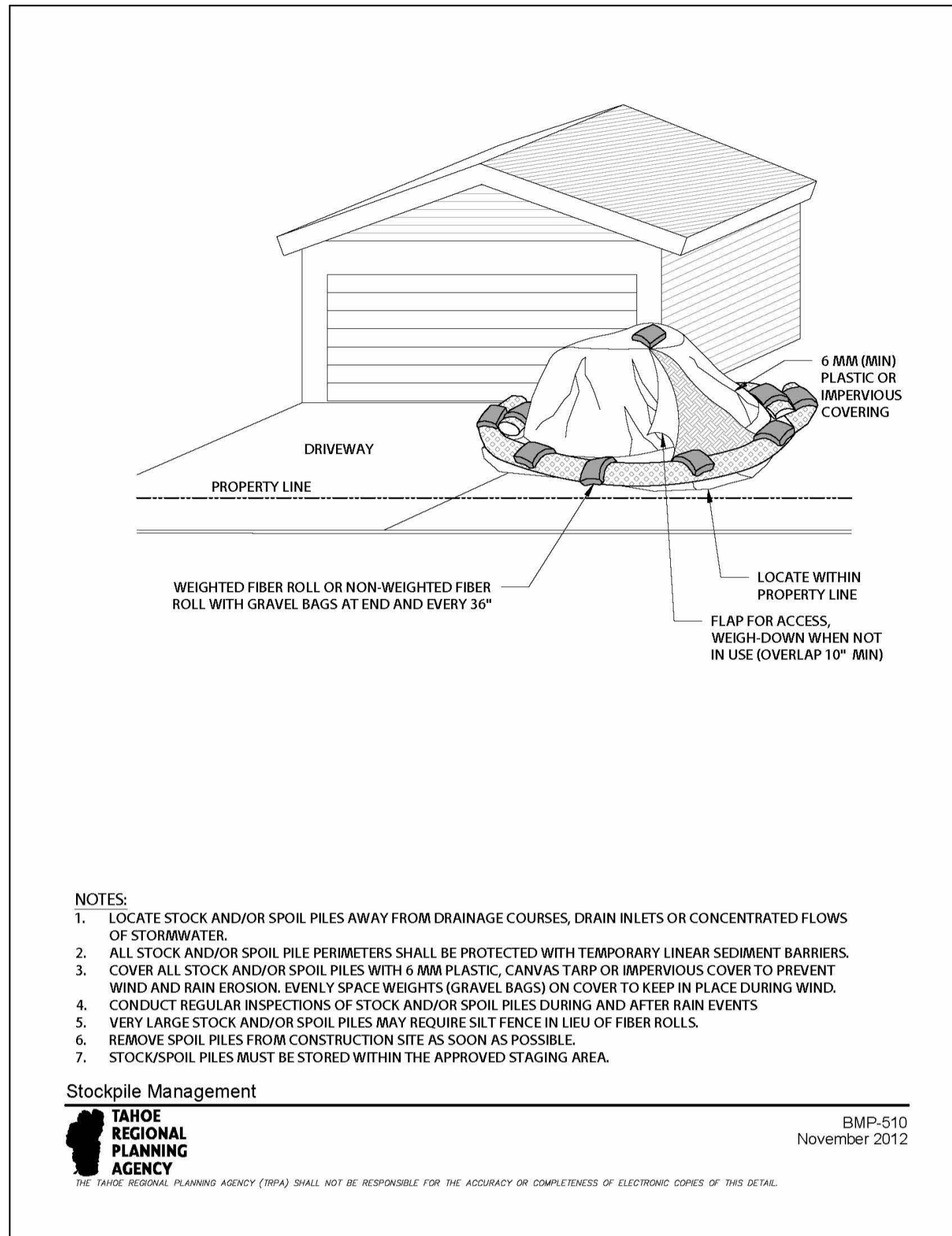
HILGERS-EASTER REMODEL/ADDITION
 666 TUMBLEWEED CIRCLE
 INCLINE VILLAGE, NV 89451
 APN: 125-522-01

SCALE: 12" = 1'-0"
 JOB NO: NJEA
 PRINT DATE: 2/7/2023 3:03:24 PM
 SHEET

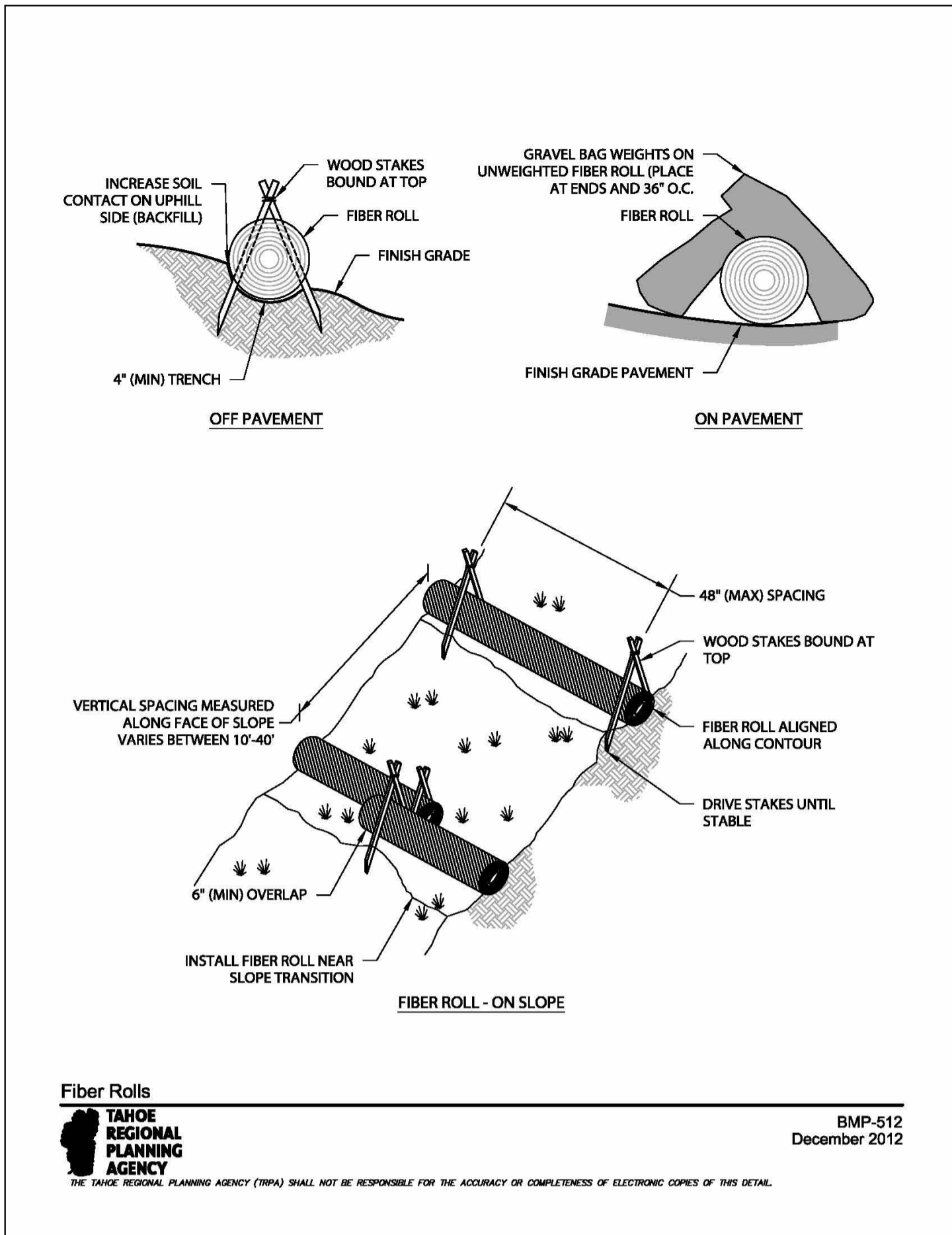
SP-3a

TRPA BMP DETAILS

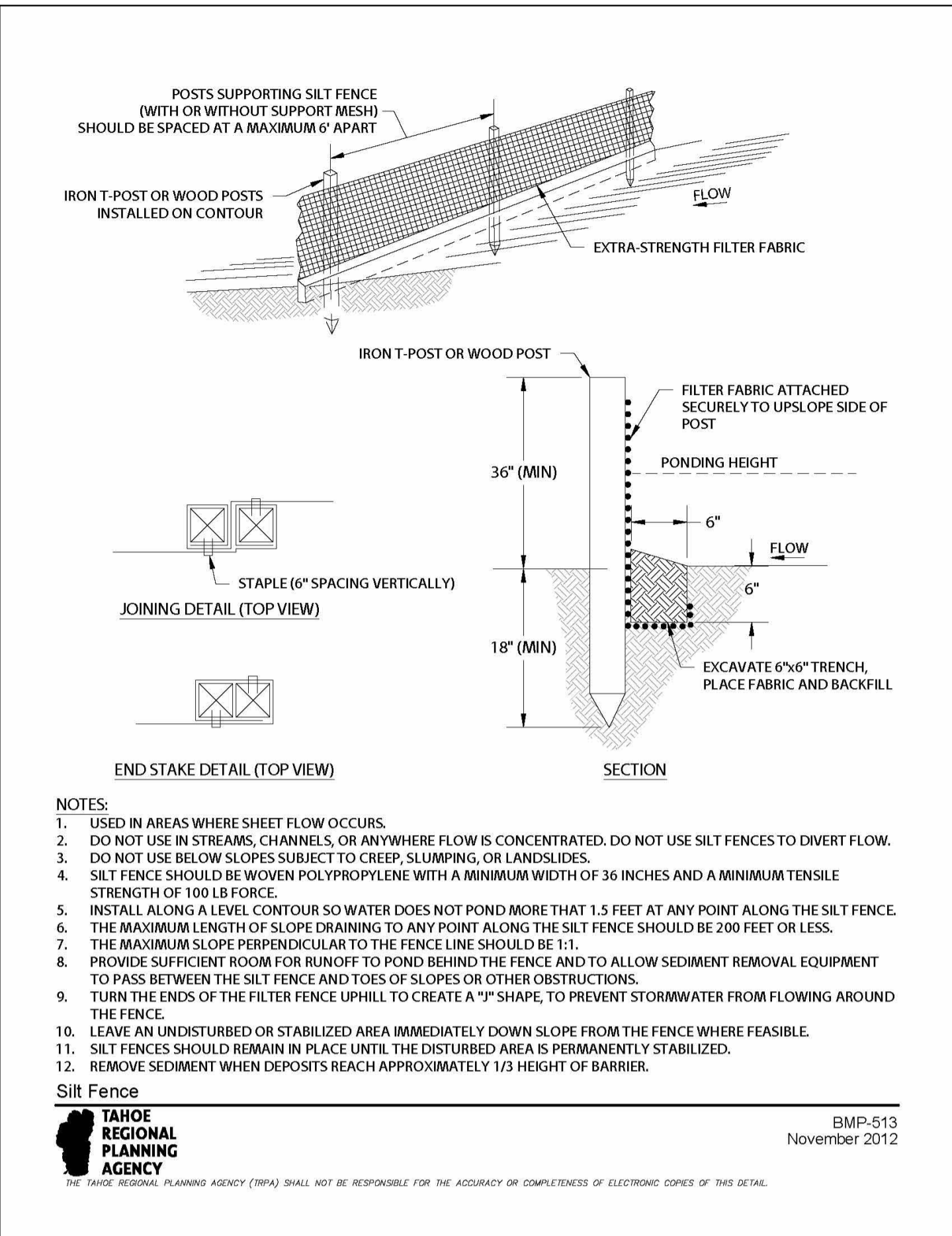
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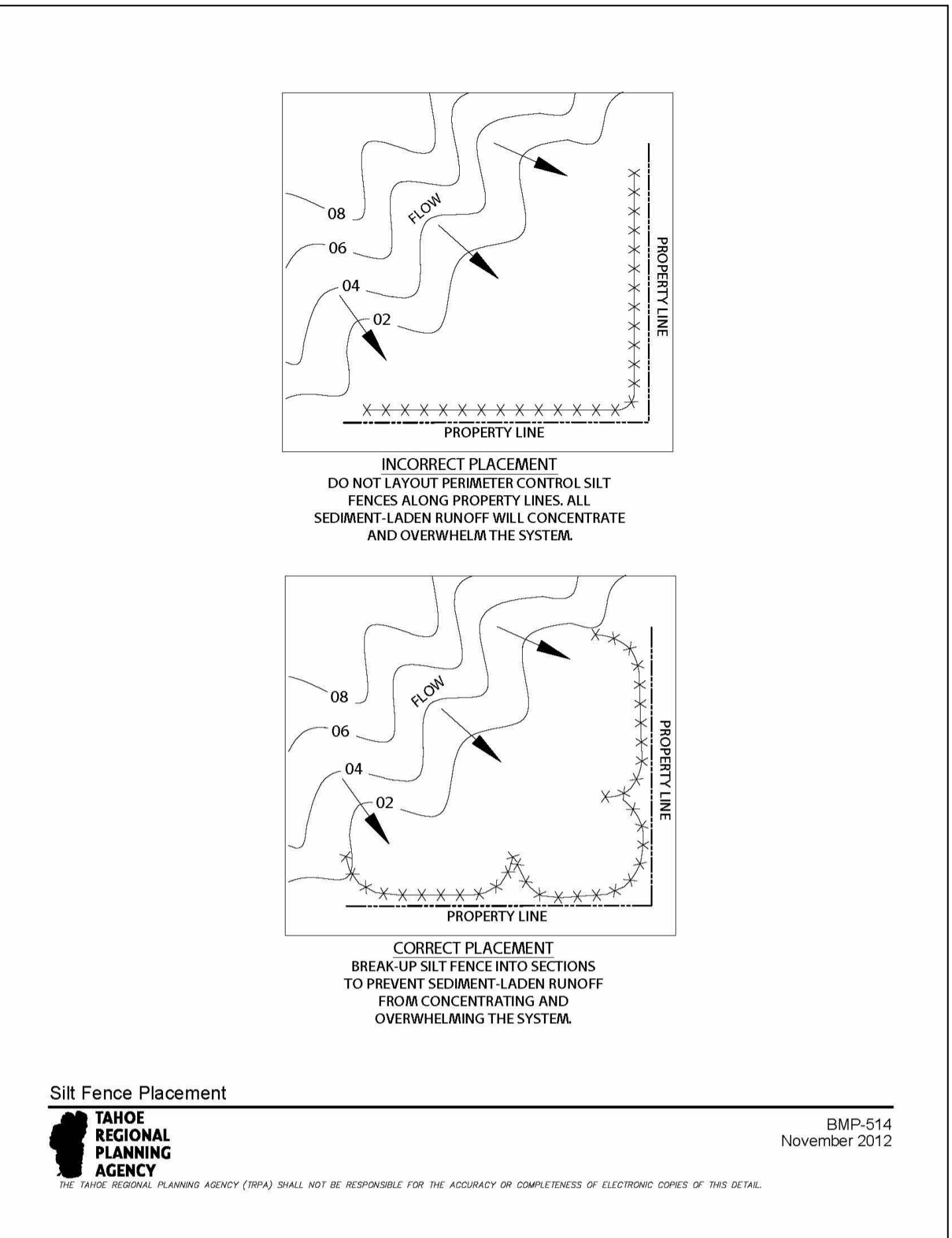
6 510 - STOCKPILE MANAGEMENT
12" = 1'-0"



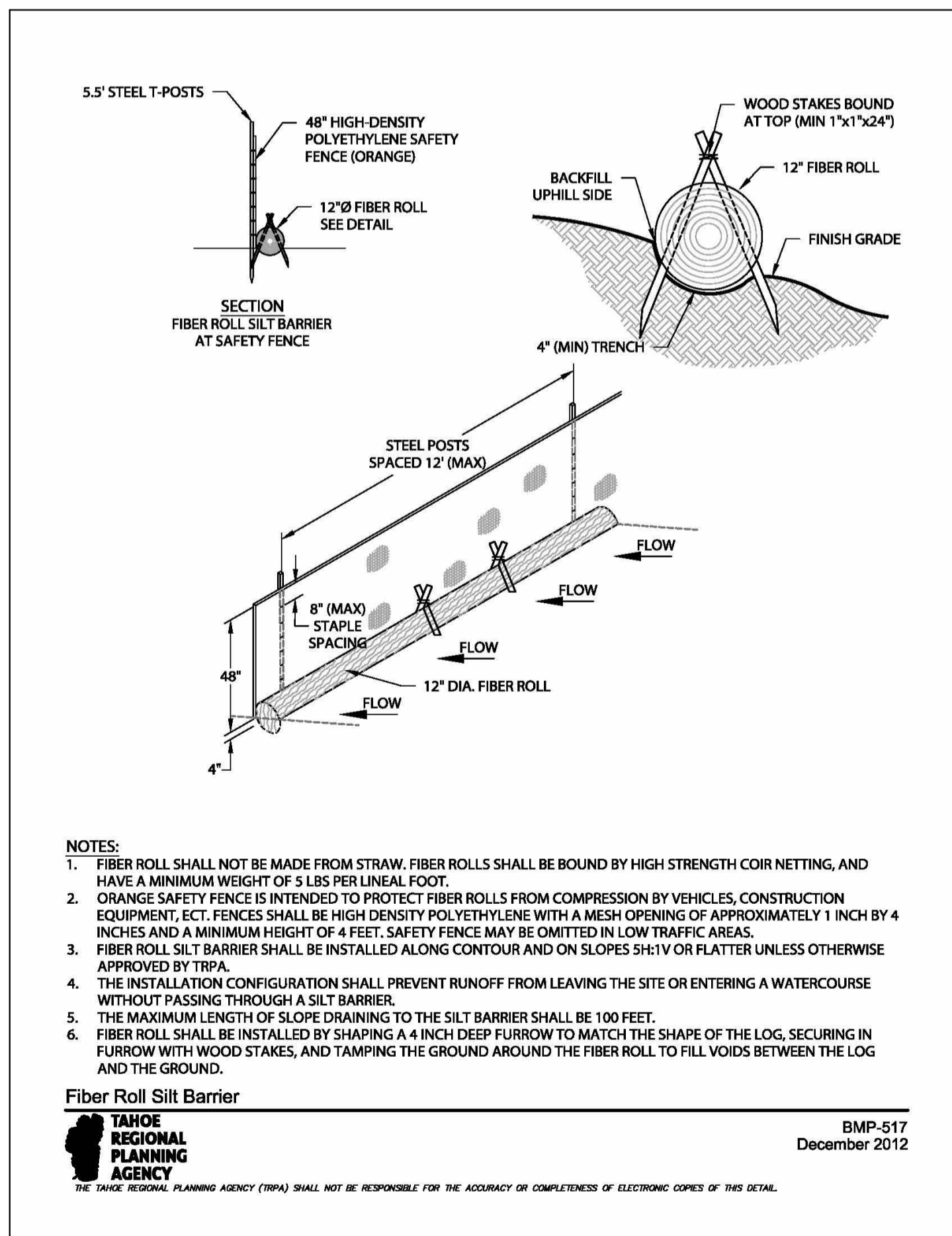
7 512 - FIBER ROLLS
12" = 1'-0"



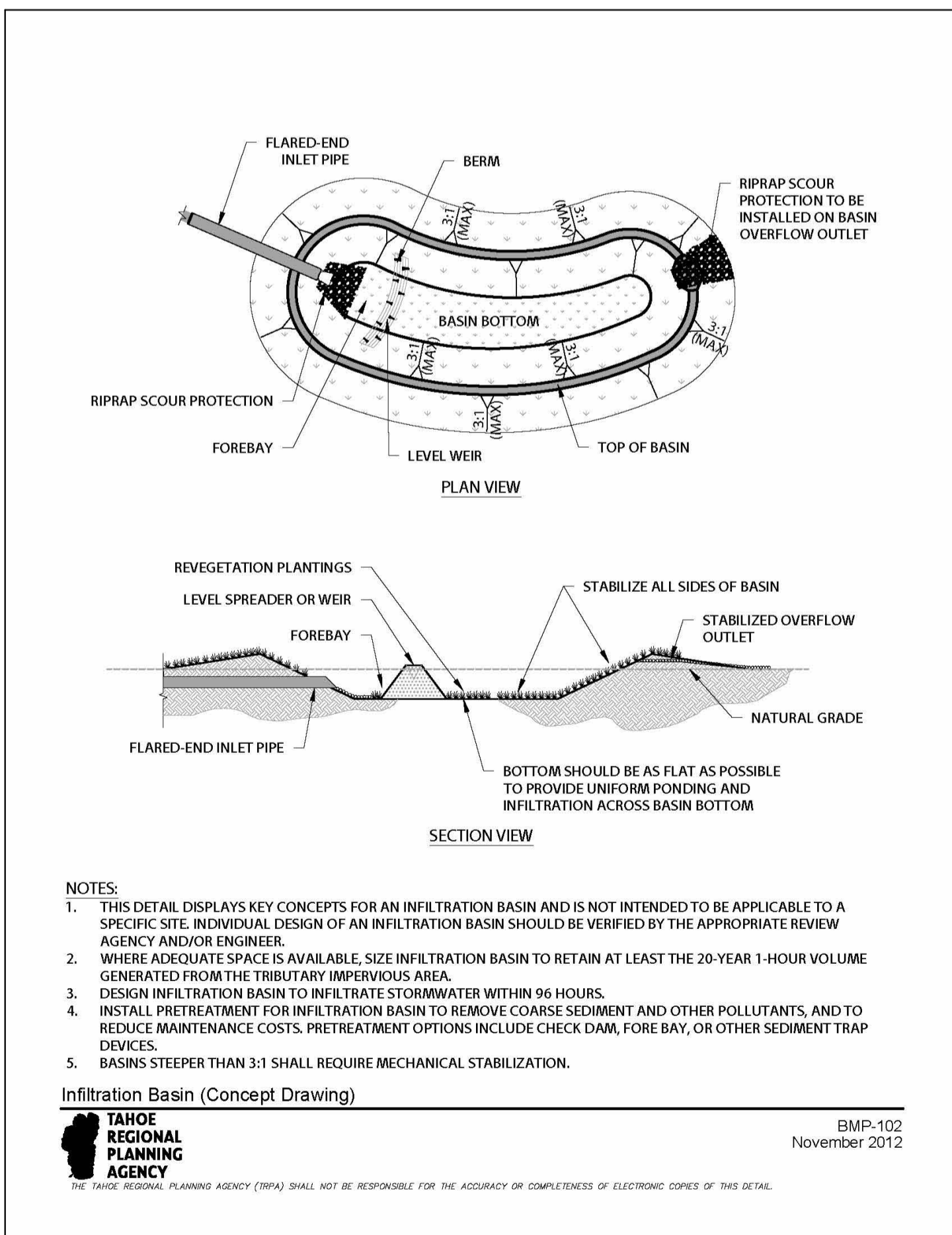
8 513 - SILT FENCE
12" = 1'-0"



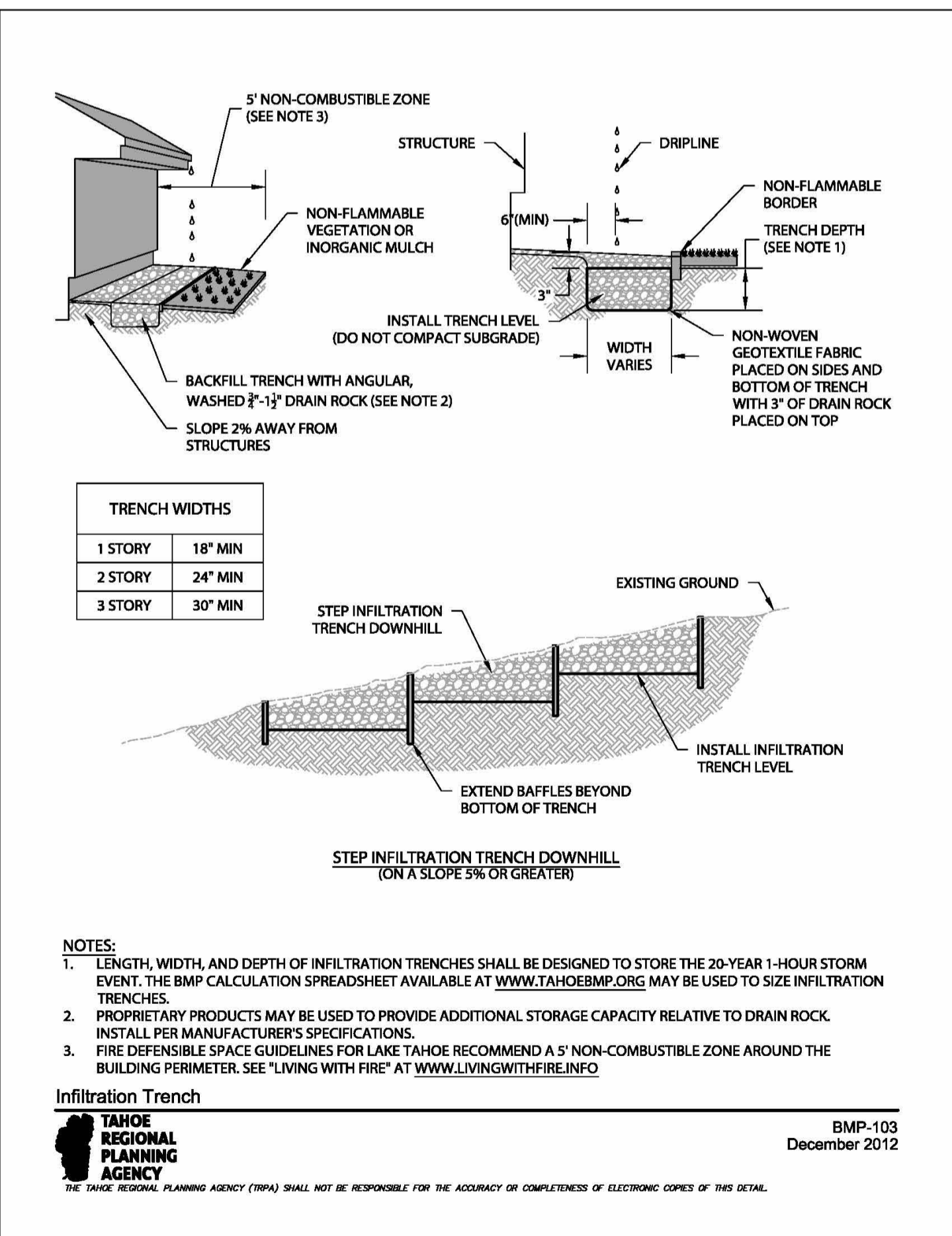
1 514 - SILT FENCE PLACEMENT
12" = 1'-0"



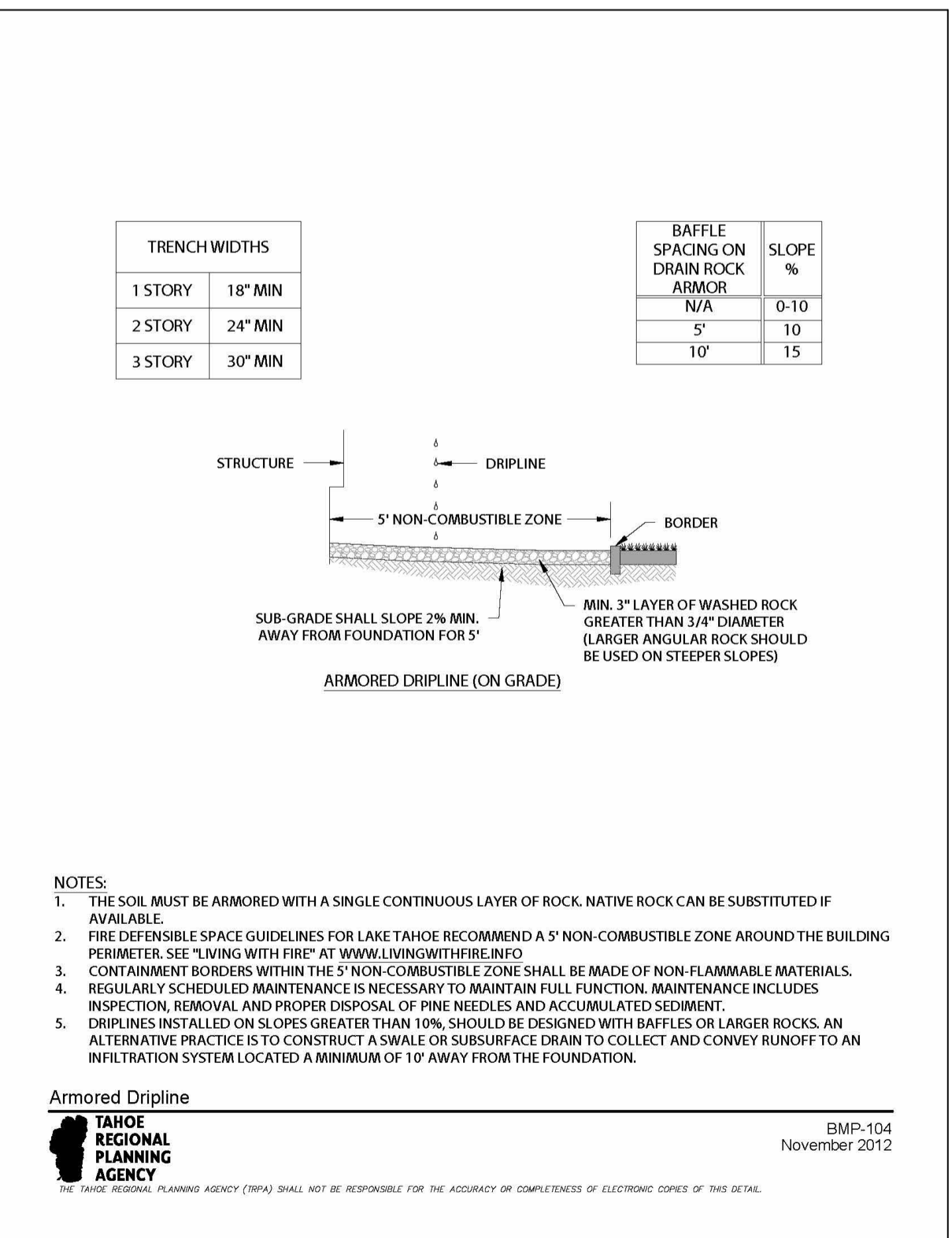
2 517 - FIBER ROLL SILT BARRIER
12" = 1'-0"



3 102 - INFILTRATION BASIN
12" = 1'-0"



4 103 - INFILTRATION TRENCH
12" = 1'-0"

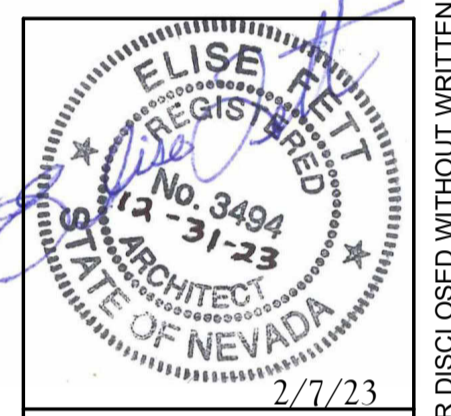


5 104 - ARMORED DRIPLINE
12" = 1'-0"

REVISIONS		
#	DATE	BY

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450
PHONE: (775)833-3388
FAX: (775)833-2388
elise@elisefett.com

ELISE FETT & ASSOCIATES, LTD.
AIA • RCE
ARCHITECTURE
ENGINEERING



HILGERS-EASTER REMODEL/ADDITION
666 TUMBLEWEED CIRCLE
INCLINE VILLAGE, NV 89451
APN: 125-522-01

SCALE: 12" = 1'-0"
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SHEET
SP-3b

TRPA BMP DETAILS