

Community Services Department
Planning and Development
SPECIAL USE PERMIT APPLICATION



Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

| | | | |
|--|-----------------|---------------------------------------|-----------------|
| Project Information | | Staff Assigned Case No.: _____ | |
| Project Name: | | | |
| Project Description: | | | |
| Project Address: | | | |
| Project Area (acres or square feet): | | | |
| Project Location (with point of reference to major cross streets AND area locator): | | | |
| Assessor's Parcel No.(s): | Parcel Acreage: | Assessor's Parcel No(s): | Parcel Acreage: |
| | | | |
| Section(s)/Township/Range: | | | |
| Indicate any previous Washoe County approvals associated with this application: | | | |
| Case No.(s). | | | |
| Applicant Information (attach additional sheets if necessary) | | | |
| Property Owner: | | Professional Consultant: | |
| Name: | | Name: | |
| Address: | | Address: | |
| Zip: | | Zip: | |
| Phone: | | Phone: | |
| Fax: | | Fax: | |
| Email: | | Email: | |
| Cell: | | Cell: | |
| Other: | | Other: | |
| Contact Person: | | Contact Person: | |
| Applicant/Developer: | | Other Persons to be Contacted: | |
| Name: | | Name: | |
| Address: | | Address: | |
| Zip: | | Zip: | |
| Phone: | | Phone: | |
| Fax: | | Fax: | |
| Email: | | Email: | |
| Cell: | | Cell: | |
| Other: | | Other: | |
| Contact Person: | | Contact Person: | |
| For Office Use Only | | | |
| Date Received: | | Initial: | |
| County Commission District: | | Planning Area: | |
| CAB(s): | | Master Plan Designation(s): | |
| | | Regulatory Zoning(s): | |

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

2. What currently developed portions of the property or existing structures are going to be used with this permit?

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

4. What is the intended phasing schedule for the construction and completion of the project?

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

| | |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

13. Community Sewer

| | |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

Community Water

| | |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

President's Residence - Schedule of Activities

Government Entitlements and Drawing Schedule

- Schematic Drawings October – December 2014
- WC SUP Application submittal and Approval Dec 14 - Feb 2015
- Design Development Drawings January – February 2015
- Construction Estimate – verify costs Mar-15
- Finalize Construction Drawings Feb – March 2015
(Incorp bldg permit requirements and changes)
- Bid Project March - April 2015

Construction

- Let Contracts Apr-15
- Mobilize Construction Site April 15 - May 15
- Site Work Initiated May – July 2015
 - Site clearing (tree removal) May-15
 - General Excavation May-15
 - Excavation for Utilitiies May-15
 - Hook up Utilities Jun-15
 - Install sewer lines and other utilities Jul-15
- Garden move and irrigation system May – June 2015

- Site grading May - June 2015
- Foundations and Form Work June - August 2015
 - Steel foundation
 - Wood foundation
 - Concrete pour
- Mech/Elec/Plumbing Rough Sept – October 2015
- Floor Framing/Slab on Grade Sep-15
- Exterior Walls Oct - Nov 2015
 - Insulation
 - Trades – mech and electrical
- Roof Installation Nov-15
- Interior Walls November 2015 – January 2016
 - installation
 - trades
- Windows Jan-16
- Carpentry Feb - April 2016
- Painting Feb - May 2016
- Specialties Feb - May 2016
- Stone and tile Feb - May 2016
- Doors and Windows Feb - May 2016
- Finish Work April - June 2016
- Certificate of Occupancy June 1 2016
- Landscaping/hardscape May - June 2016
- Punch Out May - June 2016
- Owner Acceptance Jun-16
- Furnishings Jun-16

ATTACHMENT A

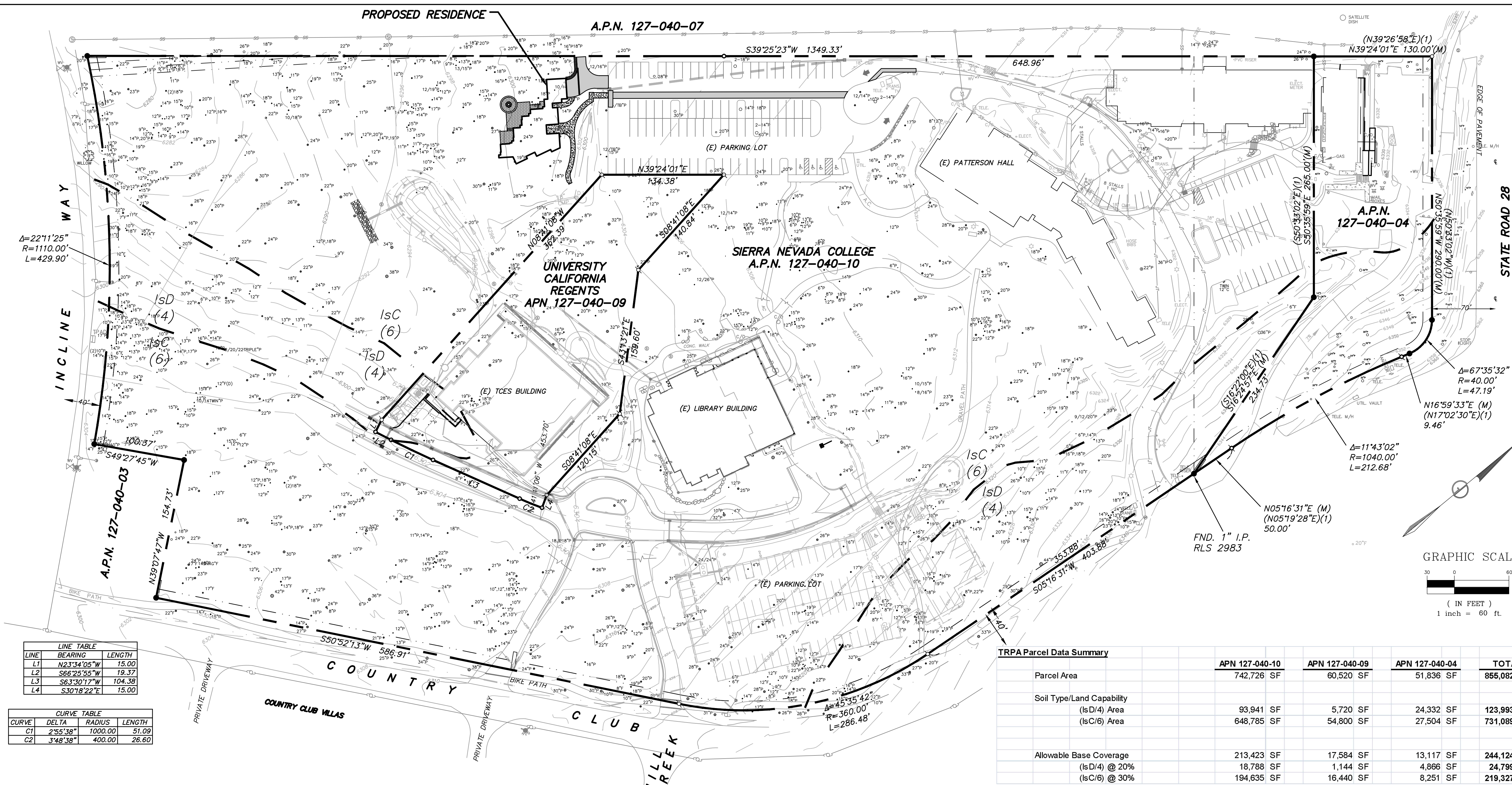
SIERRA NEVADA COLLEGE RESIDENCE FOR THE PRESIDENT

INCLINE VILLAGE, NV
WASHOE COUNTY
APN 127-040-10, -09, -04

GARY DAVIS GROUP
DESIGN AND ENGINEERING

post office box 7409 tahoe city, ca 96145
tel 530.583.9222 fax 530.583.9294

garydavisgroup.com



| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L1 | N23°34'05"W | 15.00 |
| L2 | S68°28'55"W | 19.37 |
| L3 | S63°30'17"W | 104.38 |
| L4 | S30°18'22"E | 15.00 |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|----------|---------|--------|
| C1 | 2°55'38" | 1000.00 | 51.09 |
| C2 | 3°48'38" | 400.00 | 26.60 |

| TRPA Parcel Data Summary | APN 127-040-10 | APN 127-040-09 | APN 127-040-04 | TOTAL |
|--|----------------|----------------|----------------|------------|
| Parcel Area | 742,726 SF | 60,520 SF | 51,836 SF | 855,082 SF |
| Soil Type/Land Capability (IsD/4) Area | 93,941 SF | 5,720 SF | 24,332 SF | 123,993 SF |
| (IsC/6) Area | 648,785 SF | 54,800 SF | 27,504 SF | 731,089 SF |
| Allowable Base Coverage (IsD/4) @ 20% | 213,423 SF | 17,584 SF | 13,117 SF | 244,124 SF |
| (IsC/6) @ 30% | 18,788 SF | 1,144 SF | 4,866 SF | 24,798 SF |
| | 194,635 SF | 16,440 SF | 8,251 SF | 219,327 SF |

| APN 127-040-10 | APN 127-040-10 |
|--|---|
| Land Capability District Data - IsD/4 | Land Capability District Data - IsC/6 |
| Existing Coverage | Existing Coverage |
| Roads/Parking 11,561 SF | Library Service Area 826 SF |
| Walkways 524 SF | Buildings 48,221 SF |
| Bike Path 529 SF | Roads/Parking 129,217 SF |
| Concrete Patio 101 SF | Walkways 28,674 SF |
| Total IsD/4 Existing Coverage 12,715 SF | Bike Path 487 SF |
| Proposed Coverage | Concrete Patio 469 SF |
| Roads/Parking 11,561 SF | Paving Demonstration (Driveway) 294 SF |
| Walkways 524 SF | Gazebo 204 SF |
| Bike Path 529 SF | Defensible Space Roof 60 SF |
| Concrete Patio 101 SF | Storage Shed 32 SF |
| Total IsD/4 Proposed Coverage 12,715 SF | Mulched Walkways 2,408 SF |
| | Sign 102 SF |
| | Entry Pillars 162 SF |
| | Total IsC/6 Existing Coverage 211,156 SF |
| | Proposed Coverage |
| | Library Service Area 826 SF |
| | Buildings 51,215 SF |
| | Roads/Parking 130,307 SF |
| | Walkways 29,675 SF |
| | Bike Path 487 SF |
| | Concrete Patio 1,387 SF |
| | Paving Demonstration (Driveway) 294 SF |
| | Defensible Space Roof 60 SF |
| | Storage Shed 32 SF |
| | Mulched Walkways 1,226 SF |
| | Sign 102 SF |
| | Entry Pillars 197 SF |
| | Total IsC/6 Proposed Coverage 215,808 SF |

| APN 127-040-09 |
|--|
| Land Capability District Data - IsD/4 |
| Existing Coverage |
| Buildings 264 SF |
| Roads/Parking 1,988 SF |
| Walkways 343 SF |
| Service Enclosures 847 SF |
| Total IsD/4 Existing Coverage 3,442 SF |
| Proposed Coverage |
| Buildings 264 SF |
| Roads/Parking 1,988 SF |
| Walkways 343 SF |
| Service Enclosures 847 SF |
| Total IsD/4 Proposed Coverage 3,442 SF |
| Land Capability District Data - IsC/6 |
| Existing Coverage |
| Buildings 13,902 SF |
| Roads/Parking 1,660 SF |
| Walkways 2,960 SF |
| Service Enclosures 9 SF |
| Total IsC/6 Existing Coverage 18,531 SF |
| Proposed Coverage |
| Buildings 13,902 SF |
| Roads/Parking 1,660 SF |
| Walkways 2,960 SF |
| Service Enclosures 9 SF |
| Total IsC/6 Proposed Coverage 18,531 SF |

| APN 127-040-04 |
|--|
| Land Capability District Data - IsD/4 |
| Existing Coverage |
| Roads 5,941 SF |
| Total IsD/4 Existing Coverage 5,941 SF |
| Proposed Coverage |
| Roads 5,941 SF |
| Total IsD/4 Proposed Coverage 5,941 SF |
| Land Capability District Data - IsC/6 |
| Existing Coverage |
| Decks 361 SF |
| Buildings 3,709 SF |
| Roads/Parking 12,419 SF |
| Walkways 2,423 SF |
| Patio 754 SF |
| Total IsC/6 Existing Coverage 19,666 SF |
| Proposed Coverage |
| Decks 361 SF |
| Buildings 3,709 SF |
| Roads/Parking 12,419 SF |
| Walkways 2,423 SF |
| Patio 754 SF |
| Total IsC/6 Proposed Coverage 19,666 SF |

| Project Area Land Coverage Summary (APNs 127-040-10, -09 & -04) | |
|---|-------------------|
| Existing Coverage | |
| (IsD/4) | 22,098 SF |
| (IsC/6) | 249,353 SF |
| TOTAL | 271,451 SF |
| Proposed Coverage | |
| (IsD/4) | 22,098 SF |
| (IsC/6) | 254,005 SF |
| TOTAL | 276,103 SF |
| Allowable Coverage | |
| (IsD/4) | 24,798 SF |
| (IsC/6) | 219,326 SF |
| TOTAL | 244,124 SF |

| Issues and Revisions | | | |
|----------------------|------|------------------|----|
| No. | Date | Issue & Revision | By |
| | | | |
| | | | |

| | |
|-------------|-----|
| Designed By | CMS |
| Drafted By | CMS |
| Checked By | GD |

| Client Information | |
|-----------------------|---------------------------|
| SIERRA NEVADA COLLEGE | C/O DIANNE SEVERANCE |
| 999 TAHOE BOULEVARD | INCLINE VILLAGE, NV 89451 |
| (775) 881-7522 | |
| Project Number | 764.60 |

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OVERALL PARCEL & COVERAGE CALCULATIONS

Scale 1"=60'
File 764.60 CO_EXISTING SITE.dwg
Plot Date DECEMBER 8, 2014

C0

1 OF 8 SHEETS

P:\ZT_GDE_Pro\764.60 President Residence\Gis\Prelim\764.60 CO_EXISTING SITE.dwg

1st SUP SUBMITTAL - NOT FOR CONSTRUCTION

ABBREVIATIONS

| | |
|---|------------------------------|
| AB ANCHOR BOLT | MACH MACHINE |
| AC ASPHALTIC CONCRETE | MATL MATERIAL |
| AD AREA DRAIN | MAX MAXIMUM |
| AFF ABOVE FINISH FLOOR | MECH MECHANICAL |
| ARCH ARCHITECTURAL | MTL METAL |
| | MH MANHOLE |
| BIT BITUMINOUS | MIN MINIMUM |
| BLDG BUILDING | MISC MISCELLANEOUS |
| BLT BOLT | MTD MOUNTED |
| BM BEAM | MUL MULLION |
| BOT BOTTOM | |
| BTW BETWEEN | N/A NOT APPLICABLE |
| | NIC NOT IN CONTRACT |
| CAB CABINET | NO. NUMBER |
| CB CATCH BASIN | NOM NOMINAL |
| CEM CEMENT | NTS NOT TO SCALE |
| CER CERAMIC | |
| CF CUBIC FEET | OCC OCCUPANTS |
| CI CAST IRON | |
| CJ CONTROL JOINT | PL LAM PLASTIC LAMINATE |
| CL CENTERLINE | PCC PORTLAND CEMENT CONCRETE |
| CLG CEILING | PL PLATE |
| CLR CLEAR | PLAS PLASTER |
| COL COLUMN | PLYWD PLYWOOD |
| CTR CASEMENT | PR PAIR |
| | PSF POUNDS PER SQ FT |
| D DEPTH | PSI POUNDS PER SQ IN |
| DBL DOUBLE | PT PRESSURE TREATED |
| DEPT DEPARTMENT | PT POST-TENSIONED |
| DET DETAIL | PVC POLYVINYL CHLORIDE |
| DF DOUGLAS FIR | |
| DIA DIAMETER | QT QUARRY TILE |
| DN DOWN | |
| DNSP DOWNSPOUT | R RISER |
| DSP DRY STANDPIPE | RA RADIUS |
| DWG DRAWING | RD ROOF DRAIN |
| | REF REFERENCE |
| (E) EXISTING | REINF REINFORCING |
| E EAST | REV REVISION |
| EA EACH | RM ROOM |
| EIFS EXT INSUL FIN SYST | |
| EJ EXPANSION JOINT | S SOUTH |
| EL ELEVATION | SC SOLID CORE |
| ELEC ELECTRICAL | SECT SECTION |
| ELEV ELEVATOR | SF SQUARE FEET |
| EMER EMERGENCY | SHT SHEET |
| EQ EQUAL | SHWR SHOWER |
| EQPT EQUIPMENT | SIM SIMILAR |
| EXT EXTERIOR | SL SLIDING |
| | SPEC SPECIFICATION |
| FA FIRE ALARM | SQ SQUARE |
| FD FLOOR DRAIN | ST STL STAINLESS STEEL |
| FE FIRE EXTINGUISHER | STD STANDARD |
| FF FINISH FACE | STL STEEL |
| FHC FIRE HOSE CABINET | SUSP SUSPENDED |
| FIN FINISH | SYST SYSTEM |
| FLR FLOOR | |
| FOC FACE OF CONCRETE | T TREAD |
| FOS FACE OF STUD | T&G TOUNGE AND GROOVE |
| FRM FRAME | TEL TELEPHONE |
| FT FEET | THK THICKNESS |
| FTG FOOTING | TOB TOP OF BEAM |
| | TOC TOP OF CURB |
| GA GAUGE | TOS TOP OF SLAB |
| GALV GALVANIZED | TOW TOP OF WALL |
| GL GLASS | TV TELEVISION |
| GLB GLUE LAM BEAM | TYP TYPICAL |
| GND GROUND | |
| GPR GROUND PENETRATING RADAR | UNO UNLESS NOTED OTHERWISE |
| GR GRADE | |
| GYP GYPSUM | VERT VERTICAL |
| | VEST VESTIBULE |
| HB HOSE BIB | W WEST |
| HC HOLLOW CORE | W WIDTH |
| HDWD HARDWOOD | W/O WITHOUT |
| HDWR HARDWARE | WC WATER CLOSET |
| H HIGH | WD WOOD |
| HM HOLLOW METAL | WH WATER HEATER |
| HOR HORIZONTAL | WPG WATERPROOFING |
| HR HOUR | WT WEIGHT |
| HVAC HEATING, VENTILATING, AIR CONDITIONING | |
| | |
| IBC INTERNATIONAL BLDG CODE | |
| ID INSIDE DIAMETER | |
| IN INCH | |
| INCL INCLUDING | |
| INSUL INSULATION | |
| INT INTERIOR | |
| | |
| JAN JANITOR | |
| JT JOINT | |
| | |
| LAM LAMINATE | |
| LAV LAVATORY | |
| LF LINEAL FEET | |
| LT LIGHT | |

PROJECT CONTACTS:

OWNER:
SIERRA NEVADA COLLEGE
DIANNE SEVERANCE
999 TAHOE BLVD.
INCLINE VILLAGE, NV 89451
775.831.1314

ARCHITECT/BUILDER:
NORTH PACIFIC INC
STUART FELDMAN AIA, LEED AP
188 E MARCHMONT LN
RENO, NEVADA 89511
775.303.7557

TRPA CONSULTANT:
HILL PLANNING INC
KRISTINA HILL
PO BOX 6139
INCLINE VILLAGE, NEVADA 89450
775.832.5235

STRUCTURAL:
GABBART AND WOODS
VANCE GABBART, P.E.
1680 MONTCLAIR AVE., SUITE B
RENO, NEVADA 89509
775.323.6633

CIVIL:
GARY DAVIS GROUP
GARY DAVIS, P.E.
PO BOX 7409
SUITE 203
RENO, NEVADA 89509
503.583.9222

PROPOSED RESIDENCE FOR THE PRESIDENT

291 COUNTRY CLUB DRIVE
INCLINE VILLAGE, NEVADA 89451

APN 127-040-10



ARCHITECT/BUILDER

NORTH PACIFIC INC
188 EAST MARCHMONT LANE
RENO, NEVADA 89511
775.303.7557

FOR PERMIT

GENERAL NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE CONSTRUCTION DOCUMENTS AND CONDITIONS IN THE FIELD.
- COORDINATE WORK REQUIRED BETWEEN ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, CIVIL AND ALL OTHER DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THESE DRAWINGS.
- DO NOT SCALE DRAWINGS. PRIOR TO COMMENCEMENT OF WORK, NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES AND OBTAIN RESOLUTION.
- REFER TO SPECIFICATIONS FOR FURTHER REQUIREMENTS. COORDINATE WORK BETWEEN DRAWINGS AND SPECIFICATIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- NOTIFY UNDERGROUND ALERT SERVICE 48 HOURS PRIOR TO ANY DEMOLITION OR EXCAVATION WORK. OBTAIN CLEARANCE PRIOR TO PERFORMING WORK.
- DUST GENERATED BY THE WORK SHALL BE MINIMIZED AND CONTAINED ON-SITE BY PROPER DUST-CONTROL MEASURES AS DETERMINED BY ALL AGENCIES HAVING JURISDICTION OVER THE WORK.
- INSTALL ADEQUATE TEMPORARY DRAINAGE AND WEATHER PROTECTION MEASURES TO PROTECT THE WORK AND ALL PROPERTY FROM DAMAGE.

DESIGN CRITERIA:

- OCCUPANCY GROUP: R-3
- TYPE OF CONSTRUCTION: V-B
- FIRE SEPARATION DISTANCE:
N >30 FT
S >30 FT
E >30 FT
W 24 FT
- AREA:
LEVEL ONE: 3,000 SQ FT
- AUTOMATIC FIRE SPRINKLERS: YES
- AUTOMATIC FIRE ALARM: NO
- HEIGHT/NUMBER OF STORIES: 18 FT/1

BUILDING CODES:

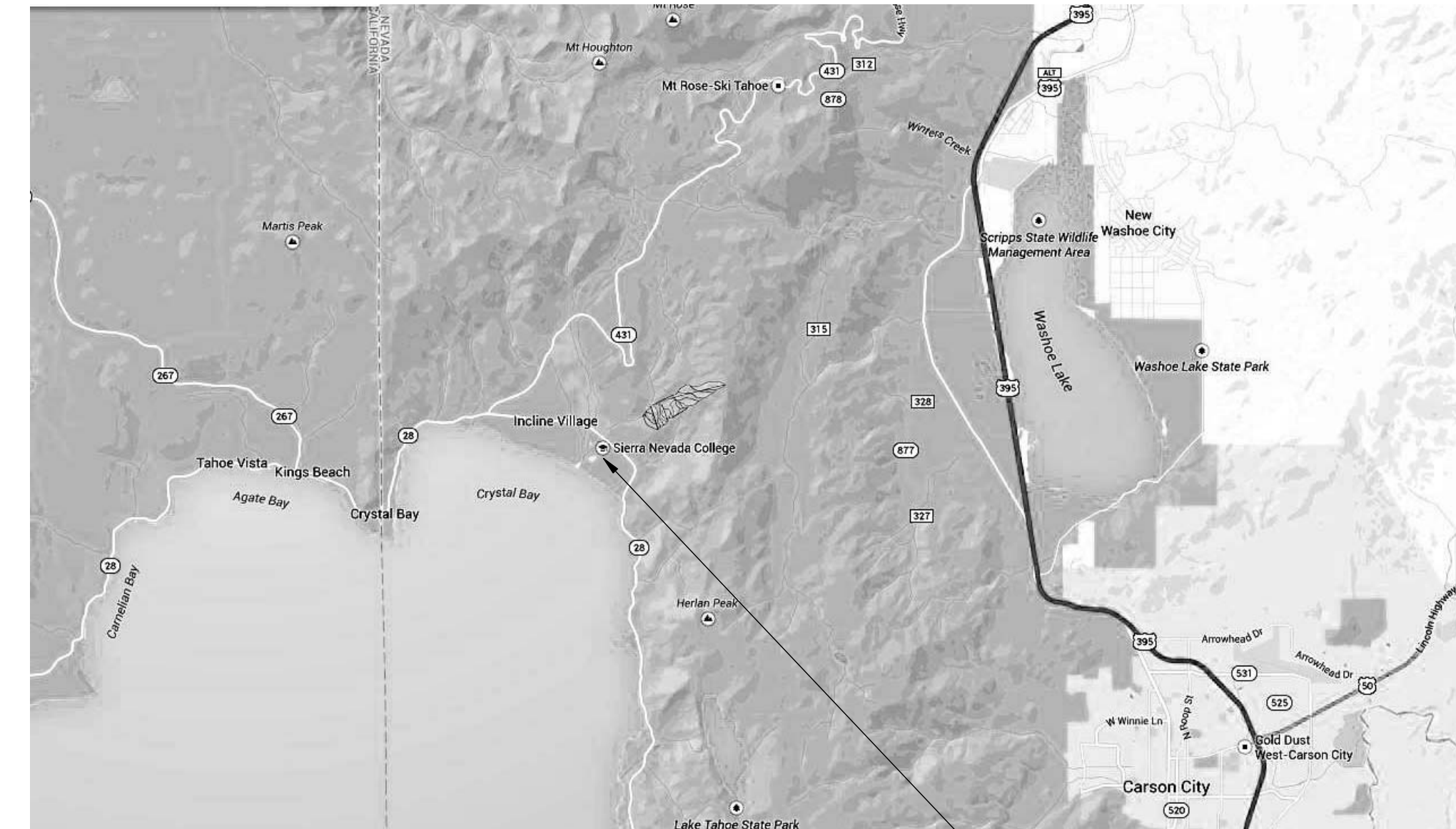
CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING RECOGNIZED BUILDING CODES AND SUPPLEMENTS, ADDITIONS AND DELETIONS, AS ADOPTED BY WASHOE COUNTY:

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL EXISTING BUILDING CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 UNIFORM PLUMBING CODE
- 2012 UNIFORM MECHANICAL CODE
- 2011 NATIONAL ELECTRICAL CODE
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 54 AND 58

SITE DATA:

- COMMERCIAL SUBDIVISION 1, LOT 2
- PARCEL AREA: 17.05 ACRES
- BASE ALLOWABLE COVERAGE: SEE CIVIL SHT.
- EXISTING COVERAGE: SEE CIVIL SHT.
- BUILDING: 3,000 SQ FT
- DRIVEWAY: 1,294 SQ FT
- DECKS: 1,000 SQ FT
- DRIVE (OFF PARCEL): 0
- COMPLETED COVERAGE: 5,294 SQ FT

VICINITY MAP



PROJECT SITE

SHEET INDEX

- A 0.1 Title Sheet
- A 1.2 Floor Plan and Lighting Plan
- A 2.1 Elevations
- C 1 Demolition and Temporary Erosion Control
- C 2 Site Layout and Utilities
- C 3 Grading and Drainage
- C 4 Site Cross Section
- C 5 Temporary Erosion Control Details
- C 6 Civil and Drainage Details
- C 7 Utility Details

SIERRA NEVADA COLLEGE

RESIDENCE for the PRESIDENT

291 Country Club Drive
Incline Village, Nevada
89451

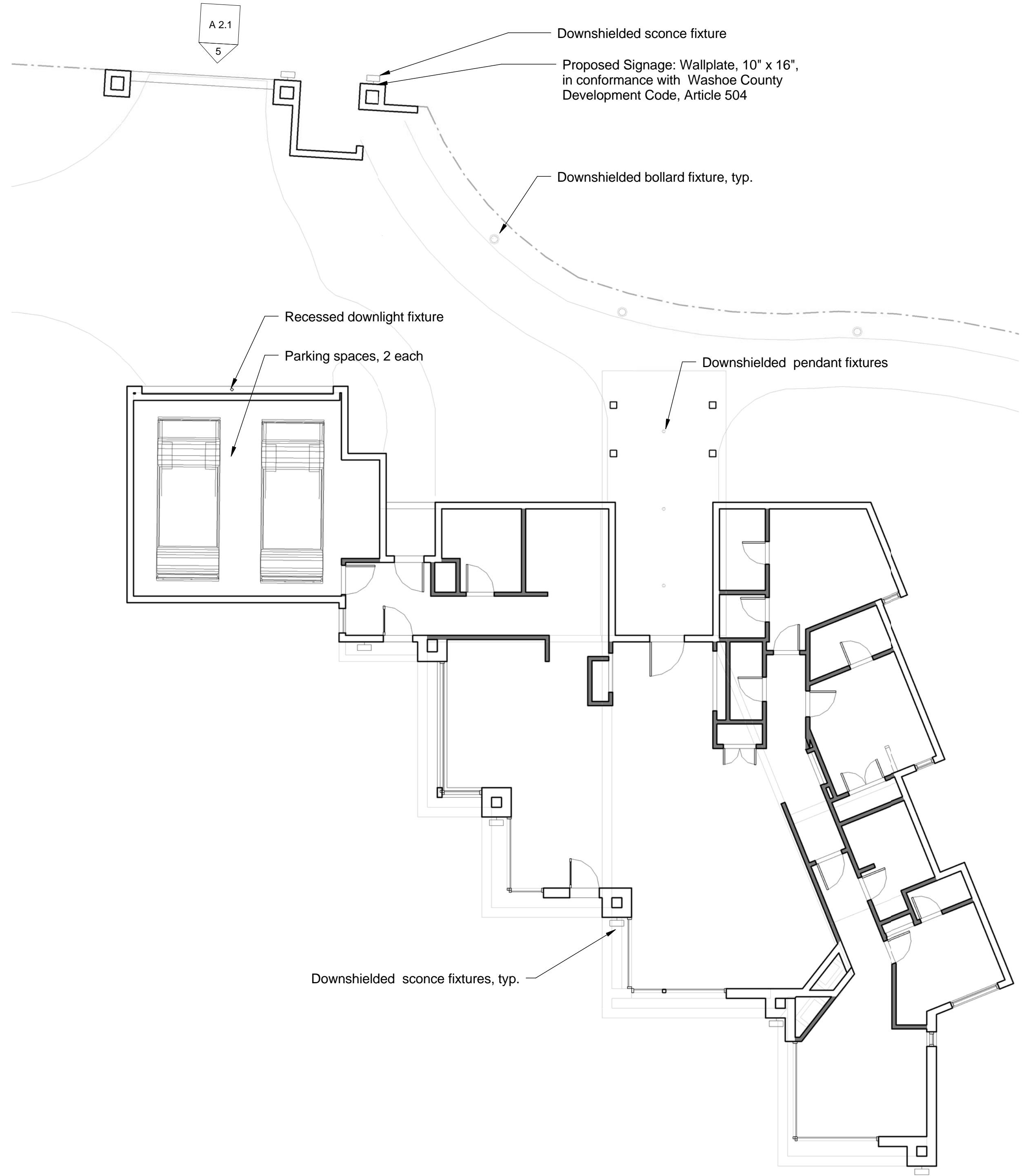
Professional Seal

| No. | Description | Date |
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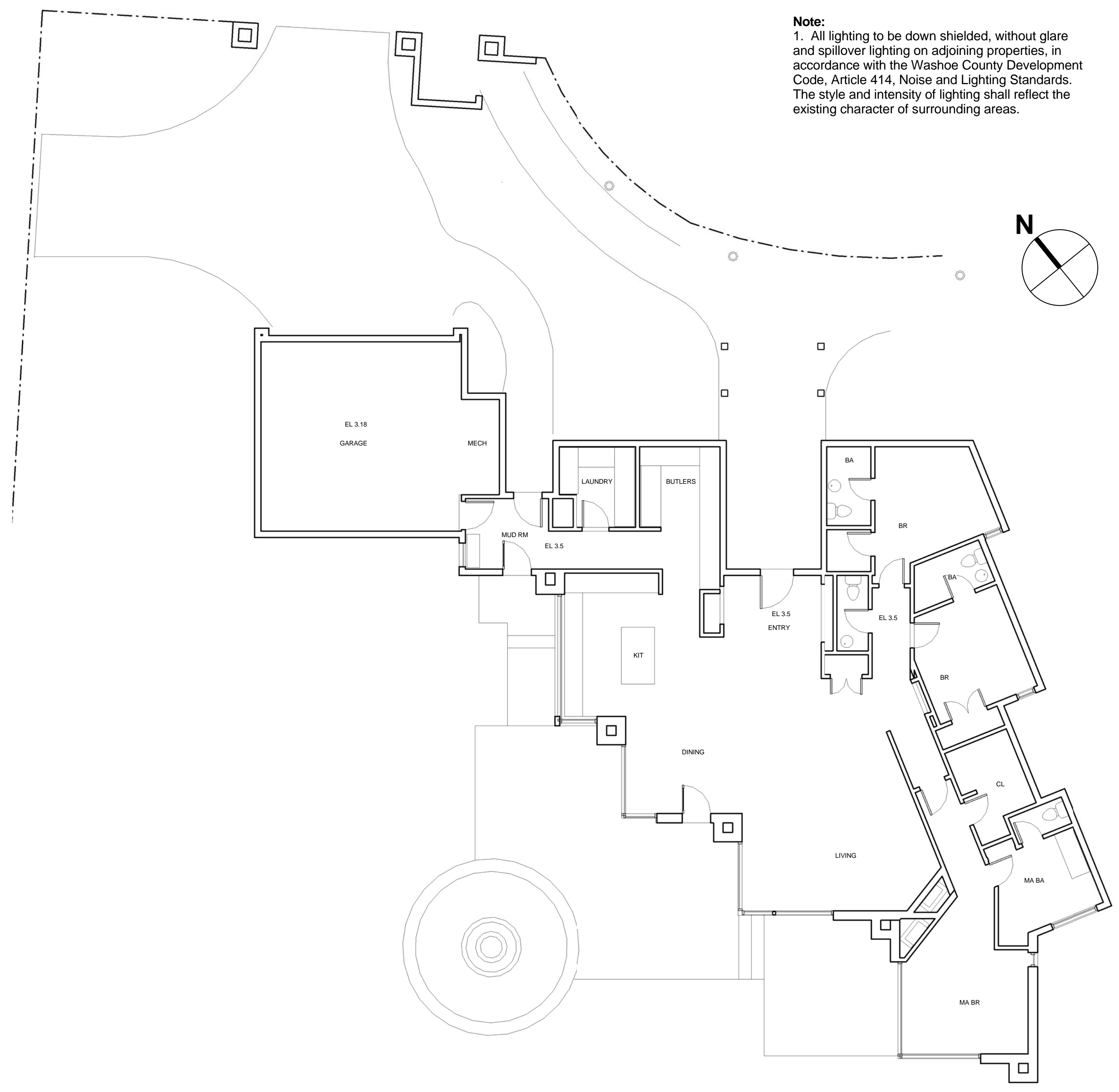
Title Sheet

NPI No. 224
12/5/2014

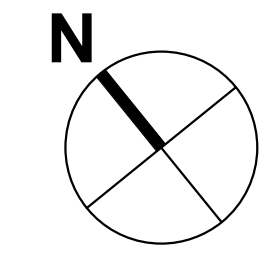
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② GROUND LEVEL - LIGHTING PLAN
1/8" = 1'-0"



Note:
1. All lighting to be down shielded, without glare and spillover lighting on adjoining properties, in accordance with the Washoe County Development Code, Article 414, Noise and Lighting Standards. The style and intensity of lighting shall reflect the existing character of surrounding areas.



① GROUND LEVEL - PLAN
1/8" = 1'-0"

NPI
ARCHITECT/BUILDER
NORTH PACIFIC INC
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RENO, NEVADA 89511
775.303.7557

FOR PERMIT

SIERRA NEVADA COLLEGE
RESIDENCE for the PRESIDENT

291 Country Club Drive
Incline Village, Nevada
89451

Professional Seal

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |

Floor Plan and Lighting Plan

NPI No. 224
12/5/2014

A 1.2

12/5/2014 1:56:42 PM



ARCHITECT/BUILDER

NORTH PACIFIC INC

188 EAST MARCHMONT LANE
RENO, NEVADA 89511
775.303.7557

FOR PERMIT

SIERRA NEVADA
COLLEGE

**RESIDENCE
for the
PRESIDENT**

291 Country Club Drive
Incline Village, Nevada
89451

Professional Seal

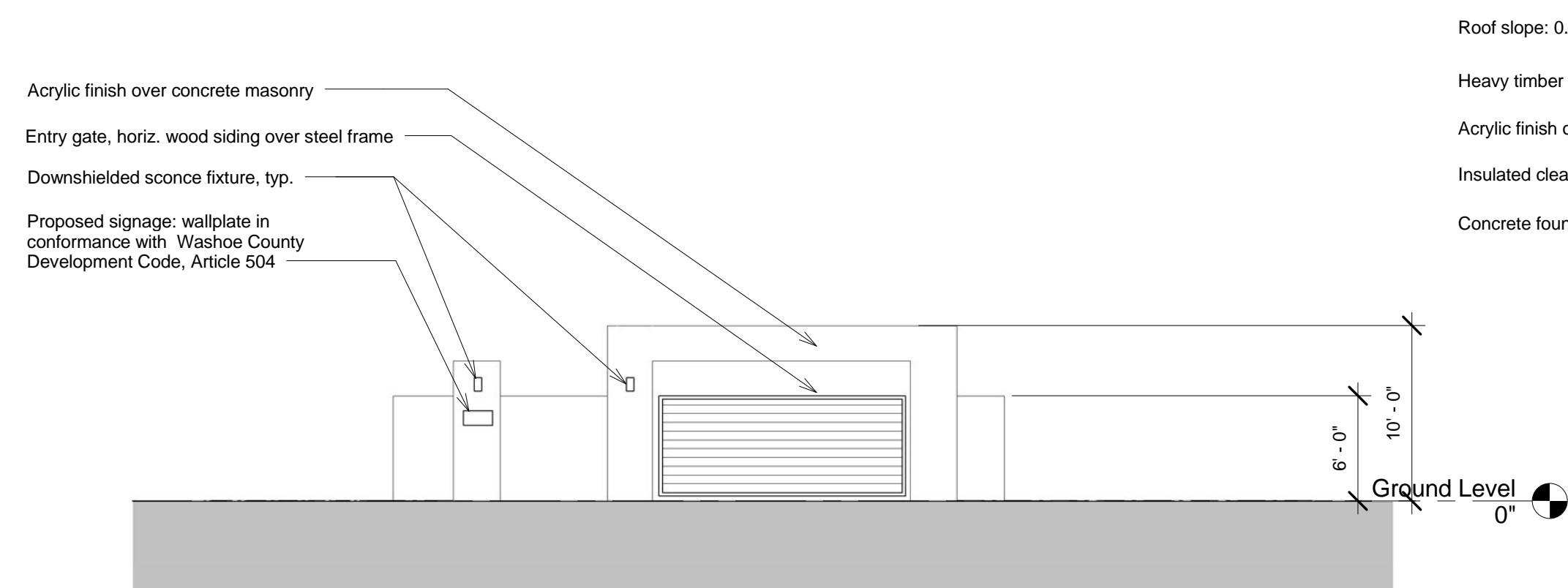
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Elevations

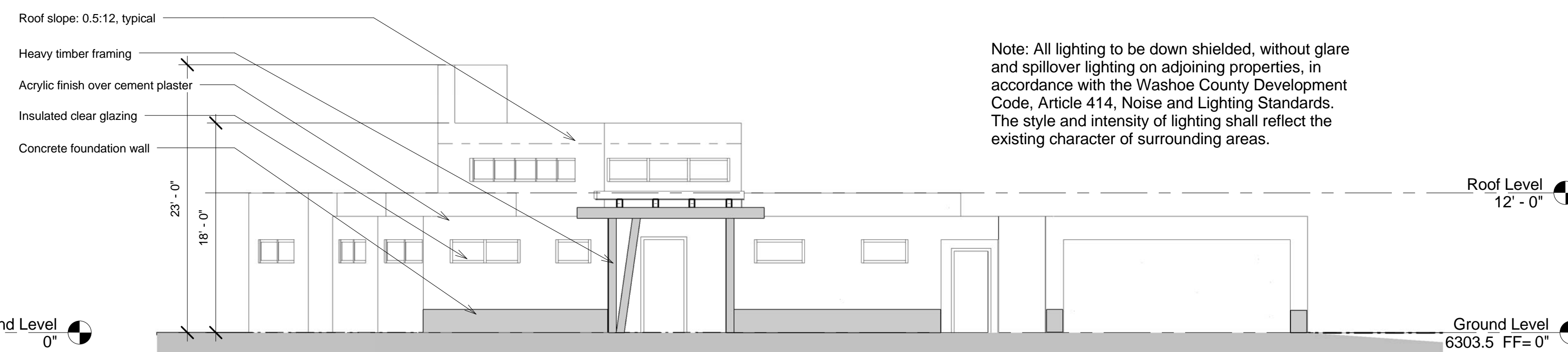
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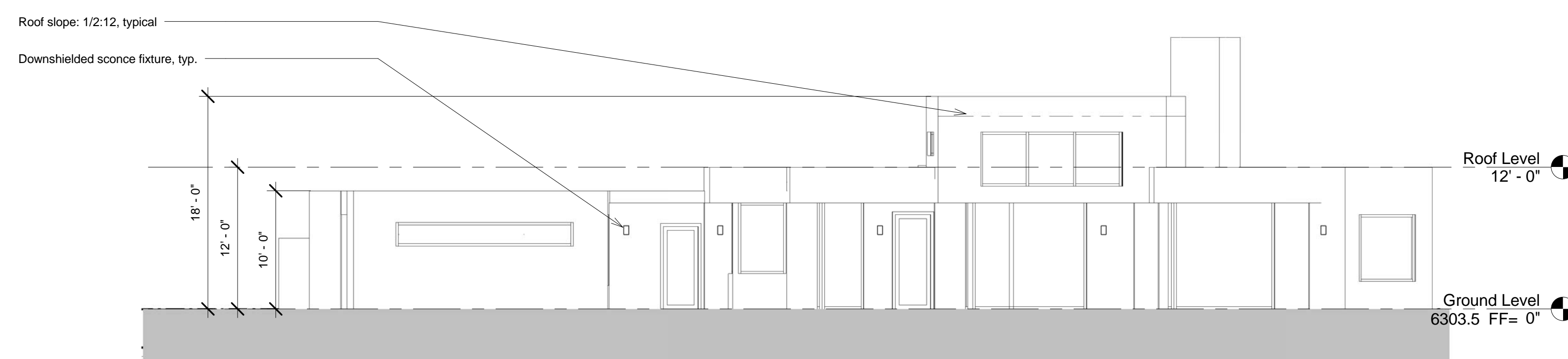


⑤ Entry Gate Elevation
1/8" = 1'-0"

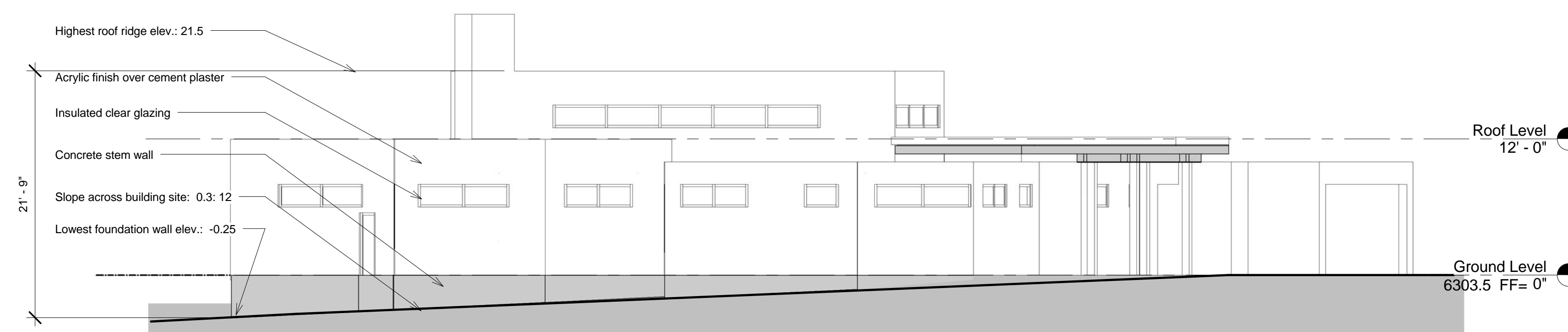


Note: All lighting to be down shielded, without glare and spillover lighting on adjoining properties, in accordance with the Washoe County Development Code, Article 414, Noise and Lighting Standards. The style and intensity of lighting shall reflect the existing character of surrounding areas.

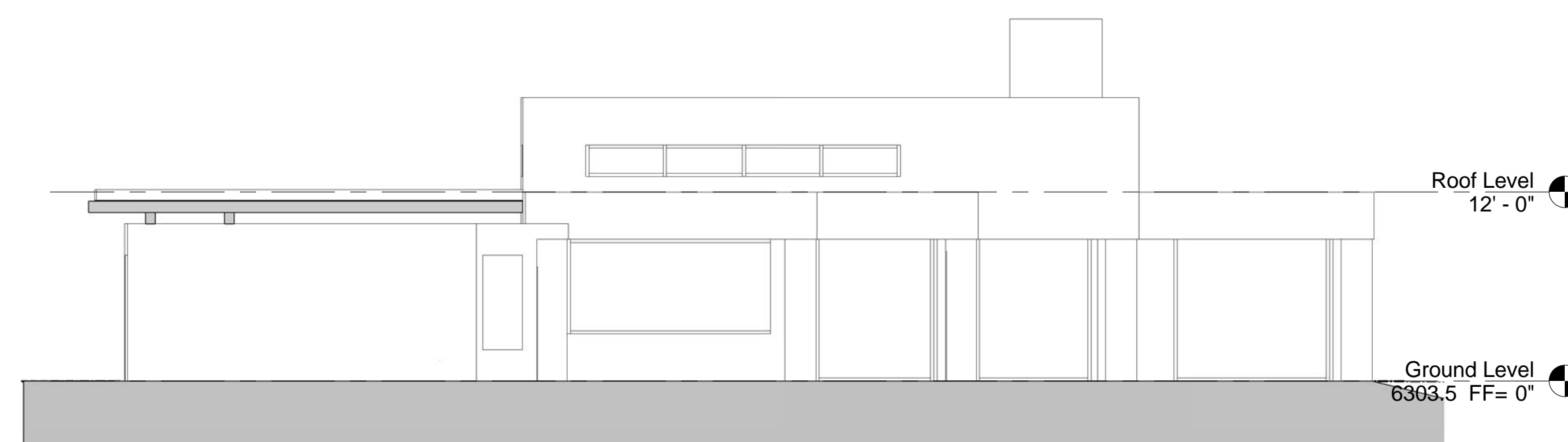
① North Elevation
1/8" = 1'-0"



② South Elevation
1/8" = 1'-0"



③ East Elevation
1/8" = 1'-0"



④ West Elevation
1/8" = 1'-0"

SIERRA NEVADA COLLEGE RESIDENCE FOR THE PRESIDENT

INCLINE VILLAGE, NV
WASHOE COUNTY
APN 127-040.08

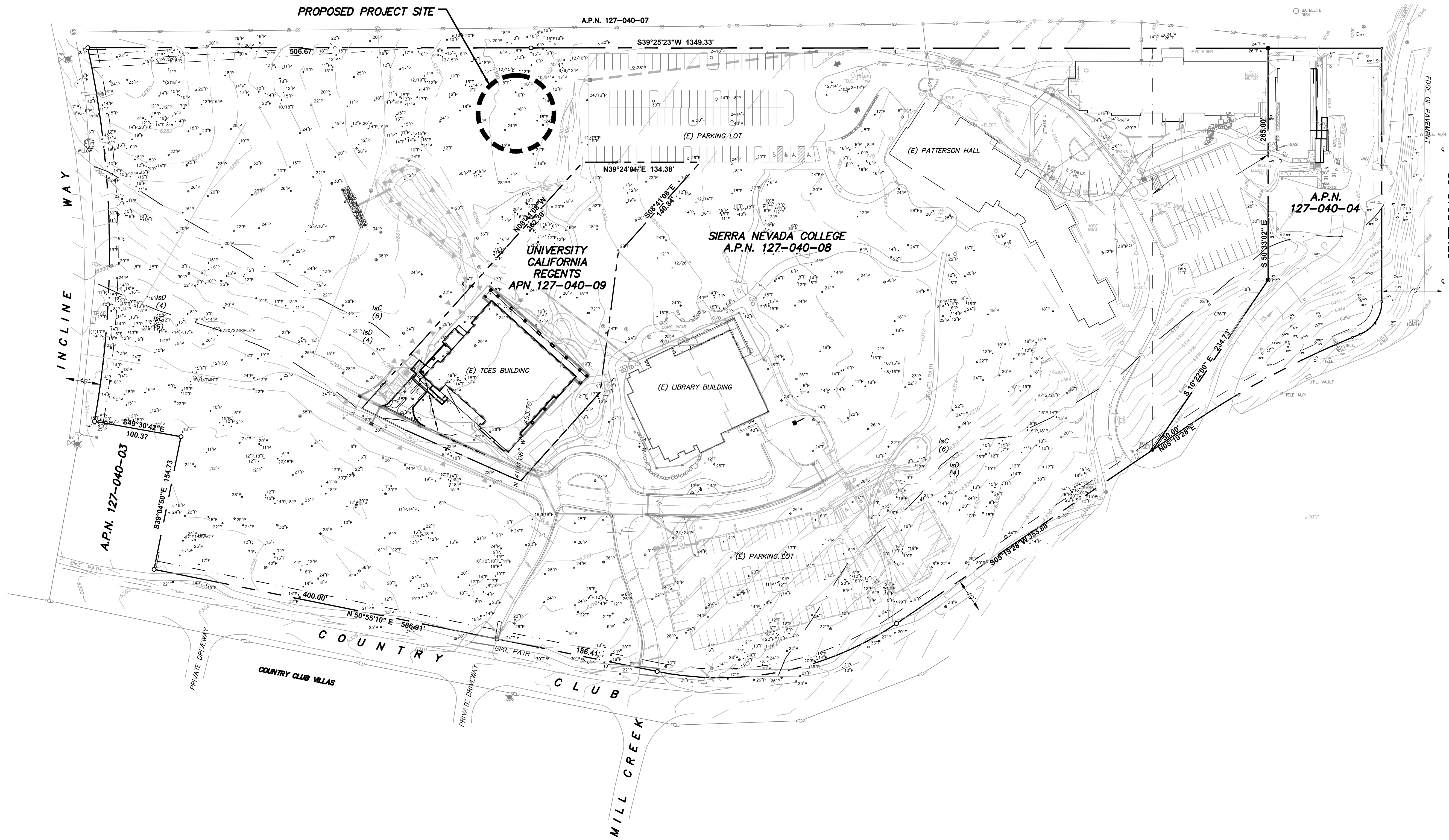
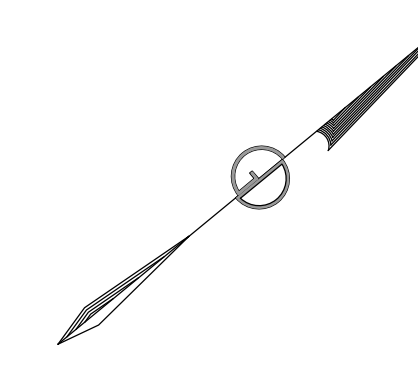
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GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.



| Issues and Revisions | | | | |
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Designed By *CMS*
Drafted By *CMS*
Checked By *GD*

Client Information *SIERRA NEVADA COLLEGE*
C/O DIANNE SEVERANCE
999 TAHOE BOULEVARD
INCLINE VILLAGE, NV 89451
(775) 881-7522

Project Number *764.60*

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Description

EXISTING SITE

Scale *1"=40'*
File *764.60 CO_EXISTING SITE.dwg*
Plot Date *DECEMBER 8, 2014*

CO

1 OF 8 SHEETS

P:\YZ_GDE_Pro\764.60 President Residence\Gary\Prelim\ncr\764.60 CO_EXISTING SITE.dwg

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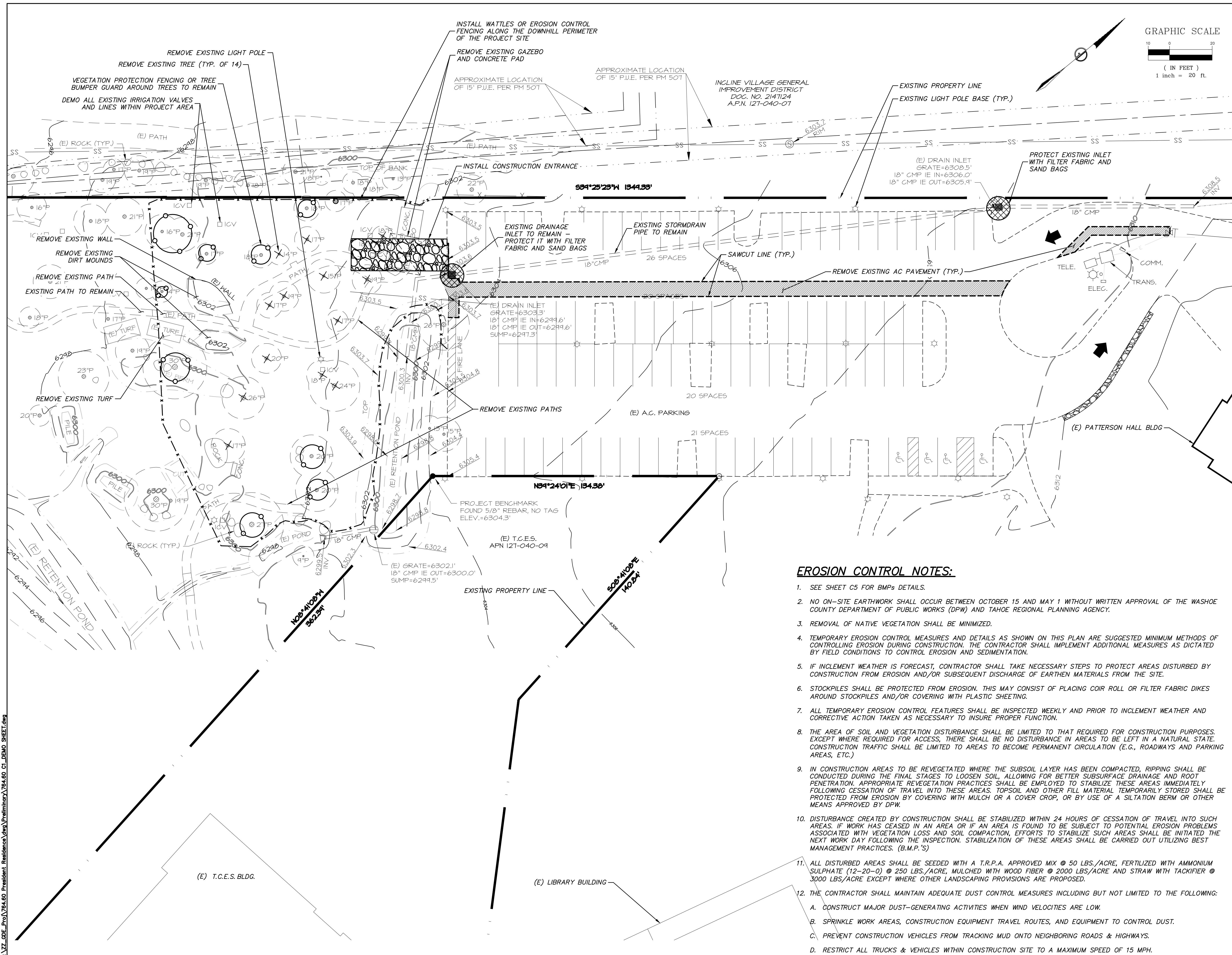
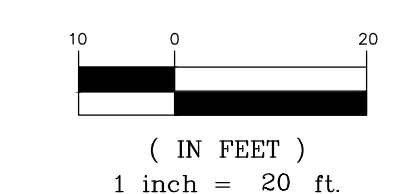
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GRAPHIC SCALE



EROSION CONTROL NOTES:

- SEE SHEET C5 FOR BMPs DETAILS.
- NO ON-SITE EARTHWORK SHALL OCCUR BETWEEN OCTOBER 15 AND MAY 1 WITHOUT WRITTEN APPROVAL OF THE WASHOE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) AND TAHOE REGIONAL PLANNING AGENCY.
- REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED.
- TEMPORARY EROSION CONTROL MEASURES AND DETAILS AS SHOWN ON THIS PLAN ARE SUGGESTED MINIMUM METHODS OF CONTROLLING EROSION DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS DICTATED BY FIELD CONDITIONS TO CONTROL EROSION AND SEDIMENTATION.
- IF INCLEMENT WEATHER IS FORECAST, CONTRACTOR SHALL TAKE NECESSARY STEPS TO PROTECT AREAS DISTURBED BY CONSTRUCTION FROM EROSION AND/OR SUBSEQUENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE.
- STOCKPILES SHALL BE PROTECTED FROM EROSION. THIS MAY CONSIST OF PLACING COIR ROLL OR FILTER FABRIC DIKES AROUND STOCKPILES AND/OR COVERING WITH PLASTIC SHEETING.
- ALL TEMPORARY EROSION CONTROL FEATURES SHALL BE INSPECTED WEEKLY AND PRIOR TO INCLEMENT WEATHER AND CORRECTIVE ACTION TAKEN AS NECESSARY TO INSURE PROPER FUNCTION.
- THE AREA OF SOIL AND VEGETATION DISTURBANCE SHALL BE LIMITED TO THAT REQUIRED FOR CONSTRUCTION PURPOSES. EXCEPT WHERE REQUIRED FOR ACCESS, THERE SHALL BE NO DISTURBANCE IN AREAS TO BE LEFT IN A NATURAL STATE. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO AREAS TO BECOME PERMANENT CIRCULATION (E.G., ROADWAYS AND PARKING AREAS, ETC.)
- IN CONSTRUCTION AREAS TO BE REVEGETATED WHERE THE SUBSOIL LAYER HAS BEEN COMPACTED, RIPPING SHALL BE CONDUCTED DURING THE FINAL STAGES TO LOOSEN SOIL, ALLOWING FOR BETTER SUBSURFACE DRAINAGE AND ROOT PENETRATION. APPROPRIATE REVEGETATION PRACTICES SHALL BE EMPLOYED TO STABILIZE THESE AREAS IMMEDIATELY FOLLOWING CESSATION OF TRAVEL INTO THESE AREAS. TOPSOIL AND OTHER FILL MATERIAL TEMPORARILY STORED SHALL BE PROTECTED FROM EROSION BY COVERING WITH MULCH OR A COVER CROP, OR BY USE OF A SILTATION BERM OR OTHER MEANS APPROVED BY DPW.
- DISTURBANCE CREATED BY CONSTRUCTION SHALL BE STABILIZED WITHIN 24 HOURS OF CESSATION OF TRAVEL INTO SUCH AREAS. IF WORK HAS CEASED IN AN AREA OR IF AN AREA IS FOUND TO BE SUBJECT TO POTENTIAL EROSION PROBLEMS ASSOCIATED WITH VEGETATION LOSS AND SOIL COMPACTON, EFFORTS TO STABILIZE SUCH AREAS SHALL BE INITIATED THE NEXT WORK DAY FOLLOWING THE INSPECTION. STABILIZATION OF THESE AREAS SHALL BE CARRIED OUT UTILIZING BEST MANAGEMENT PRACTICES. (B.M.P.'S)
- ALL DISTURBED AREAS SHALL BE SEEDED WITH A T.R.P.A. APPROVED MIX @ 50 LBS./ACRE, FERTILIZED WITH AMMONIUM SULPHATE (12-20-0) @ 250 LBS./ACRE, MULCHED WITH WOOD FIBER @ 2000 LBS./ACRE AND STRAW WITH TACKIFIER @ 3000 LBS./ACRE EXCEPT WHERE OTHER LANDSCAPING PROVISIONS ARE PROPOSED.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE DUST CONTROL MEASURES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - CONSTRUCT MAJOR DUST-GENERATING ACTIVITIES WHEN WIND VELOCITIES ARE LOW.
 - SPRINKLE WORK AREAS, CONSTRUCTION EQUIPMENT TRAVEL ROUTES, AND EQUIPMENT TO CONTROL DUST.
 - PREVENT CONSTRUCTION VEHICLES FROM TRACKING MUD ONTO NEIGHBORING ROADS & HIGHWAYS.
 - RESTRICT ALL TRUCKS & VEHICLES WITHIN CONSTRUCTION SITE TO A MAXIMUM SPEED OF 15 MPH.

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Designed By *CMS*
 Drafted By *CMS*
 Checked By *GD*

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Project Number *764.60*
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Description
DEMOLITION & TEMPORARY EROSION CONTROL
 Scale *1"=20'*
 File *764.60 C1_DEMO SHEET.dwg*
 Plot Date *DECEMBER 8, 2014*

C1

2 OF 8 SHEETS

P:\Z\BDE_Pro\764.60 President Residence.dwg Preliminary\764.60 C1_DEMO SHEET.dwg

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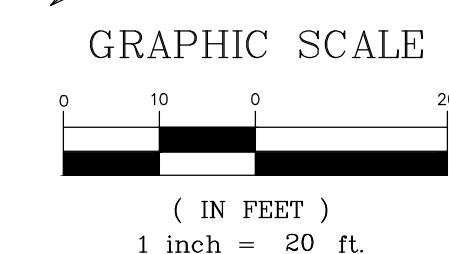
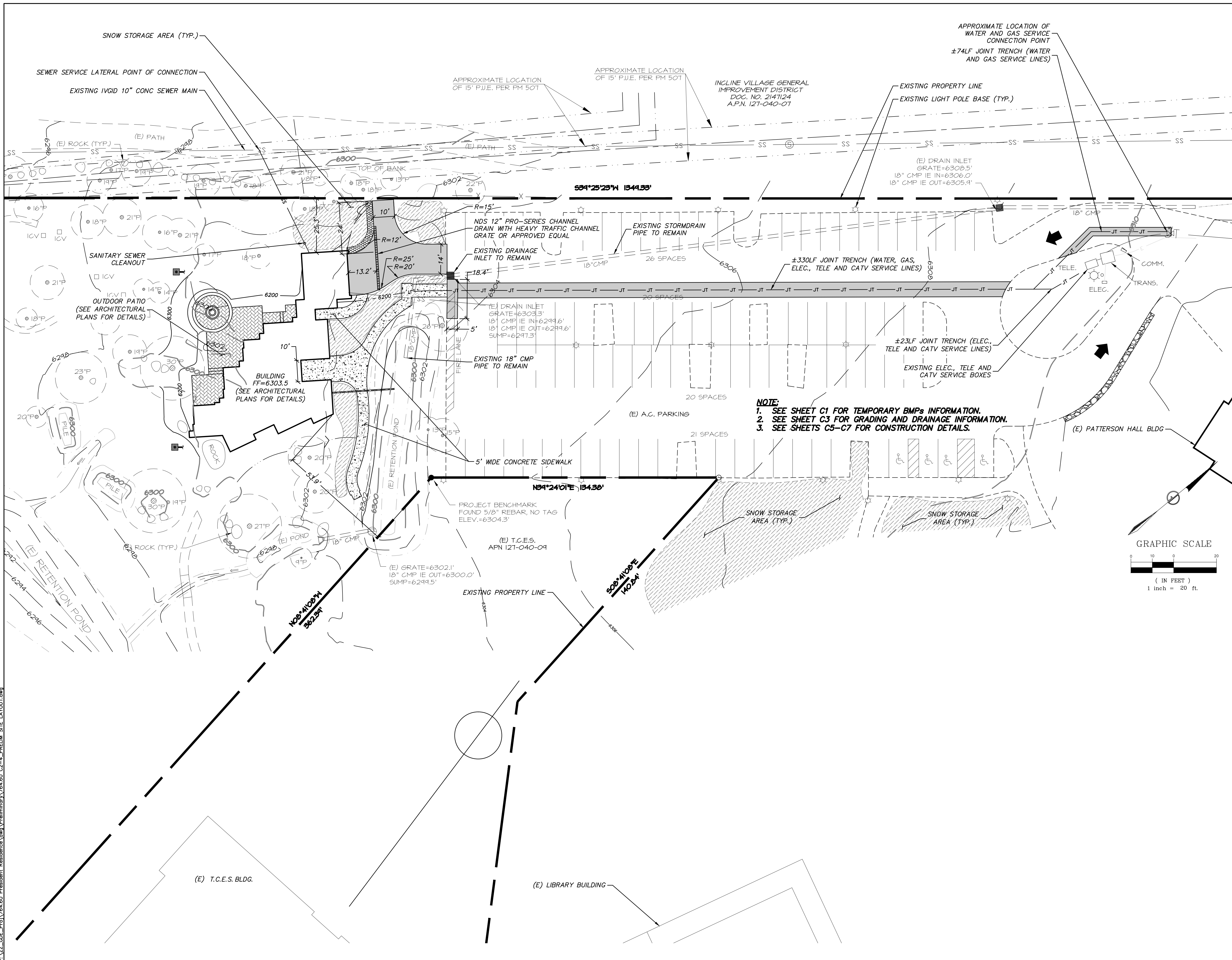
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Description
SITE LAYOUT & UTILITIES

Scale *1"=20'*
File *764.60 C2-4_PRELIM SITE LAYOUT.dwg*
Plot Date *DECEMBER 8, 2014*

C2

3 OF 8 SHEETS

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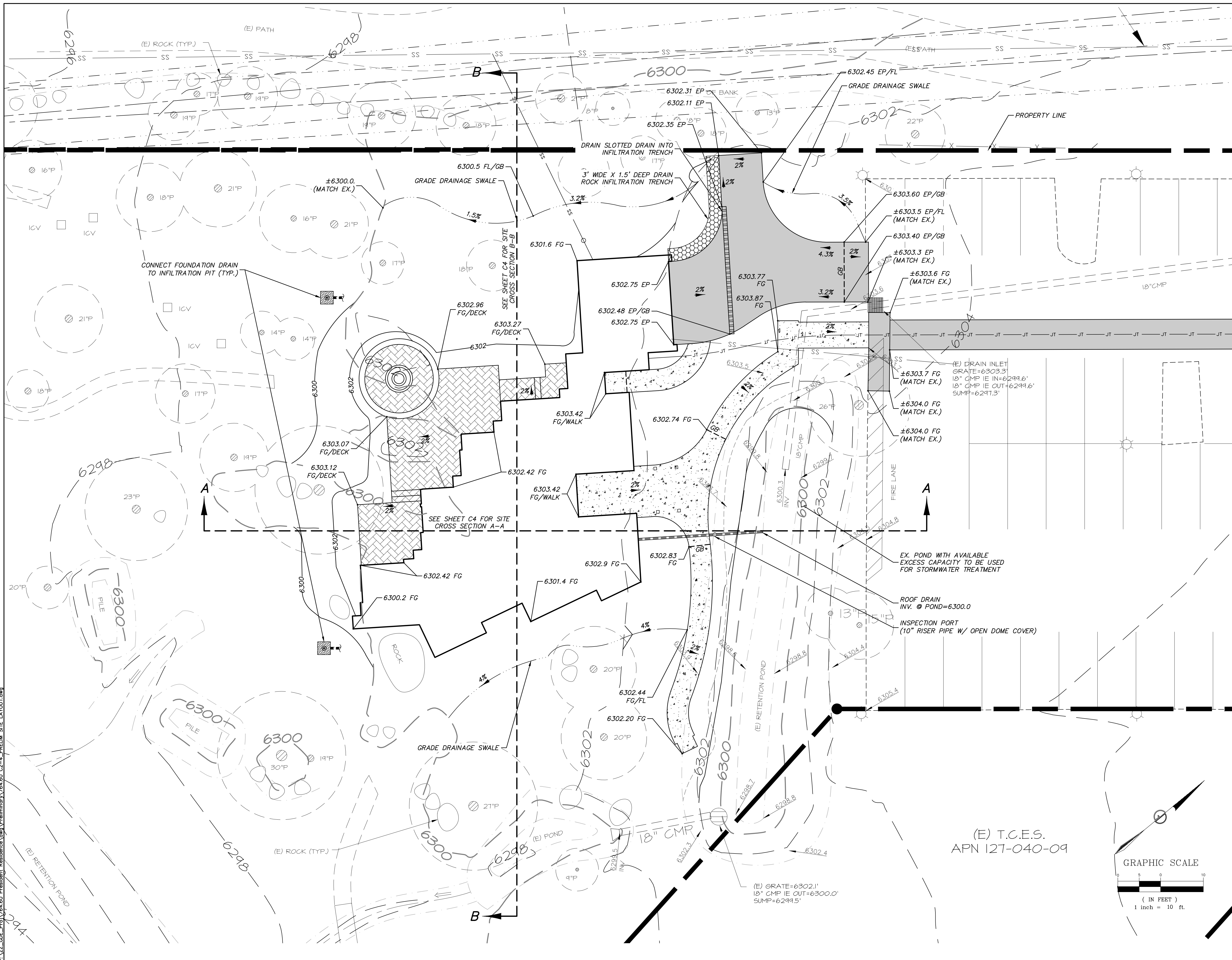
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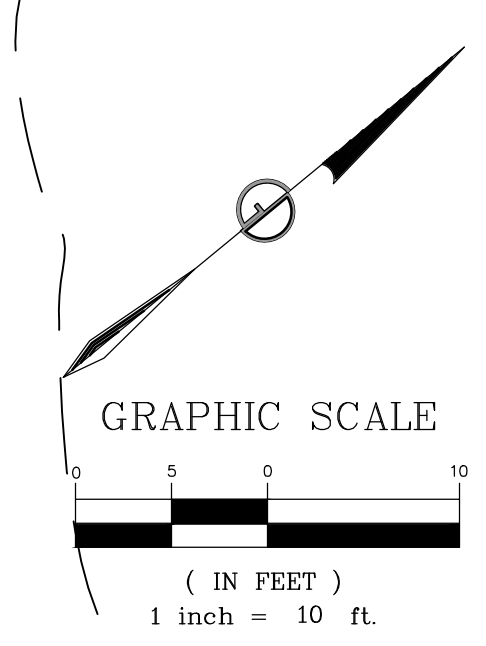
Description

GRADING & DRAINAGE SHEET

Scale *1"=10'*
 File *764.60 C2-4_PRELIM SITE LAYOUT.dwg*
 Plot Date *DECEMBER 8, 2014*

C3

4 OF 8 SHEETS



(E) T.C.E.S.
APN 127-040-09

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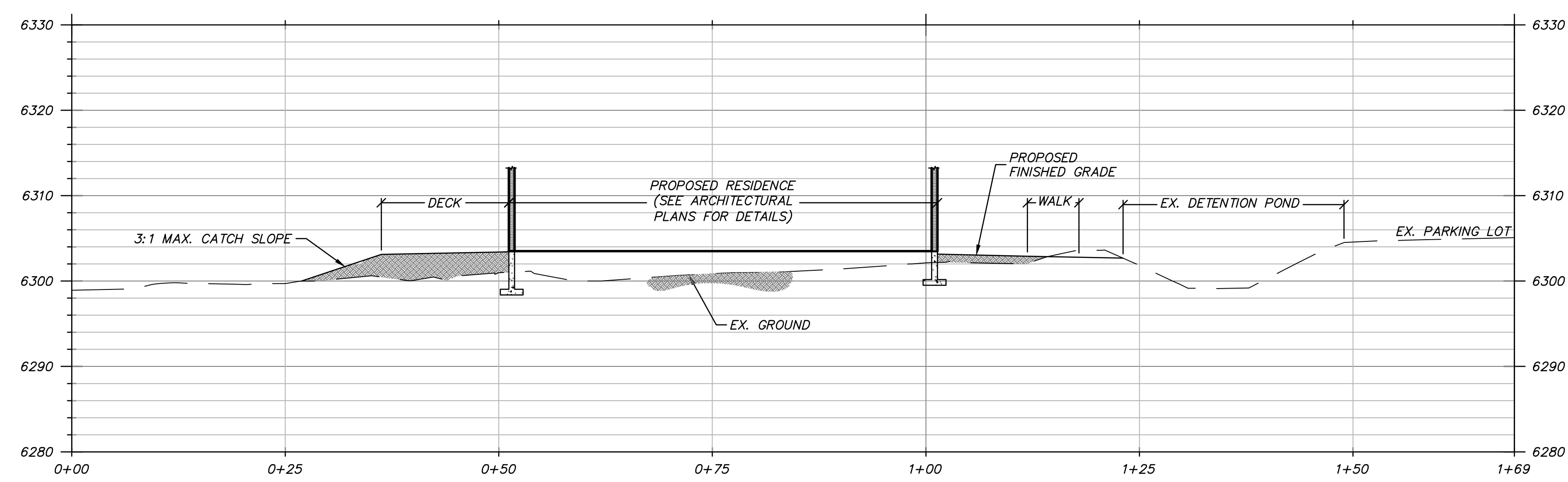
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APN 127-040.08

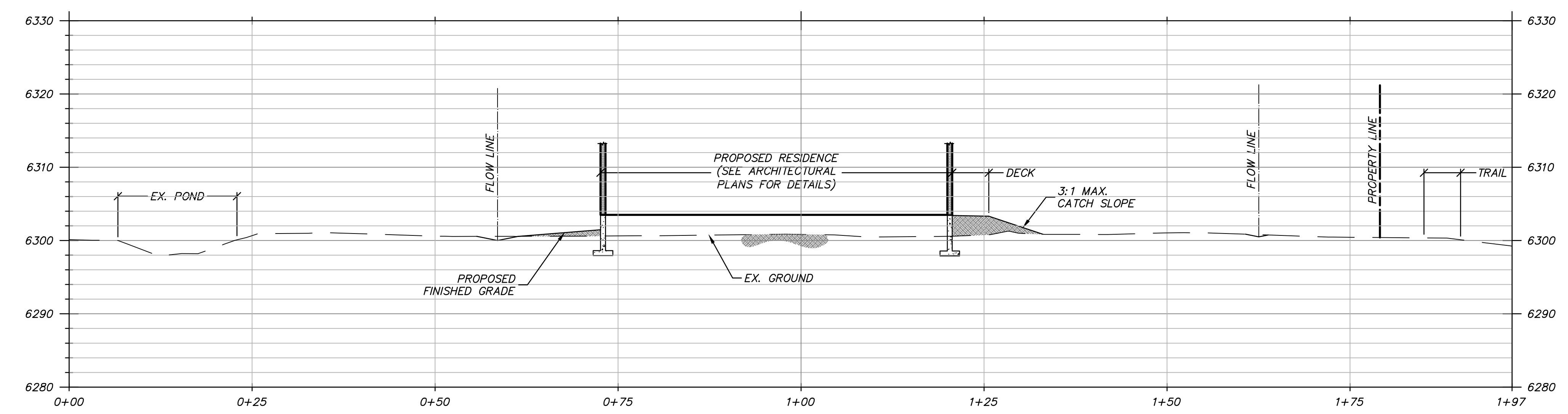
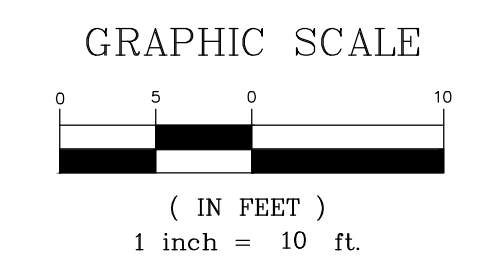
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SITE CROSS SECTION A-A
SCALE H: 1:10; V: 1:10



SITE CROSS SECTION B-B
SCALE H: 1:10; V: 1:10

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Description

SITE CROSS SECTIONS

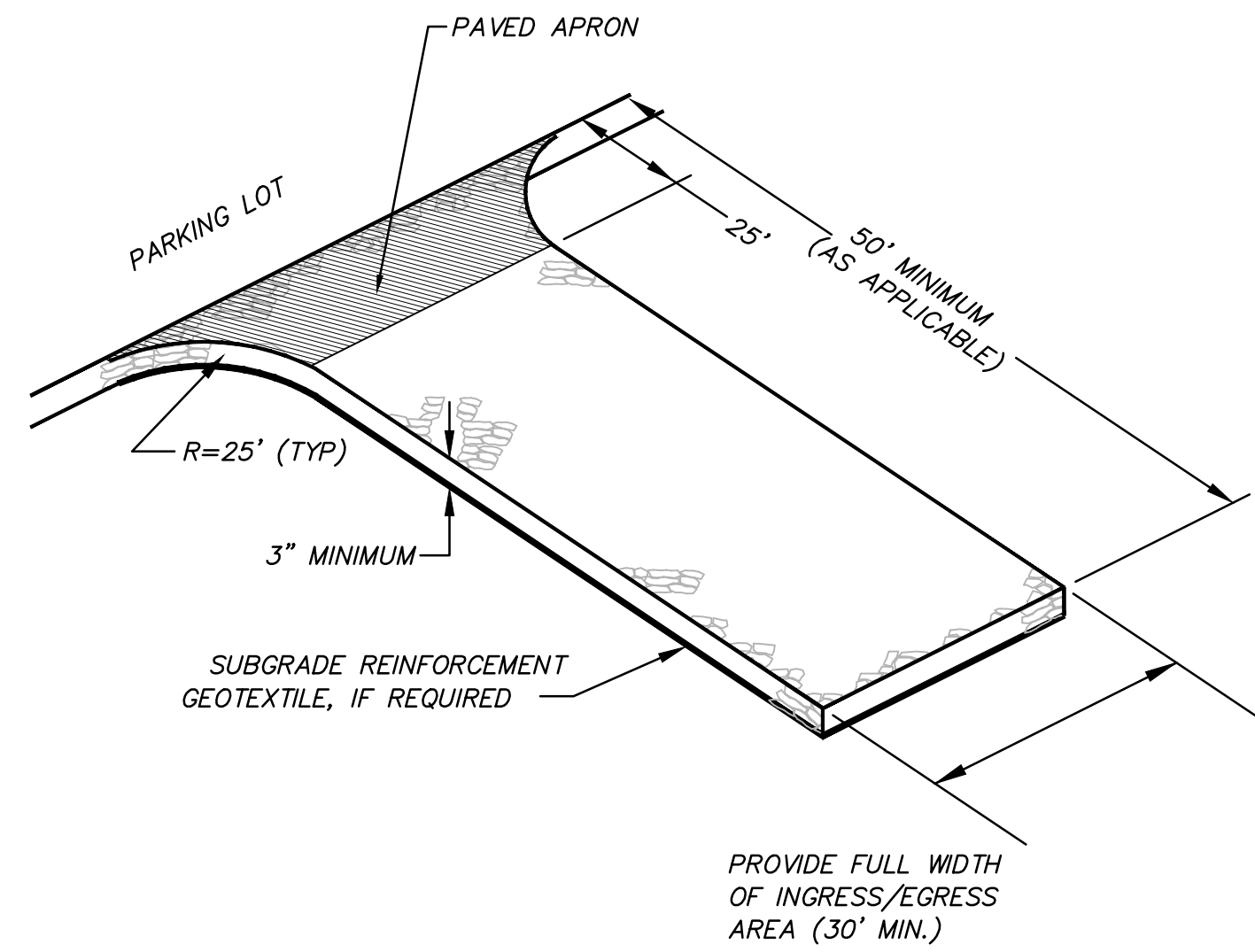
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Plot Date DECEMBER 8, 2014

C4

5 OF 8 SHEETS

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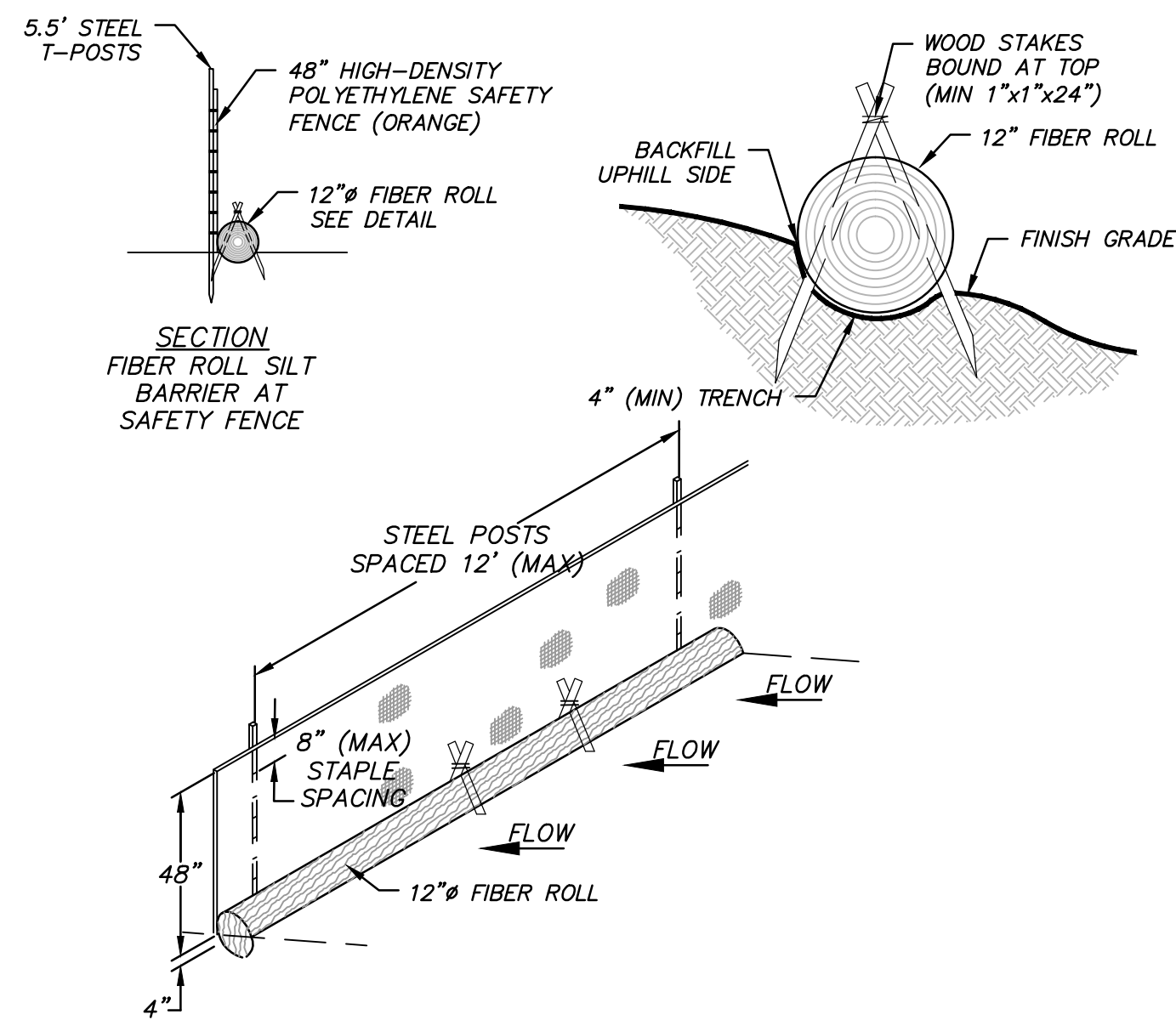
NOTES

1. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS. LOCATION TO BE APPROVED BY TUPUD.
2. THE AGGREGATE SHALL BE 2 IN. CRUSHED ROCK OR 1 TO 3 IN. DIAMETER WASHED WELL-GRADED GRAVEL.
3. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
4. THE ENTRANCE SHALL BE CONSTRUCTED ON LEVEL GROUND.
5. PERIODIC TOP DRESSING WITH ADDITIONAL STONE SHALL BE PROVIDED TO ENSURE THE INTEGRITY OF THE ENTRANCE DURING CONSTRUCTION.
6. THE ENTRANCE SHALL BE INSPECTED MONTHLY AND AFTER EACH RAINFALL.
7. CRUSHED ROCK MATERIAL SHALL BE ADDED WHEN SURFACE VOIDS ARE NOT VISIBLE.
8. ALL SEDIMENT DEPOSITS ON PAVED SURFACES SHALL BE REMOVED WITHIN 24 HOURS.
9. THE CRUSHED ROCK AND GEOTEXTILE SHALL BE REMOVED AT COMPLETION OF CONSTRUCTION.
10. A PAVED APRON ENTRANCE IS REQUIRED. THE ROCK CONSTRUCTION ENTRANCE IS TO BE ADDED TO THE END OF THE TEMPORARY PAVED APRON. THE PAVED APRON SHALL BE PROVIDED WITHIN ONE WEEK OF THE COMMENCEMENT OF GRADING. PAVED APRONS SHALL BE FLUSHED AND/OR SWEEPED AT LEAST ONCE DAILY. PAVED APRON SHALL BE A MINIMUM OF 2" AC ON 6" AB.

1

CONSTRUCTION ENTRANCE

N.T.S.



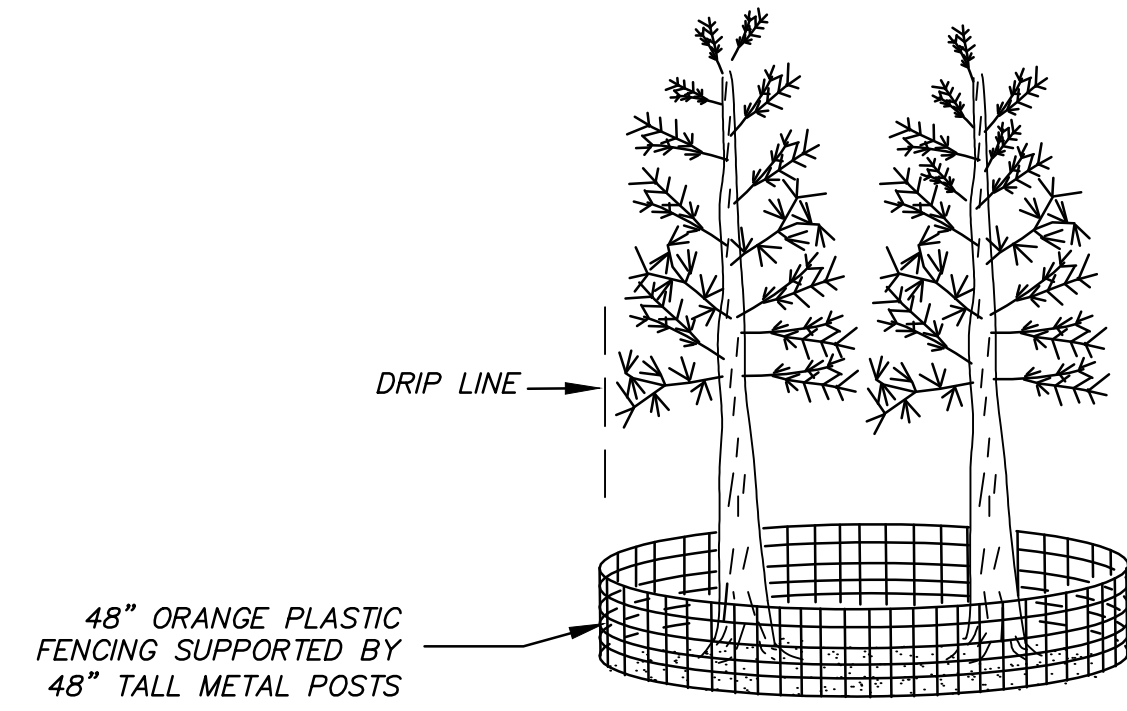
NOTES:

1. FIBER ROLL SHALL NOT BE MADE FROM STRAW. FIBER ROLLS SHALL BE BOUND BY HIGH STRENGTH COIR NETTING, AND HAVE A MINIMUM WEIGHT OF 6 LBS PER LINEAL FOOT.
2. ORANGE SAFETY FENCE IS INTENDED TO PROTECT FIBER ROLLS FROM COMPRESSION BY VEHICLES, CONSTRUCTION EQUIPMENT, ETC. FENCES SHALL BE HIGH DENSITY POLYETHYLENE WITH A MESH OPENING OF APPROXIMATELY 1 INCH BY 4 INCHES AND A MINIMUM HEIGHT OF 4 FEET. SAFETY FENCE MAY BE OMITTED IN LOW TRAFFIC AREAS.
3. FIBER ROLL SILT BARRIER SHALL BE INSTALLED ALONG CONTOUR AND ON SLOPES 5H:1V OR FLATTER UNLESS OTHERWISE APPROVED BY TRPA.
4. THE INSTALLATION CONFIGURATION SHALL PREVENT RUNOFF FROM LEAVING THE SITE OR ENTERING A WATERCOURSE WITHOUT PASSING THROUGH A SILT BARRIER.
5. THE MAXIMUM LENGTH OF SLOPE DRAINING TO THE SILT BARRIER SHALL BE 100 FEET.
6. FIBER ROLL SHALL BE INSTALLED BY SHAPING A 4 INCH DEEP FURROW TO MATCH THE SHAPE OF THE LOG, SECURING IN FURROW WITH WOOD STAKES, AND TAMPING THE GROUND AROUND THE FIBER ROLL TO FILL VOIDS BETWEEN THE LOG AND THE GROUND.
7. CONTRACTOR MAY ELECT TO WEIGHT DOWN ROLLS WITH SAND BAGS AS ALTERNATIVE, IF APPROVED BY ENGINEER.

2

WATTLE DETAIL

N.T.S.

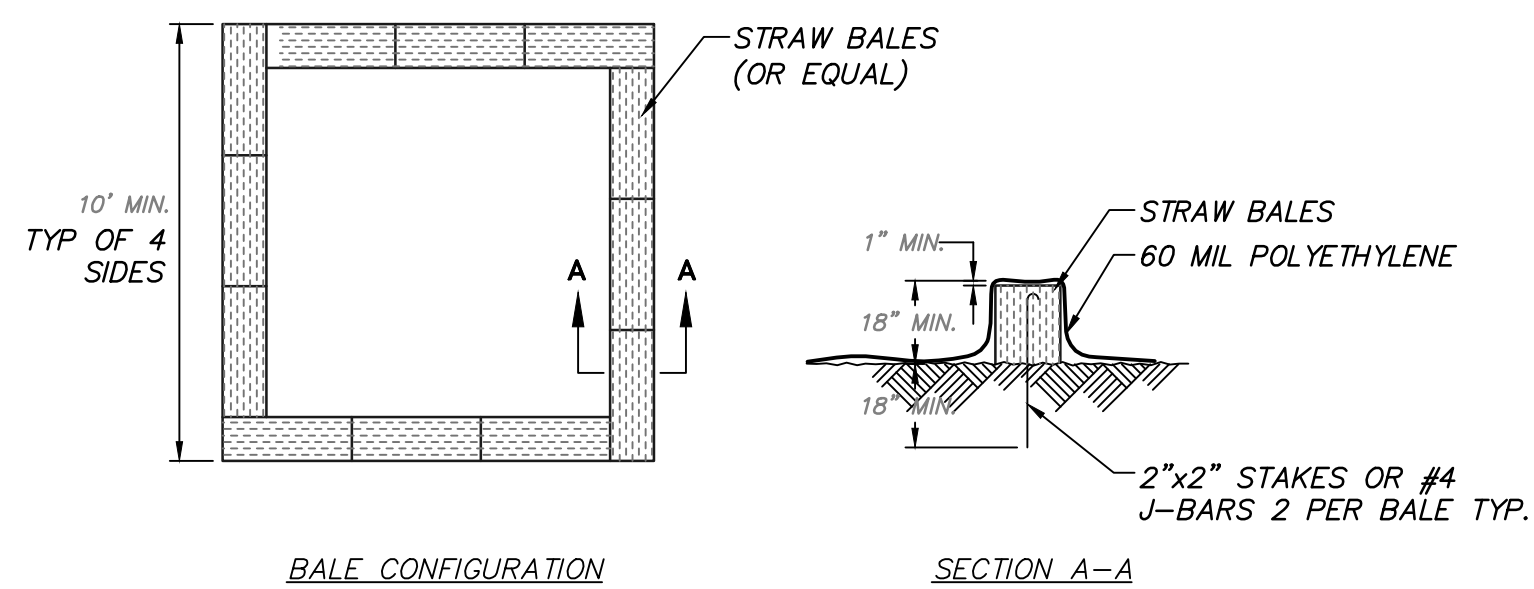


2"x6"x6' LUMBER TIED TIGHTLY TO TREE WITH POLY ROPE. 8" GAPS MAXIMUM. PROTECT 50% OF CIRCUMFERENCE ON SIDE FACING CONSTRUCTION ACTIVITY.

4

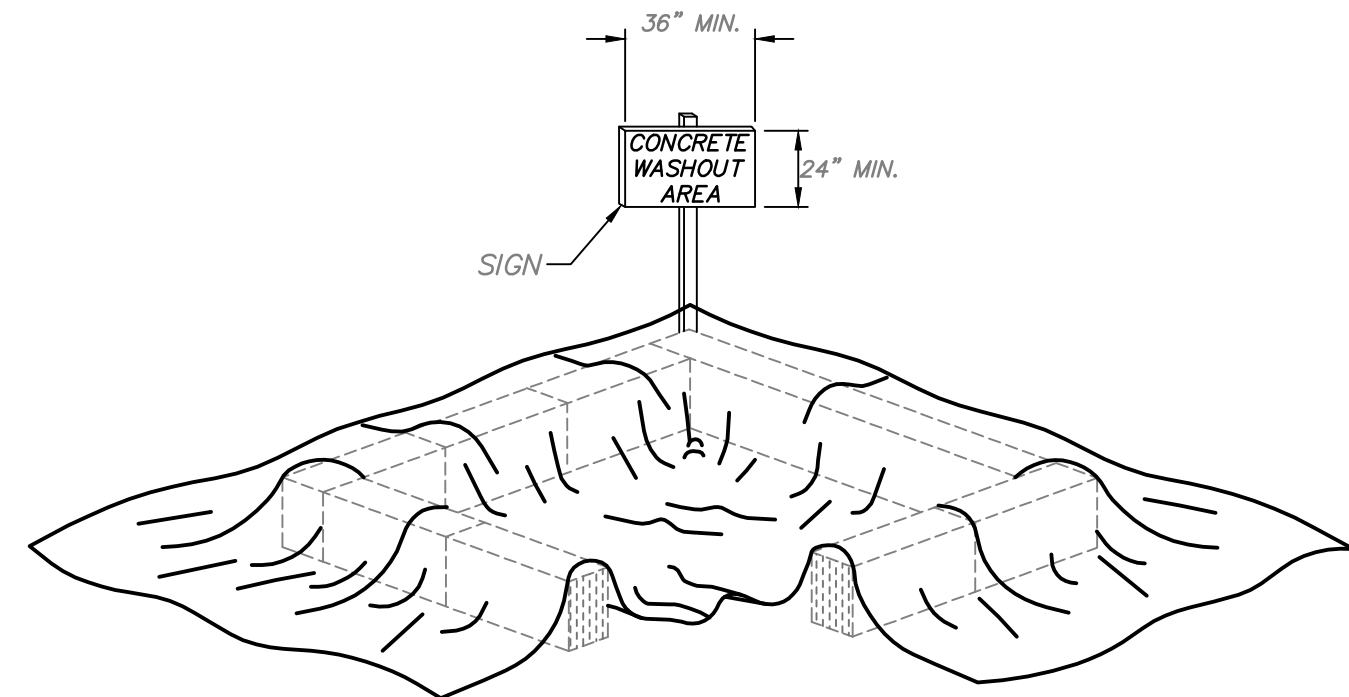
TREE BUMPER GUARD

N.T.S.



BALE CONFIGURATION

SECTION A-A



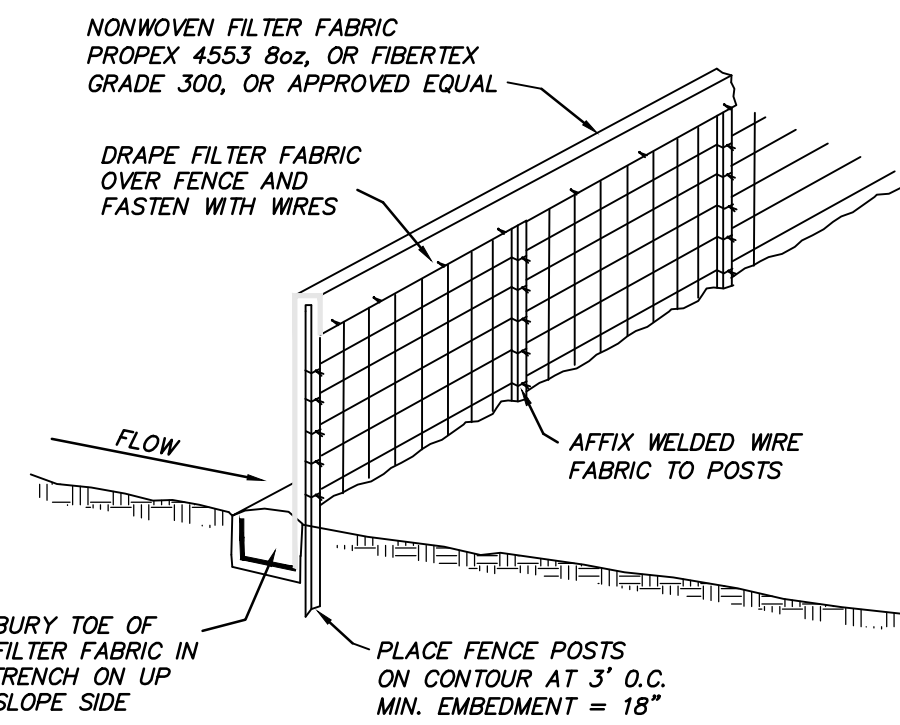
NOTES:

1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES.

5

CONCRETE WASHOUT CROSS-SECTION

N.T.S.

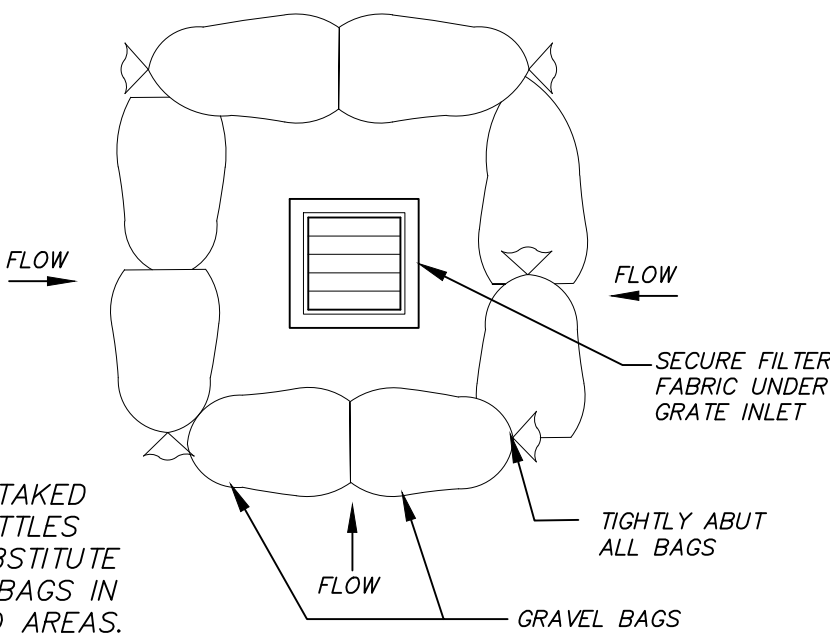


NOTE: FENCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION TO MITIGATE THE EFFECTS OF EROSION & REMOVED UPON COMPLETION OF THE PROJECT.

6

EROSION CONTROL FENCING

N.T.S.



NOTE: STAKED COIR WATTLES MAY SUBSTITUTE GRAVEL BAGS IN UNPAVED AREAS.

7

SANDBAG INLET PROTECTION

N.T.S.

WINTERIZATION NOTES:

1. WINTERIZATION IS REQUIRED ON ALL CONSTRUCTION SITES WHICH ARE ACTIVE OR INACTIVE BETWEEN OCTOBER 15 AND MAY 1.
2. ALL TEMPORARY EROSION CONTROL FEATURES SHALL REPAIRED AND FUNCTIONING PROPERLY BY OCTOBER 15.
3. TEMPORARY VEGETATION PROTECTION FENCING SHALL BE IN PLACE AND/OR INSPECTED.
4. DISTURBED AREAS SHALL BE STABILIZED (SEE EROSION CONTROL NOTES).
5. ON-SITE CONSTRUCTION SLASH AND DEBRIS SHALL BE CLEANED UP AND REMOVED FROM SITE.
6. PERMANENT BMPs SHALL BE INSTALLED WHEREVER FEASIBLE.
7. IF THE SITE WILL BE ACTIVE BETWEEN OCTOBER 15 AND MAY 1, ALL PERMANENT BMPs MUST BE IN PLACE, SPECIALLY PAVING OF DRIVEWAY AND PARKING AREAS.
8. ALL FILL MATERIAL RETAINED FOR FUTURE BACKFILL MUST BE PROTECTED BY SEDIMENT BARRIERS AND BE COVERED WITH PLASTIC OR OTHER IMPERVIOUS MATERIAL.
9. ANY EXCESS EXCAVATED EARTHEN MATERIALS SHALL BE REMOVED FROM SITE.

TAHOE REGIONAL PLANNING AGENCY NOTES:

1. ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION NOT BEING LANDSCAPED SHALL BE RE-VEGETATED IN ACCORDANCE WITH TAHOE REGIONAL PLANNING AGENCY HANDBOOK OF BEST MANAGEMENT PRACTICES.
2. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT.
3. PROVIDE 3" LAYER OF GRAVEL (PEA OR 3/4" DRAINROCK) BENEATH ALL RAISED DECKS AND STAIRS.
4. ALL PLANTINGS SHALL BE NATIVE SPECIES, NO FERTILIZER SHALL BE USED ON SITE.
5. LOCATE FENCING WITHIN PARCEL PROPERTY AND NO MORE THAN 12' FROM ANY STRUCTURE FOOTPRINT, DRIVEWAY, OR LIMITS OF GRADING. EROSION CONTROL FENCING MAY DOUBLE AS VEGETATION PROTECTION FENCING IN AREAS WHERE ITS PLACEMENT IS IN CONFORMANCE TO VEGETATION PROTECTION FENCING PLACEMENT. NEITHER VEGETATION PROTECTION FENCING OR EROSION CONTROL FENCING MAY BE CROSSED WITH CONSTRUCTION EQUIPMENT OR ACTIVITIES.
6. STAGING AREA SHALL BE ANY AND ALL PORTIONS OF EXISTING PARKING LOT.
7. IF REQUIRED BY SITE CONDITIONS, ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF PINE NEEDLES OR WOOD CHIPS AS A DUST CONTROL MEASURE. THIS MULCH SHALL BE MAINTAINED FROM COMPLETION OF INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.
8. NO MATERIAL OR EQUIPMENT SHALL ENTER OR BE PLACED IN THE AREAS PROTECTED BY FENCING OR OUTSIDE THE CONSTRUCTION AREAS WITHOUT APPROVAL FROM TAHOE REGIONAL PLANNING AGENCY.
9. CONTRACTOR TO REFER TO TAHOE REGIONAL PLANNING AGENCY PERMIT FOR ADDITIONAL REQUIREMENTS.

GENERAL NOTES:

1. TREE PROTECTION SHALL APPLY TO ALL EXISTING TREES TO REMAIN WITHIN 10 FEET OF ANY CONSTRUCTION.
2. ALL EXISTING TREES ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS.
3. CONTRACTOR TO ENSURE NO SEDIMENT RELEASE OR TRACKOUT OCCURS DURING CONSTRUCTION.

8

TEMPORARY BMP'S GENERAL NOTES

N.T.S.

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Drafted By *CMS*
Checked By *GD*

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Project Number *764.60*

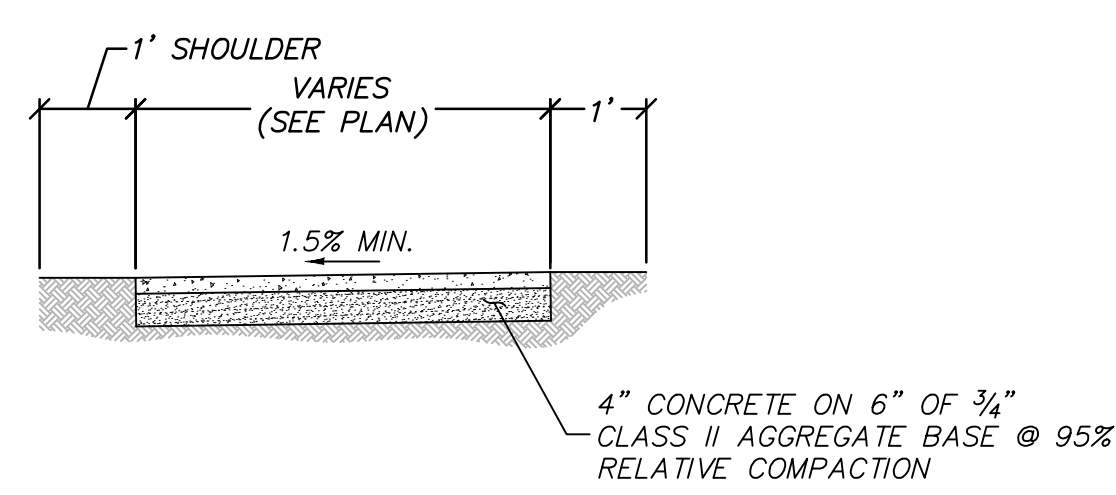
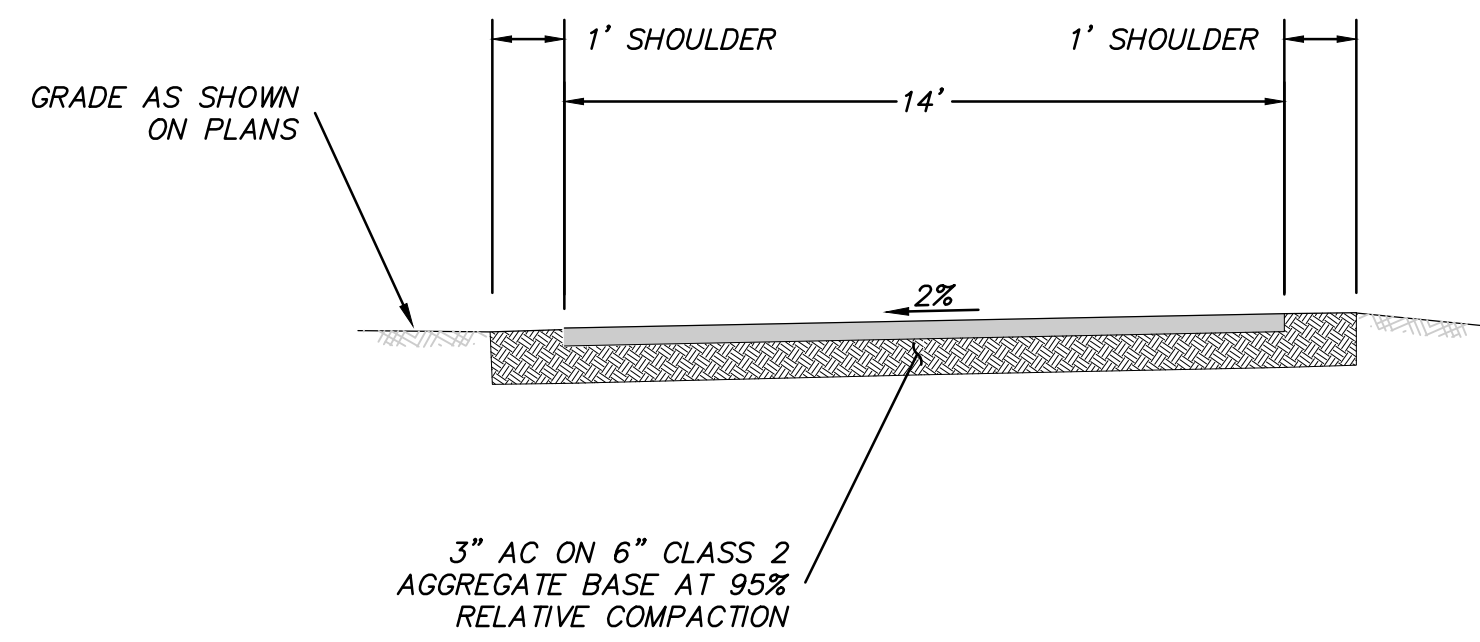
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TEMPORARY EROSION CONTROL DETAILS

Scale *AS NOTED*
File *764.60 C5-6_DETAILS.dwg*
Plot Date *DECEMBER 8, 2014*

C5

6 OF 8 SHEETS



NOTES:

1. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6.25 SACKS OF TYPE II CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ± 1.5%, SLUMP AT 1 TO 4 INCHES.
2. PCC WALKS SHALL HAVE EXPANSION JOINTS EVERY 30 FEET AND WEAKENED PLANE JOINTS EVERY 10 FEET.
3. AGGREGATE BASE SHALL BE TYPE 2, CLASS B.
4. 1/2" (13MM) PRE-MOLDED JOINT FILLER SHALL BE INSTALLED IN EXPANSION JOINTS AT 18' INTERVALS.

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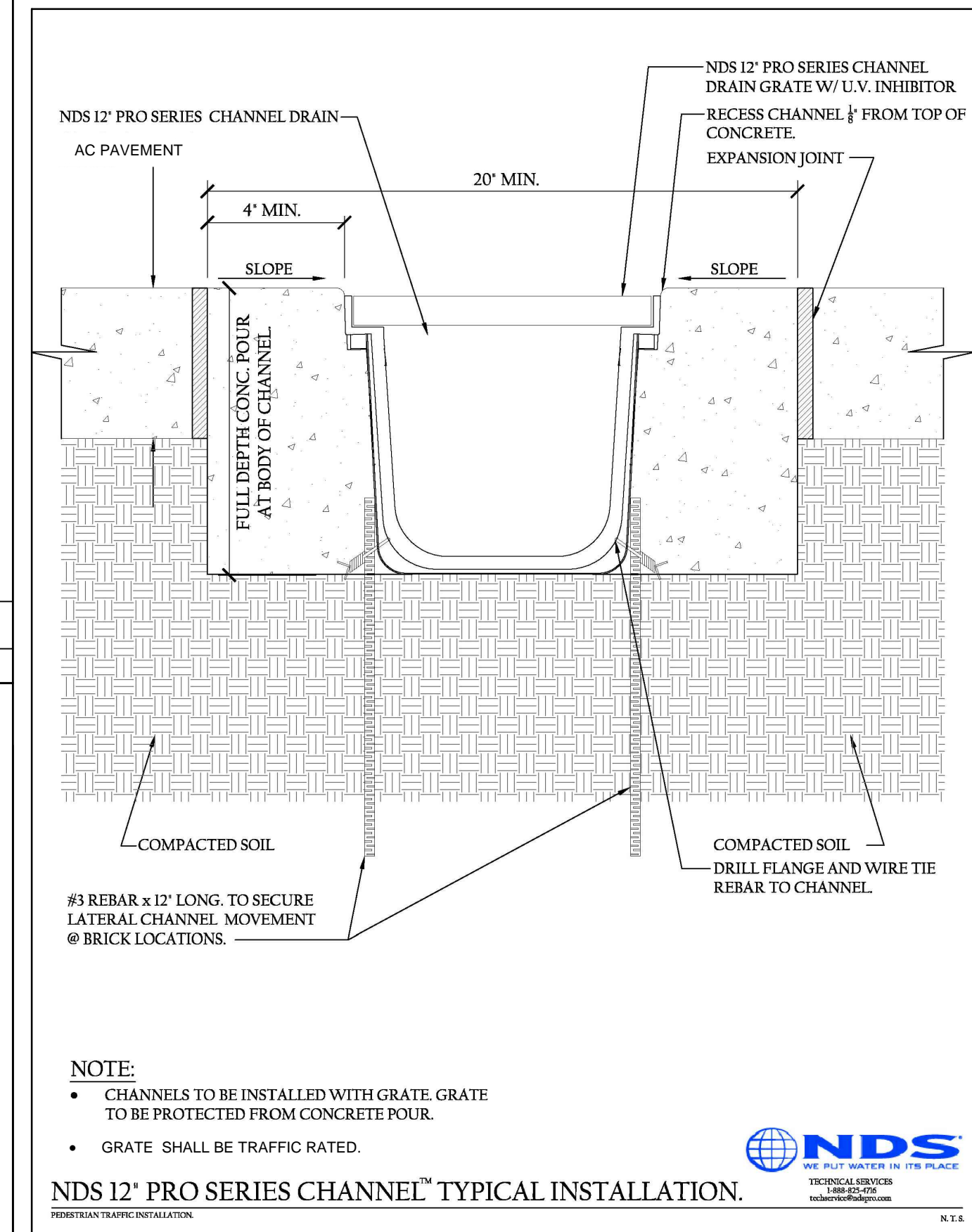
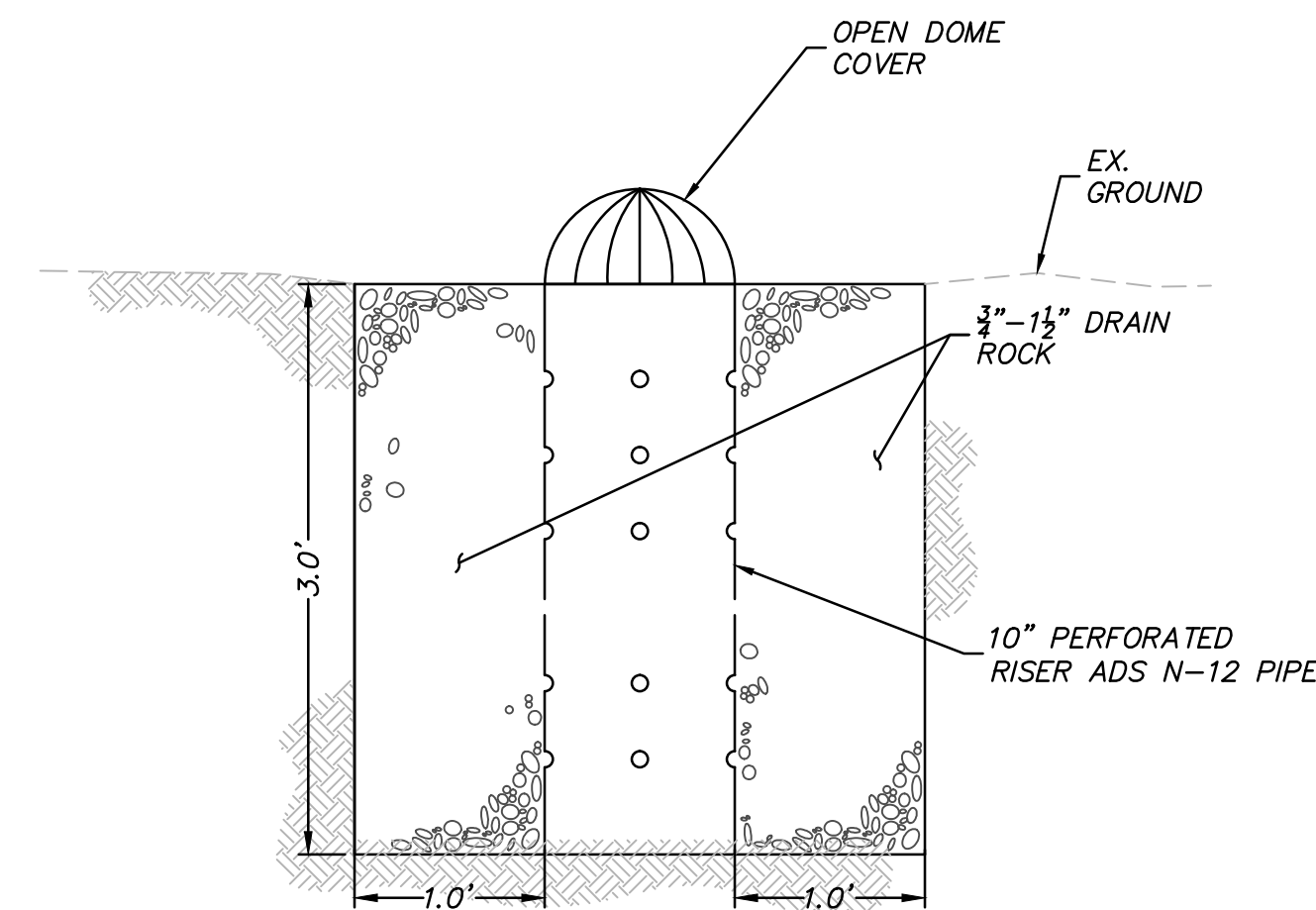
CONSTRUCTION ENTRANCE

N.T.S.

2

TYPICAL CONCRETE WALK

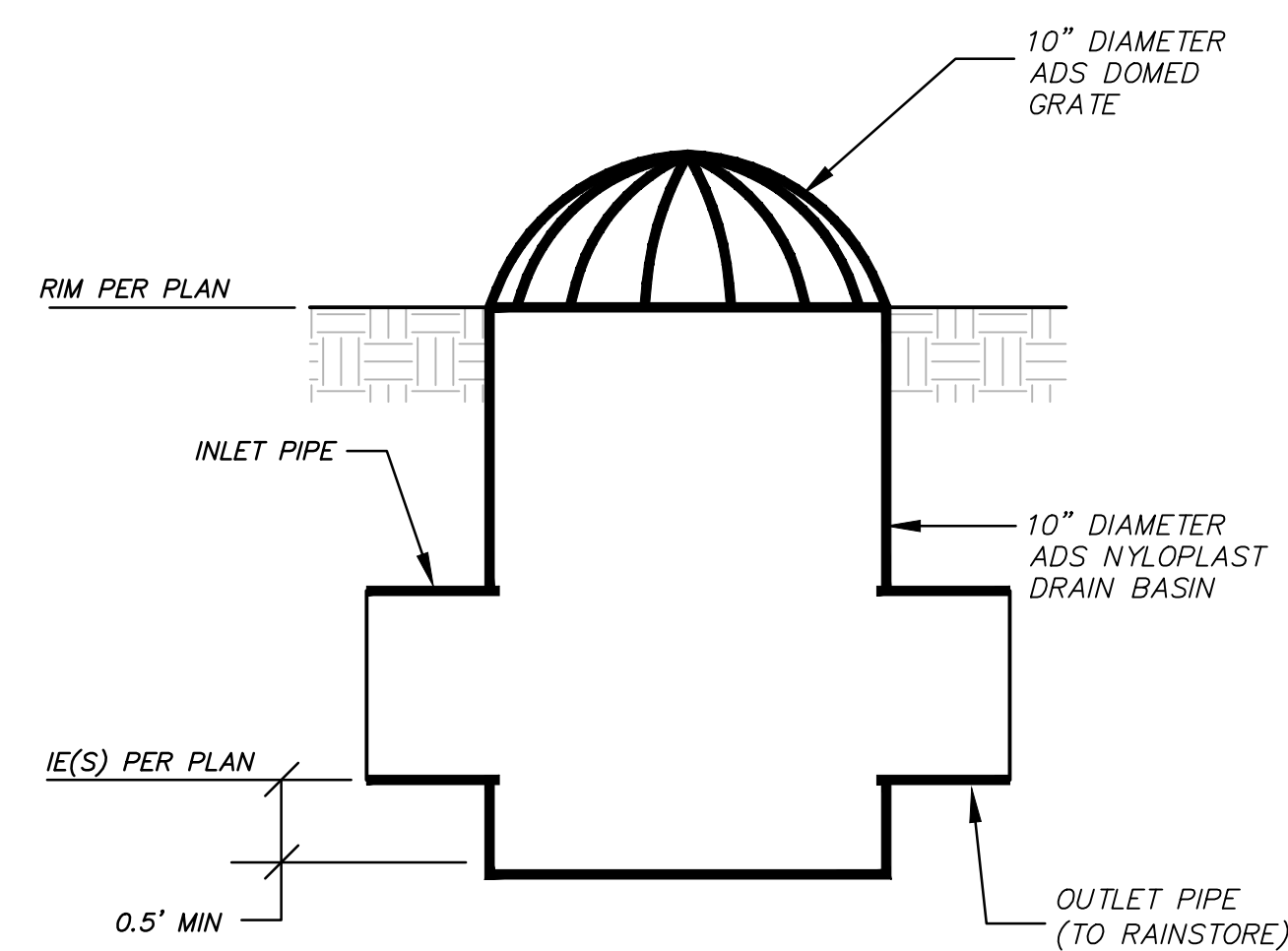
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3

FOUNDATION DRAIN INFILTRATION PIT

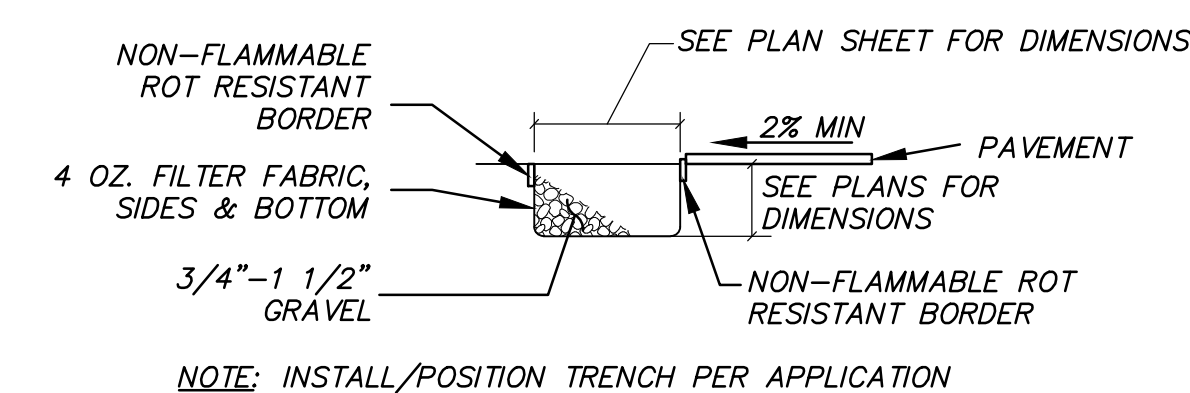
N.T.S.



4

ADS RISER PIPE

N.T.S.



6

INFILTRATION TRENCH

N.T.S.

5

INFILTRATION TRENCH

N.T.S.

| Issues and Revisions | | | | |
|----------------------|------|------------------|----|-------|
| No. | Date | Issue & Revision | By | Check |
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Designed By *CMS*
Drafted By *CMS*
Checked By *GD*

Client Information *SIERRA NEVADA COLLEGE*
C/O DIANNE SEVERANCE
999 TAHOE BOULEVARD
INCLINE VILLAGE, NV 89451
(775) 881-7522

Project Number *764.60*

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Description

CIVIL & DRAINAGE DETAILS

Scale *1"=60'*
File *764.60 C5-6_DETAILS.dwg*
Plot Date *DECEMBER 8, 2014*

C6

7 OF 8 SHEETS

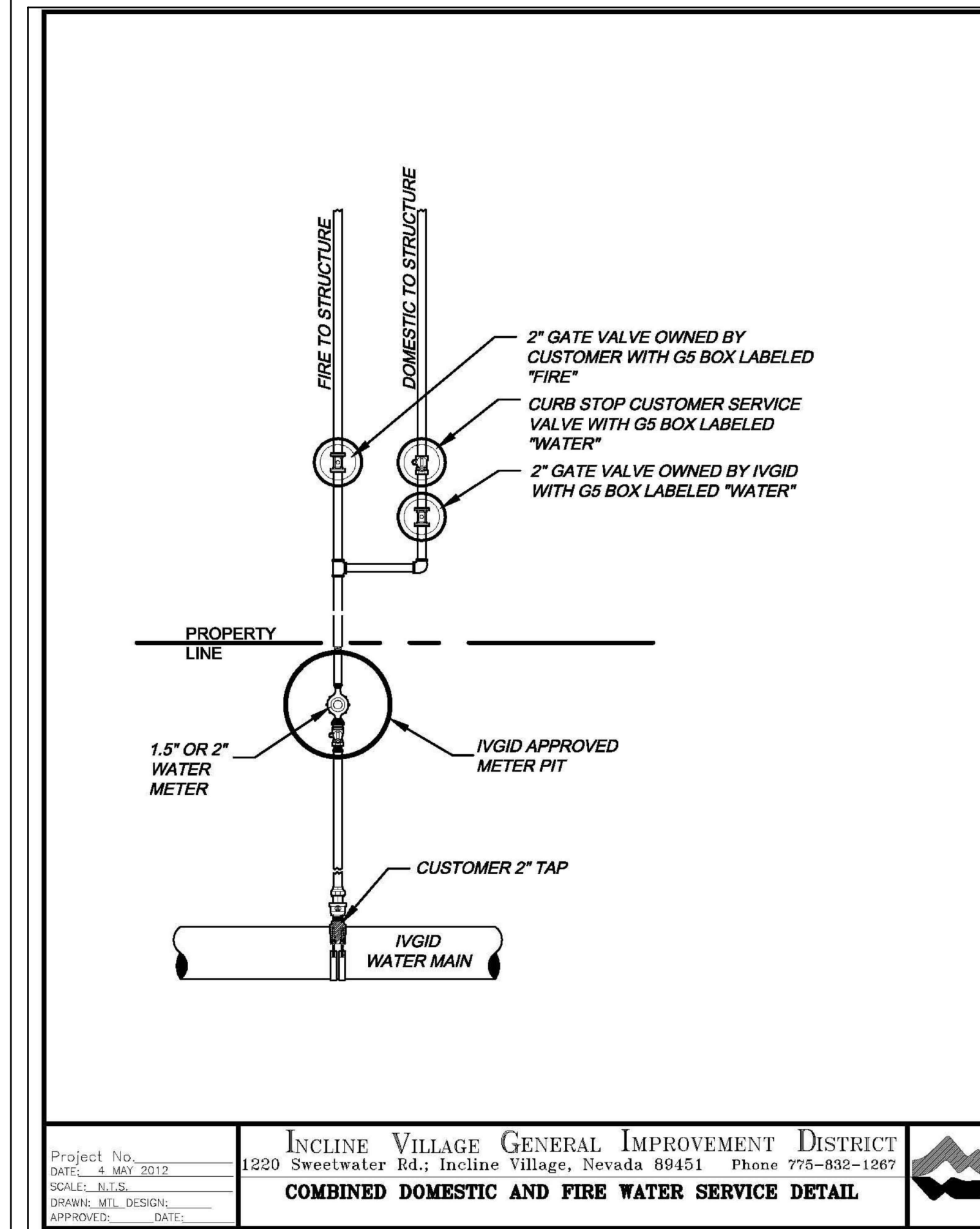
SIERRA NEVADA COLLEGE RESIDENCE FOR THE PRESIDENT

INCLINE VILLAGE, NV
WASHOE COUNTY
APN 127-040.08

GARY DAVIS GROUP
DESIGN AND ENGINEERING

post office box 7409 tahoe city, ca 96145
tel 530.583.9222 fax 530.583.9294

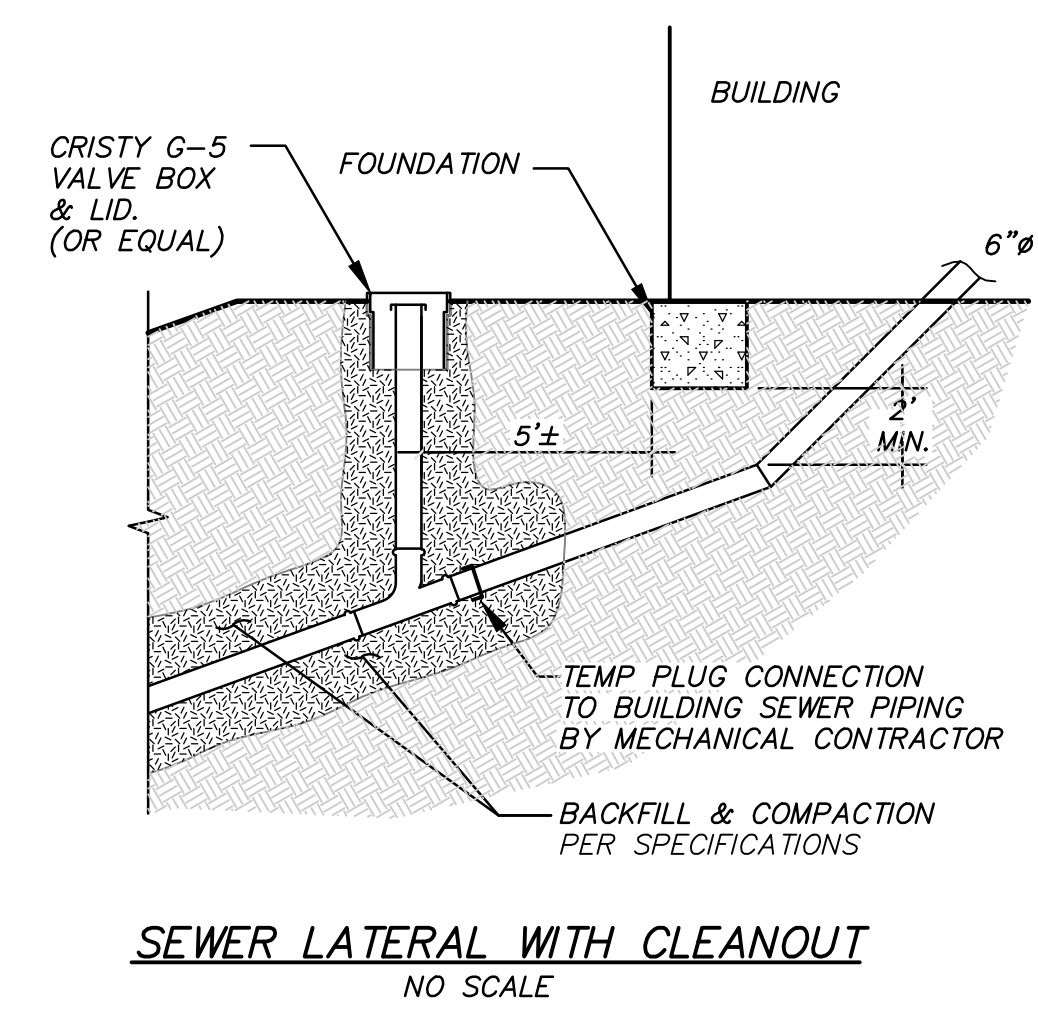
garydavisgroup.com



Project No. _____
DATE: 4 MAY 2012
SCALE: N.T.S.
DRAWN: M.L.D.
APPROVED: _____ DATE: _____

INCLINE VILLAGE GENERAL IMPROVEMENT DISTRICT
1220 Sweetwater Rd.; Incline Village, Nevada 89451 Phone 775-832-1267

COMBINED DOMESTIC AND FIRE WATER SERVICE DETAIL



SEWER LATERAL WITH CLEANOUT
NO SCALE

4 SEWER CLEANOUT N.T.S.

5 COMBINED WATER SERVICE LINE N.T.S.

| Issues and Revisions | | | |
|----------------------|------|------------------|----------|
| No. | Date | Issue & Revision | By Check |
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Designed By *CMS*
Drafted By *CMS*
Checked By *GD*

Client Information *SIERRA NEVADA COLLEGE*
C/O DIANNE SEVERANCE
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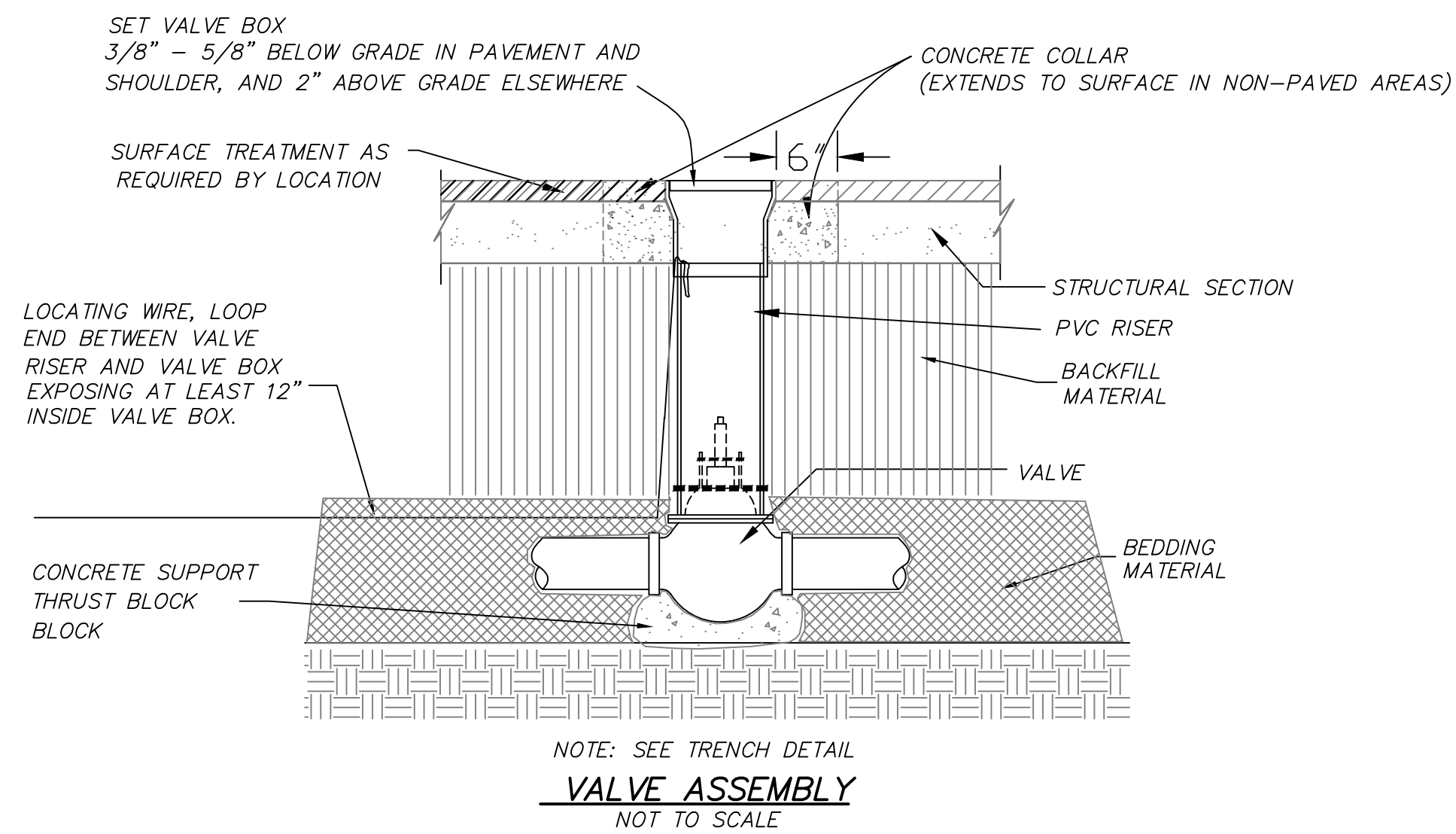
Project Number *764.60*
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Description
UTILITY DETAILS

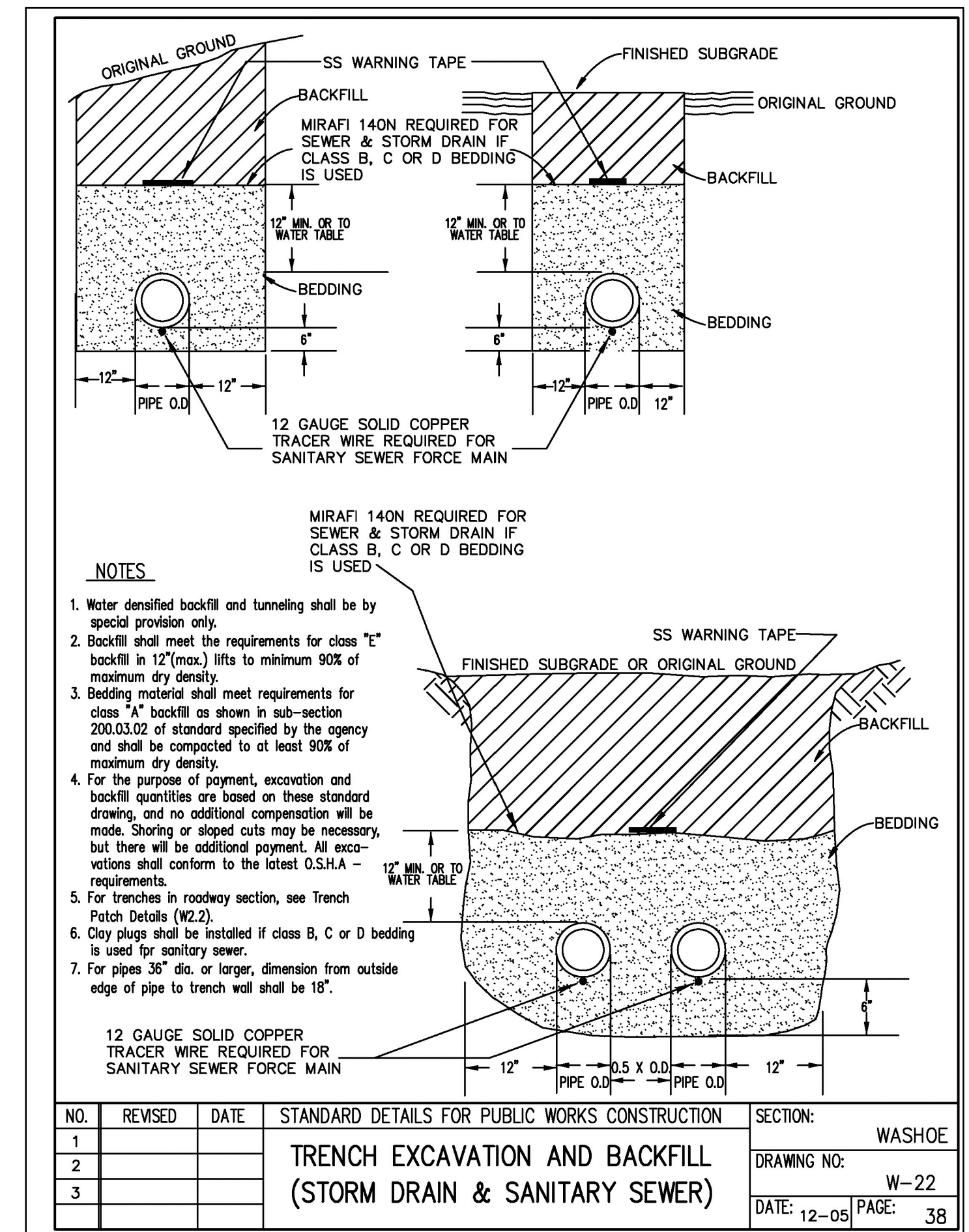
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File *764.60 C5-6_DETAILS.dwg*
Plot Date *DECEMBER 8, 2014*

C7

8 OF 8 SHEETS



NOTE: SEE TRENCH DETAIL
VALVE ASSEMBLY
NOT TO SCALE

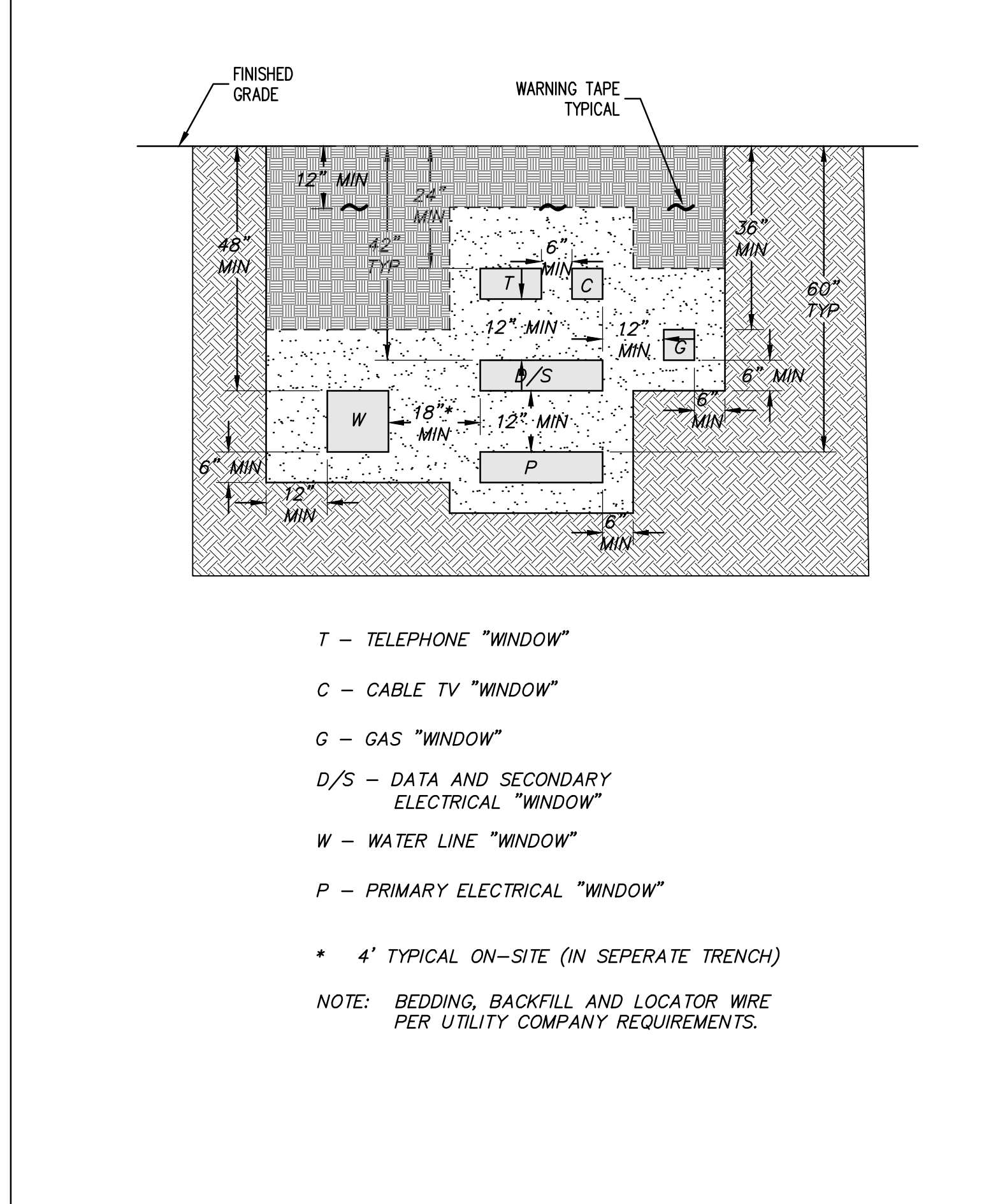


NOTES

- Water denitrified backfill and tunneling shall be by special provision only.
- Backfill shall meet the requirements for class "E" backfill in 12" (max.) lifts to minimum 90% of maximum dry density.
- Bedding material shall meet requirements for class "A" backfill as shown in sub-section 200.03.02 of standard specified by the agency and shall be compacted to at least 90% of maximum dry density.
- For the purpose of payment, excavation and backfill quantities are based on these standard drawings, and no additional compensation will be made. Shorting or sloped cuts may be necessary, but there will be additional payment. All excavations shall conform to the latest O.S.H.A. requirements.
- For trenches in roadway section, see Trench Patch Details (W2.2).
- Clay plugs shall be installed if class B, C or D bedding is used for sanitary sewer.
- For pipes 36" dia. or larger, dimension from outside edge of pipe to trench wall shall be 18".

| NO. | REVISED | DATE | STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION | SECTION: |
|-----|---------|------|--|----------------------|
| 1 | | | TRENCH EXCAVATION AND BACKFILL (STORM DRAIN & SANITARY SEWER) | WASHOE |
| 2 | | | | DRAWING NO: W-22 |
| 3 | | | | DATE: 12-05 PAGE: 38 |

7 SEWER TRENCH DETAIL N.T.S.



- T - TELEPHONE "WINDOW"
 - C - CABLE TV "WINDOW"
 - G - GAS "WINDOW"
 - D/S - DATA AND SECONDARY ELECTRICAL "WINDOW"
 - W - WATER LINE "WINDOW"
 - P - PRIMARY ELECTRICAL "WINDOW"
- * 4' TYPICAL ON-SITE (IN SEPERATE TRENCH)
- NOTE: BEDDING, BACKFILL AND LOCATOR WIRE PER UTILITY COMPANY REQUIREMENTS.

8 JOINT TRENCH DETAIL N.T.S.

P:\ZZ_DBE_Proj\764.60 President Residence\Draws\Prelim\764.60 C5-6_DETAILS.dwg

6 WATER VALVE DETAIL N.T.S.

1st SUP SUBMITTAL - NOT FOR CONSTRUCTION