



Board of Adjustment Staff Report

Meeting Date: June 3, 2021

Agenda Item: 8I

SPECIAL USE PERMIT CASE NUMBER: WSUP21-0014

BRIEF SUMMARY OF REQUEST: Detached accessory dwelling unit of ± 655 sq. ft. on the same parcel of land with a main dwelling of $\pm 2,963$ sq. ft.

STAFF PLANNER:

Planner's Name: Roger Pelham, Senior Planner

Phone Number: 775.328.3622

E-mail: rpelham@washoecounty.us

CASE DESCRIPTION

For hearing, discussion and possible action to approve a special use permit for the construction of a detached accessory dwelling unit of ± 655 sq. ft. on the same parcel of land with a main dwelling of $\pm 2,963$ sq. ft.

Applicant / Property Owner: Rogelio Jimenez-Ricendiz

Location: 15915 Secret Pass Road, approximately 900 feet south of its intersection with Big Smokey Drive

APN: 017-200-53

Parcel Size: $\pm .943$ acres ($\pm 41,077$ square feet)

Master Plan: Suburban Residential

Regulatory Zone: Medium Density Suburban

Area Plan: Southeast Truckee Meadows

Citizen Advisory Board: South Truckee Meadows / Washoe Valley

Development Code: Authorized in Article 306 Accessory Uses and Structures and Article 810 Special Use Permits

Commission District: 2 – Commissioner Lucey



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve, with conditions as included at Exhibit A to this report, Special Use Permit Case Number WSUP21-0014 for Rogelio Jimenez-Ricendiz, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30, and one finding required by the Southeast Truckee Meadows Area Plan.

(Motion with Findings on Page 6)

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Exhibits Contents

Conditions of Approval	Exhibit A
Public Notice	Exhibit B
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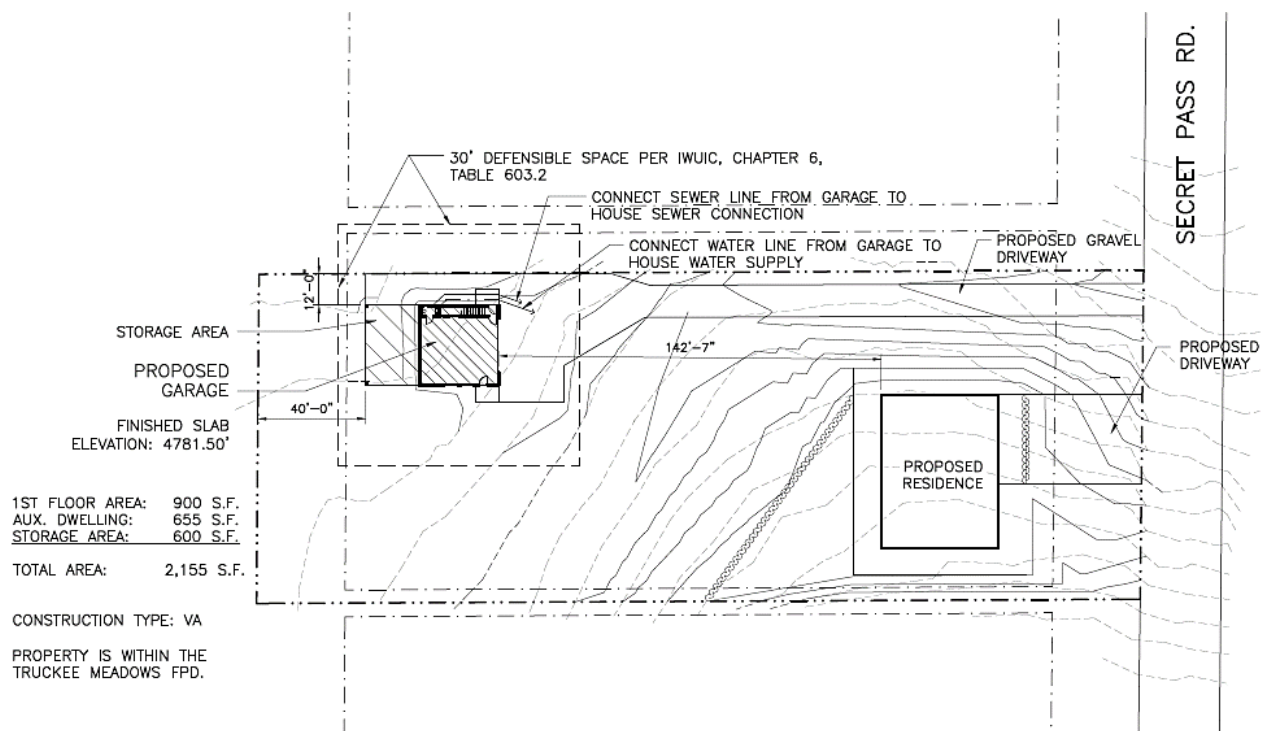
Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

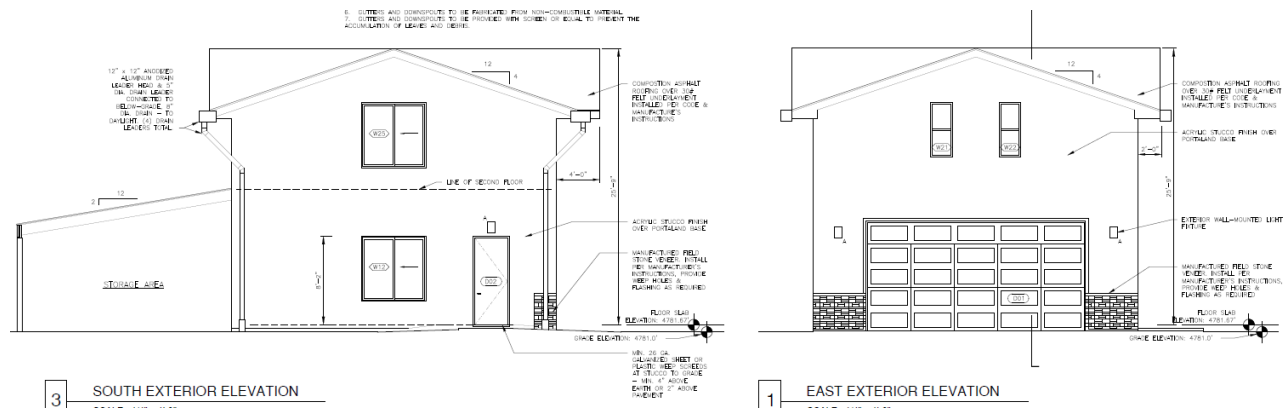
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP21-0014 are attached to this staff report and will be included with the action order, if approved.

The subject property is designated as Medium Density Suburban (MDS). The proposed Detached Accessory Dwelling is permitted in the MDS regulatory zone with a special use permit per WCC 110.302.05.01. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Site Plan



Elevations

Project Evaluation

The subject parcel, APN 017-200-53, is $\pm .943$ acres ($\pm 41,077$ square feet) in size and has a regulatory zone of Medium Density Suburban (MDS). The setbacks for this parcel are 20ft from the front and rear yard property lines and 8ft from the side yard property line. The applicant proposes to construct a main dwelling of $\pm 2,963$ sq. ft at the same time as the accessory dwelling.

The applicant is proposing to construct a ± 655 -sf detached accessory dwelling (DAD). The proposed DAD is less than 50% of the size of the proposed main residence and less than 800 sf as required per WC110.306.25(d). The new dwelling will match the architecture of the main house that is also being constructed. WCC Section 110.306.25, Detached Accessory Dwellings requires compliance with the following:

	Proposal Complies
A main dwelling exists and no other accessory dwelling is on site	Yes
A minimum lot area of 12,000 square feet	Yes
Standard building setbacks are maintained	Yes
800 square feet or smaller (& 50% or less the size of main dwelling)	Yes
Manufactured home is constructed within 6 years and over 1,200 sq. ft. in size	N / A
One off-street parking space added	Yes
One accessory dwelling only on site	Yes

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)

The proposed project was presented by the applicant(s) or the applicant's representative at the regularly scheduled Citizen Advisory Board meeting on May 6, 2021. The CAB recommended approval with no particular concerns being expressed. **Southeast Truckee Meadows Area Plan Policies**

SETM 11.3 The granting of new Special Use permits and review of existing permits in the Southeast Truckee Meadows must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agency	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Water Rights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Engineering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Sherriff	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WCHD – Environment Health	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Truckee Meadows Fire Protection District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dale Way, dway@tmfcpd.us
RTC Washoe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe Storey Conservation District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southeast Truckee Meadows Area Plan.

Staff Comment: The proposed project meets all applicable development standards; most notably, the required yard setbacks and maximum allowable size for a detached accessory dwelling. There are no particularly applicable goals and policies of the Southeast Truckee Meadows Area Plan, therefore, the application as proposed, is consistent with the requirements of the Master Plan and the Southeast Truckee Meadows Area Plan Area Plan.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Both the main dwelling and the accessory dwelling are proposed to be served by community water and sewer systems. Roads accessing site exist at this time.

3. **Site Suitability.** That the site is physically suitable for a detached accessory dwelling, and for the intensity of such a development.

Staff Comment: The subject site is similar in size and the proposed development is similar to existing surrounding development. The site is suitable for both a main dwelling and an accessory dwelling.

4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: As the proposed use is generally consistent with the nature of the surrounding area, issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the required noticing area for the proposed special use permit, therefore there can be no detrimental effect.

6. No significant degradation of air quality will occur as a result of the permit.

Staff Comment: This application was reviewed by the Air Quality Management Division of the Washoe County Health District, and no recommendation of denial was received nor were conditions of approval recommended.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP21-0014 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve, with conditions as included at Exhibit A to this report, Special Use Permit Case Number WSUP21-0014 for Rogelio Jimenez-Ricendiz, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30, and one finding required by the Southeast Truckee Meadows Area Plan:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southeast Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for detached accessory dwelling, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation;
6. No significant degradation of air quality will occur as a result of the permit.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/Owner: Rogelio Jimenez-Ricendiz
Email: ijstucco@yahoo.com

Representatives: Robert Krone Architect
Email: bob@kronearc.com



Conditions of Approval

Special Use Permit Case Number WSUP21-0014

The project approved under Special Use Permit Case Number WSUP21-0014 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on June 3, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, (775) 328-3622, rpelham@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A certificate of occupancy shall not be approved for the Detached Accessory Dwelling until a certificate of occupancy is also issued for the main dwelling on the same parcel.
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- f. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - iv. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.

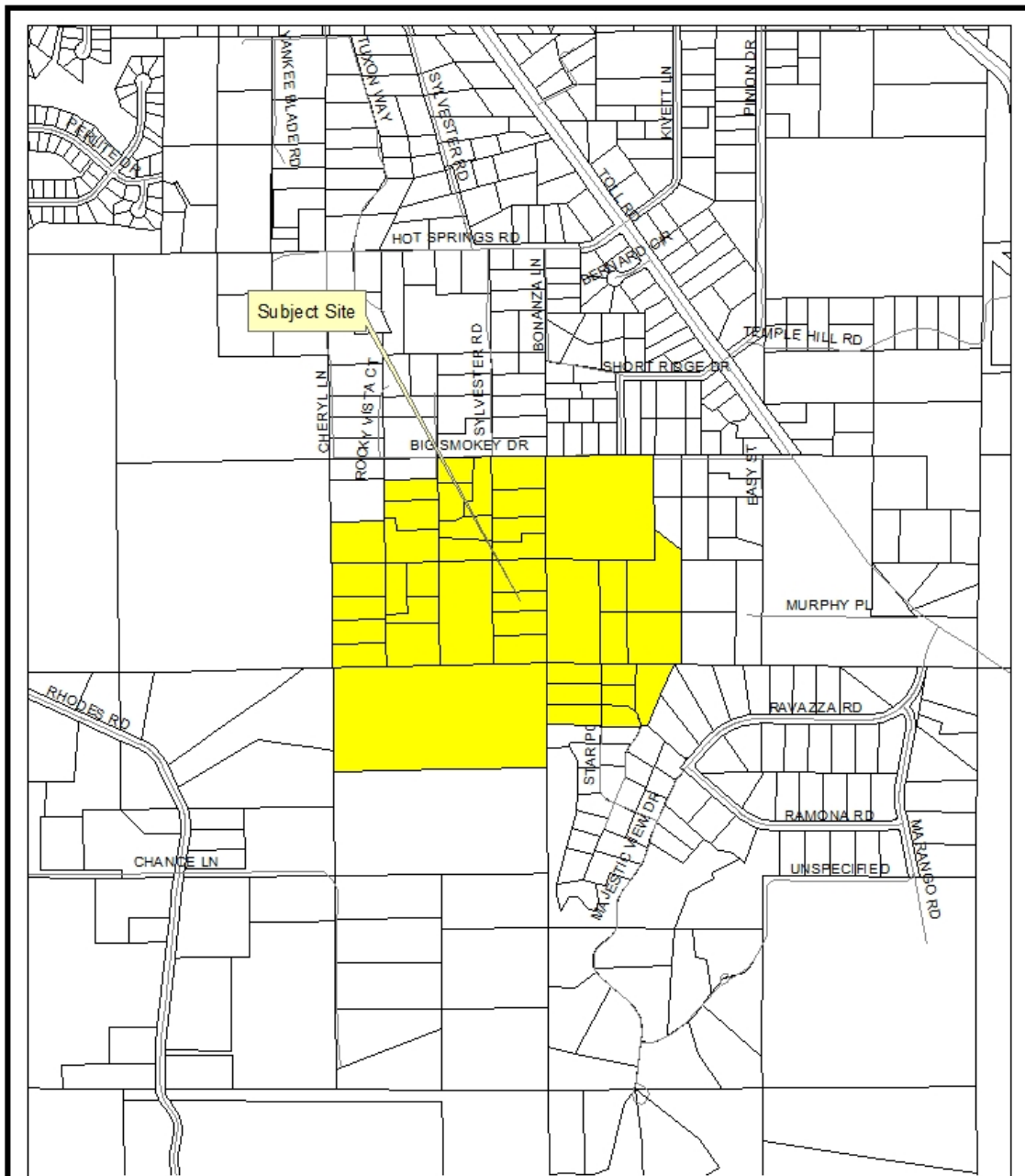
ENGINEERING CONDITIONS

2. The following conditions are requirements of Engineering, which shall be responsible for determining compliance with these conditions.

Contact Name –Walter West, P.E. (775) 328-2310

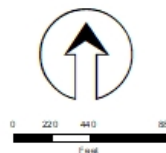
- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.

*** End of Conditions ***



Mailing and Vicinity Map

WSUP21-0014
40 parcels selected at 700 feet



Source: Planning and Building Division

Date: 4/6/2021

From: [Way, Dale](#)
To: [Pelham, Roger](#)
Cc: [Lee, Brett](#); [Lemon, Brittany](#)
Subject: WSUP21-0014 (Jimenez-Recendiz Detached Accessory Dwelling)
Date: Friday, April 16, 2021 9:10:01 AM

Roger,

We have no specific comments on this request beyond adopted codes and amendments.

The applicant may need an Alternate Materials & Method (AM&M) to address the required fire flow and fire hydrant spacing requirements for this proposal.

Thank you.

Dale Way

Deputy Fire Chief – Fire Prevention | Truckee Meadows Fire & Rescue

dway@tmfpd.us | Office: 775.326.6000

3663 Barron Wy, Reno, NV 89511

From: [Rosa, Genine](#)
To: [Pelham, Roger](#)
Subject: RE: AQMD Comments on this case?
Date: Monday, April 19, 2021 7:38:19 AM
Attachments: [image007.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)

It appears to be less than 1 acre of disturbance, however, If disturbance will be greater than 1 acre then a Dust Control Permit will be required prior to breaking ground, failure to do so may result in enforcement action resulting in a Notice of Violation with associated fines.

For Dust Control Permit questions call AQMD at 775-784-7200 or visit www.OurCleanAir.com.

Genine

Environmental Engineer II

O: (775) 784-7204 | C: (775) 420-9185



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

March 18, 2021

TO: Roger Pelham, Senior Planner, CSD, Planning & Development Division

FROM: Vahid Behmaram, Water Rights & Water Resources Consultant, CSD

SUBJECT: Special Use Permit Case Number WSUP21-0014 (Jimenez-~~Recendiz~~ Detached Accessory Dwelling)

Project description:

The applicant is proposing to approve a special use permit for the construction of a detached accessory dwelling unit of ± 655 sq. ft. on the same parcel of land with a main dwelling of $\pm 2,963$ sq. ft.

Location: 15915 Secret Pass Road, approximately 900 feet south of its intersection with Big Smokey Drive, Assessor's Parcel Number: 017-200-53.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

The parcel will be receiving water service from the Truckee Meadows Water Authority (TMWA). The applicant shall provide a letter of acknowledgement from TMWA which will indicate the adequacy of water rights to support the Detached Dwelling.

TMWA may require additional water rights or if there is sufficient water rights to support the Detached Dwelling, TMWA will simply issues a letter indicating no additional water rights are necessary.



1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadacconservation.com

Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

April 29, 2021

Washoe County Community Services Department

C/O Roger Pelham, Senior Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

WSUP21- 0014 Jimenez-Recendiz detached dwelling

Dear Roger,

In reviewing the special use permit to construct a detached accessory dwelling, the Conservation District has the following comments.

We recommend as a condition of approval the accessory dwelling match the same color as the main dwelling including the roofing material.

The District will require the planting of trees, two on the north west and two on south east periphery of the detached dwelling for screening and visual appeal from the existing building.

We recommend as a condition to match the paint color and roofing with the existing building.

Thank you for the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Shaffer-Tyler

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Detached garage with detached accessory dwelling on second floor.			
Project Description: 30' x 30' (900 SF) detached garage with 655 SF detached accessory dwelling on the second floor.			
Project Address: 15915 Secret Pass Rd., Reno, NV 89521			
Project Area (acres or square feet): 41,065 SF			
Project Location (with point of reference to major cross streets AND area locator): .3 miles west of Toll Rd. and approximately 1.6 miles SSE of Toll Rd. and Geiger Grade Rd.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-200-53	.943		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Rogelio Jimenez-Recendiz		Name: Robert Krone Architect P.C.	
Address: 2645 Star Pointe Dr.		Address: P.O. Box 100	
Reno, NV	Zip: 89521	Verdi, NV	Zip: 89439
Phone: 775-691-9744	Fax:	Phone: 917-359-9302	Fax:
Email: jjstucco@yahoo.com		Email: bob@kronearc.com	
Cell: 775-691-9744	Other:	Cell: 917-359-9302	Other:
Contact Person: Rogelio Jimenez-Recendiz		Contact Person: Robert Krone	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Rogelio Jimenez-Recendiz

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
 Carson City)
COUNTY OF WASHOE)


I, Rogelio Jimenez-Recendiz
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 017-320-53

Printed Name Rogelio Jimenez-Recendiz

Signed 

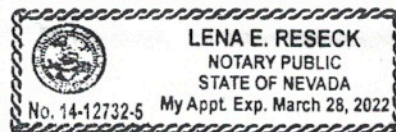
Address 2645 Star Pointe Dr., Reno, NV 89521

Subscribed and sworn to before me this
23 day of February, 2021.

(Notary Stamp)

Lena E. Reseck
Notary Public in and for said county and state

My commission expires: 3/28/2022



*Owner refers to the following: (Please mark appropriate box.)

- ☒ Owner
- ☐ Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- ☐ Power of Attorney (Provide copy of Power of Attorney.)
- ☐ Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- ☐ Property Agent (Provide copy of record document indicating authority to sign.)
- ☐ Letter from Government Agency with Stewardship

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2,963 SF

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

655 SF

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Roof slopes, roof materials, facade materials and windows of the detached accessory dwelling will match those of the main dwelling.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

Two (2) parking spaces will be provided in the new detached garage. The detached accessory dwelling will be the second floor of the new garage. A new gravel driveway will connect the detached building with Secret Pass Rd.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

The four exterior light fixtures on the detached garage and accessory dwelling will be shielded to prevent glare and light pollution for adjacent properties. No existing vegetation will be removed.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

☐ Yes ☒ No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

☐ Yes ☒ No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

☐ Yes ☒ No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	TMWA	TMWA
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	TMWA	TMWA

WASHOE COUNTY TREASURERPO BOX 30039
RENO, NV 89520-3039
775-328-2510

Page 1 of 1

Received By:

fgregory

Receipt Number:

U20.6335

Location:

Treasurer's Office

Receipt Year:

2020

Session:

fgreg-0-08182020

Date Received:

08/18/2020

PAYMENT RECEIPT

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Real	Bill Number: 2020544234 Bill Year: 2020 PIN: 01720053 Primary Owner: ROJELIO JIMENEZ-RECENDIZ Property Addr: 15915 SECRET PASS RD Property Desc: Township 18 Section 34 Lot B-1 Block 1 Range 20 SubdivisionName	592.81	592.81	0.00	0.00	592.81	592.81	0.00
Totals:		592.81	592.81	0.00	0.00	592.81	592.81	0.00
Tender Information:		Charge Summary:						
Check #125/1455		592.81	Real					592.81
Total Tendered		592.81	Total Charges					592.81

WASHOE COUNTY TREASURER

PO BOX 30039 RENO, NV 89520-3039

W. C. T. O. 28

AUG 17 2020

PAID

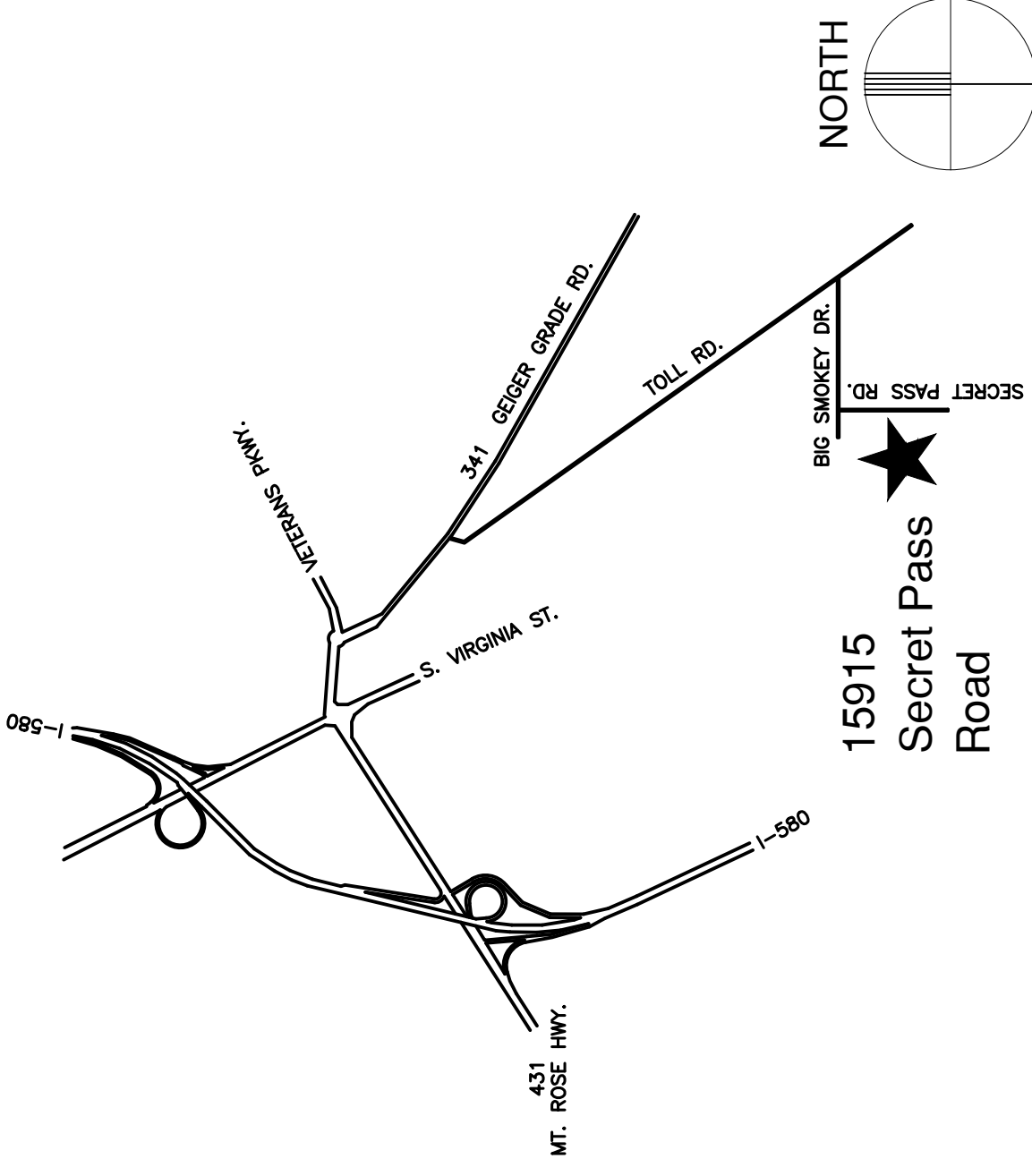
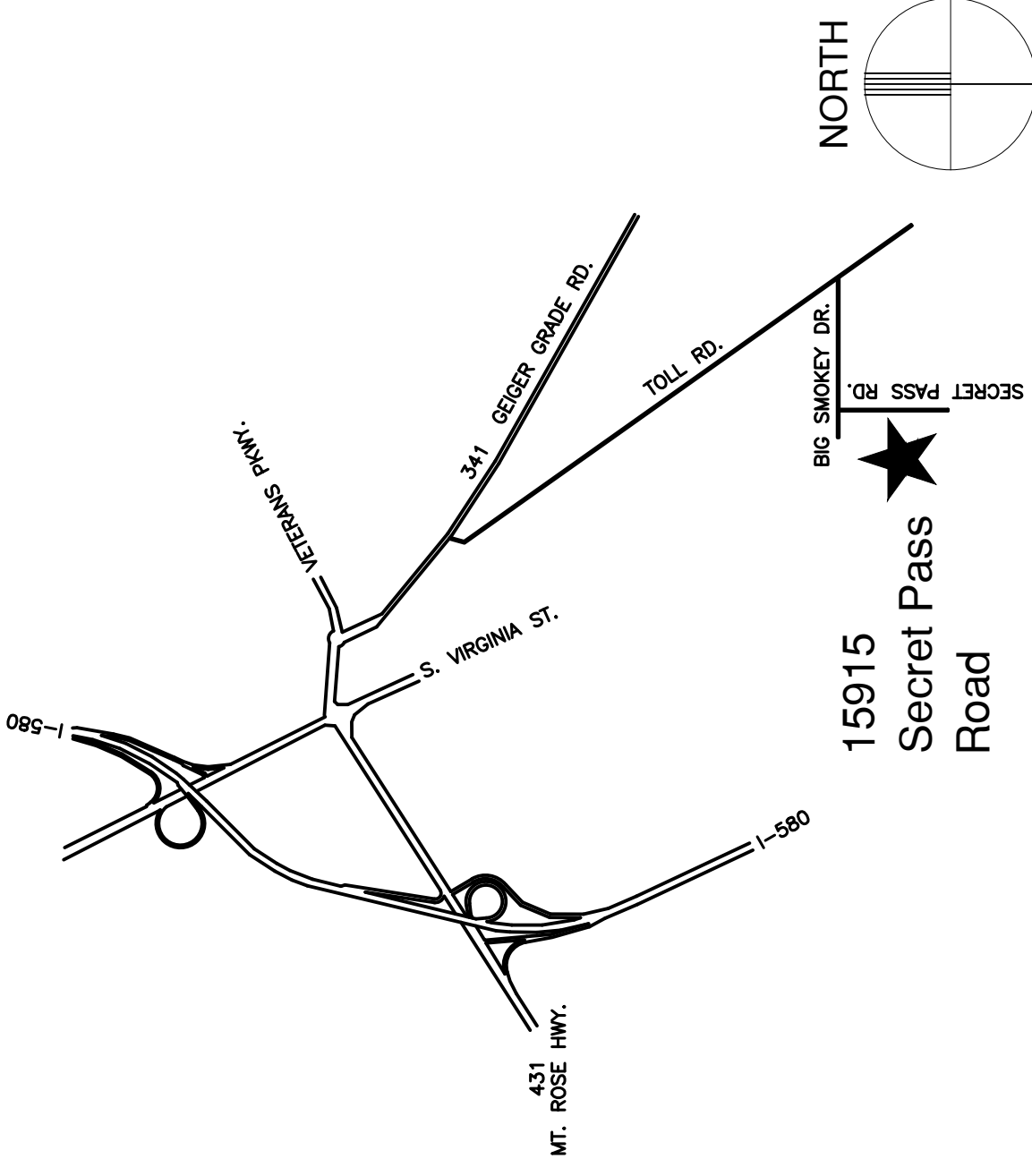
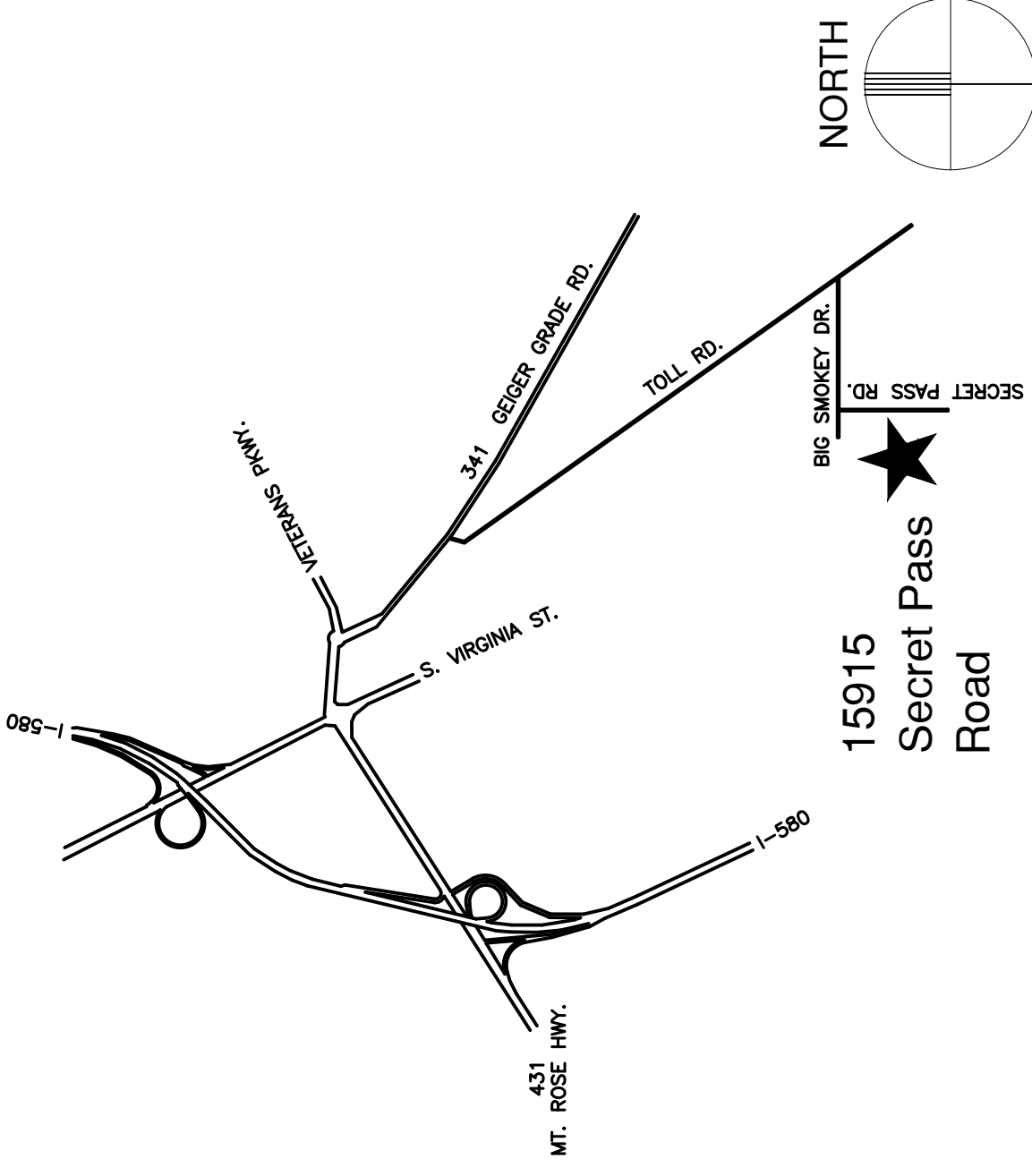
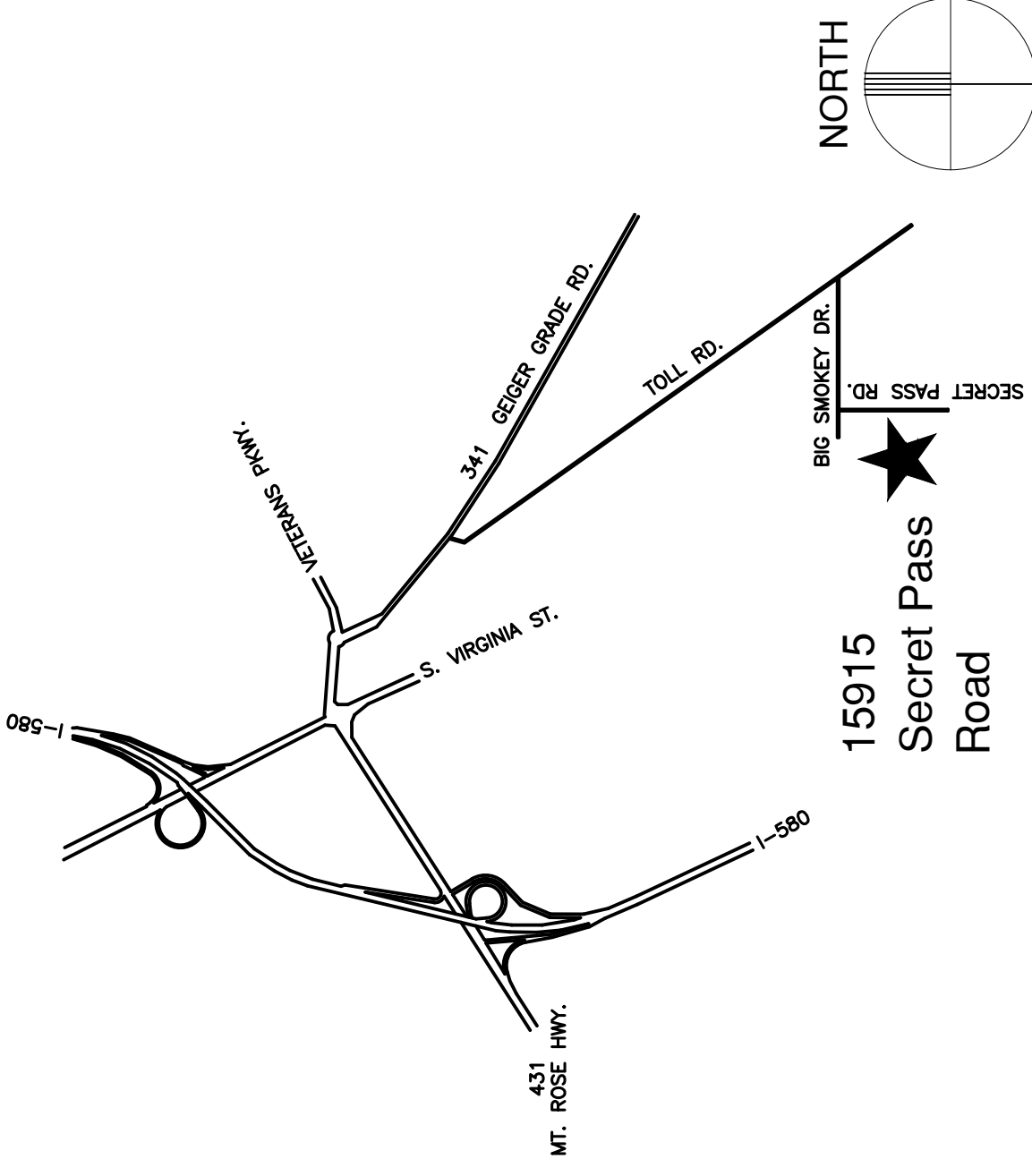
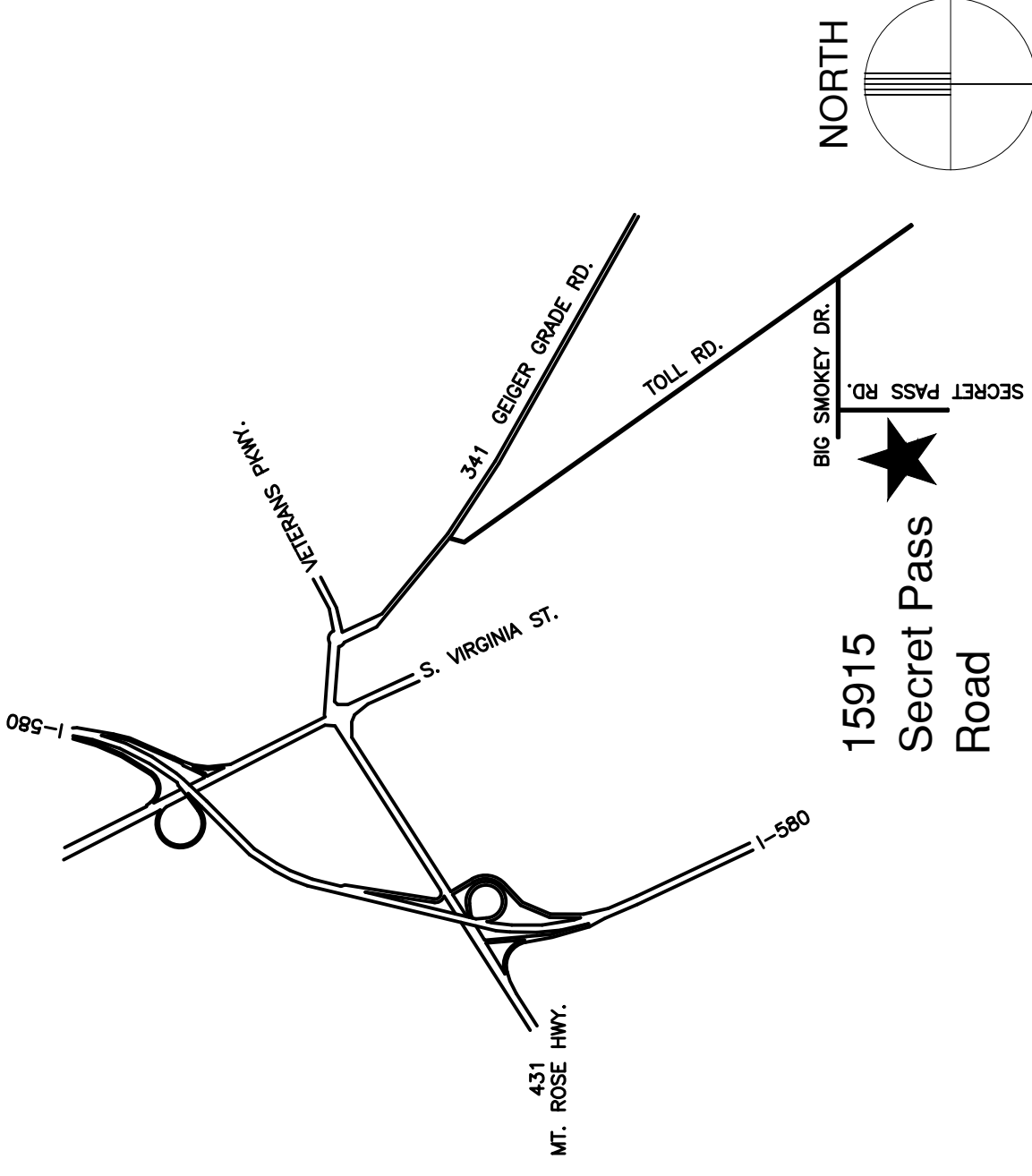
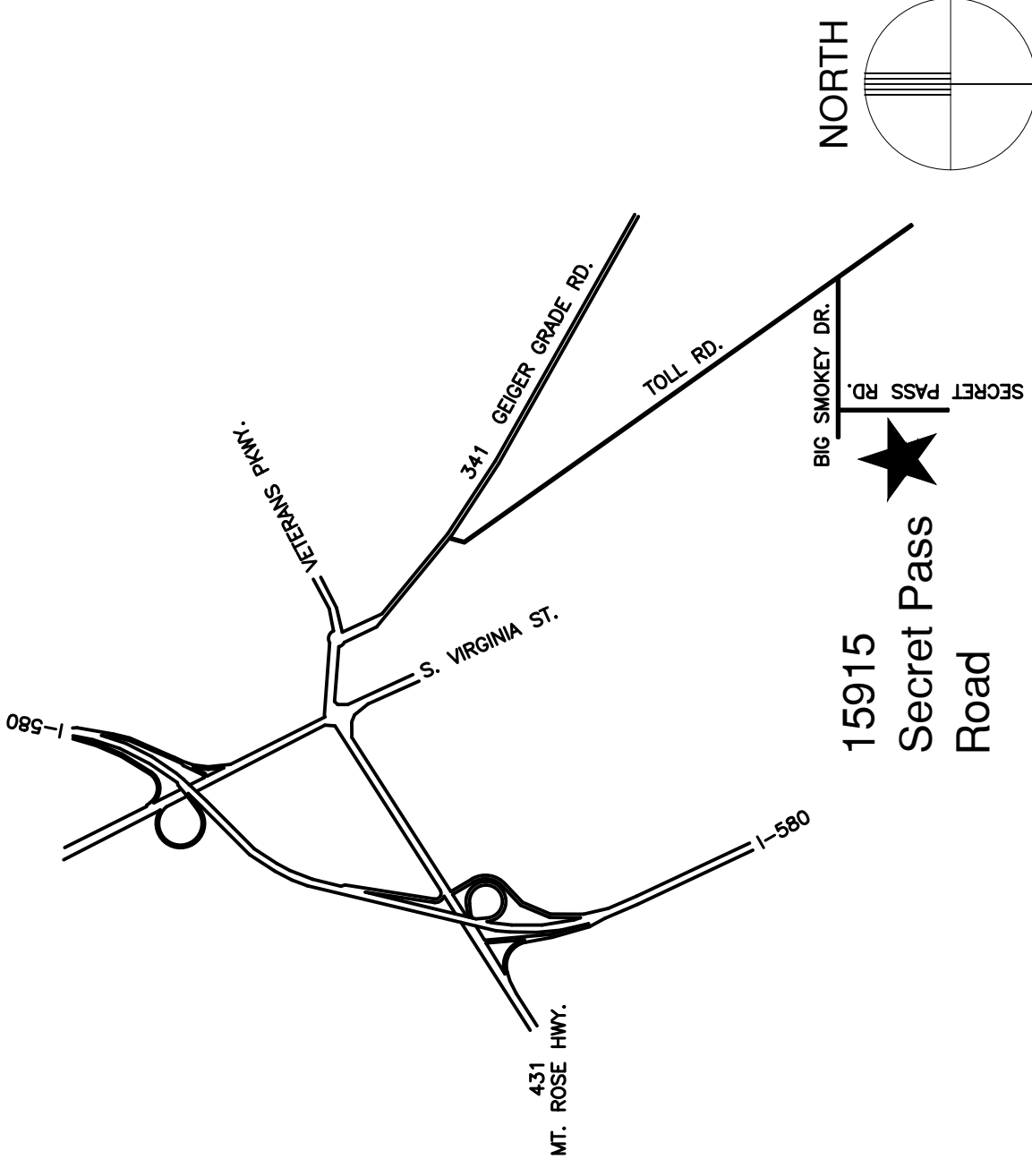
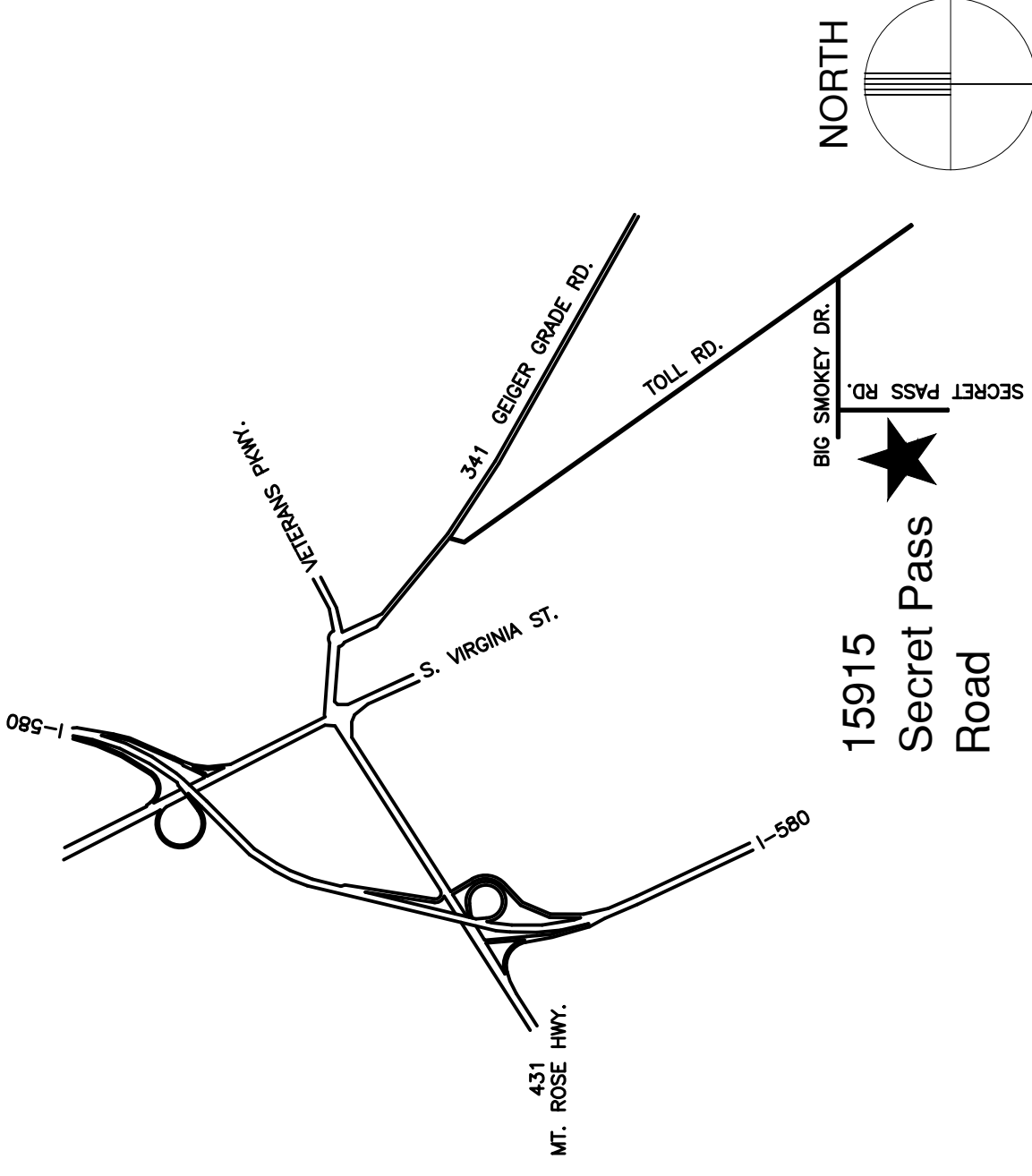
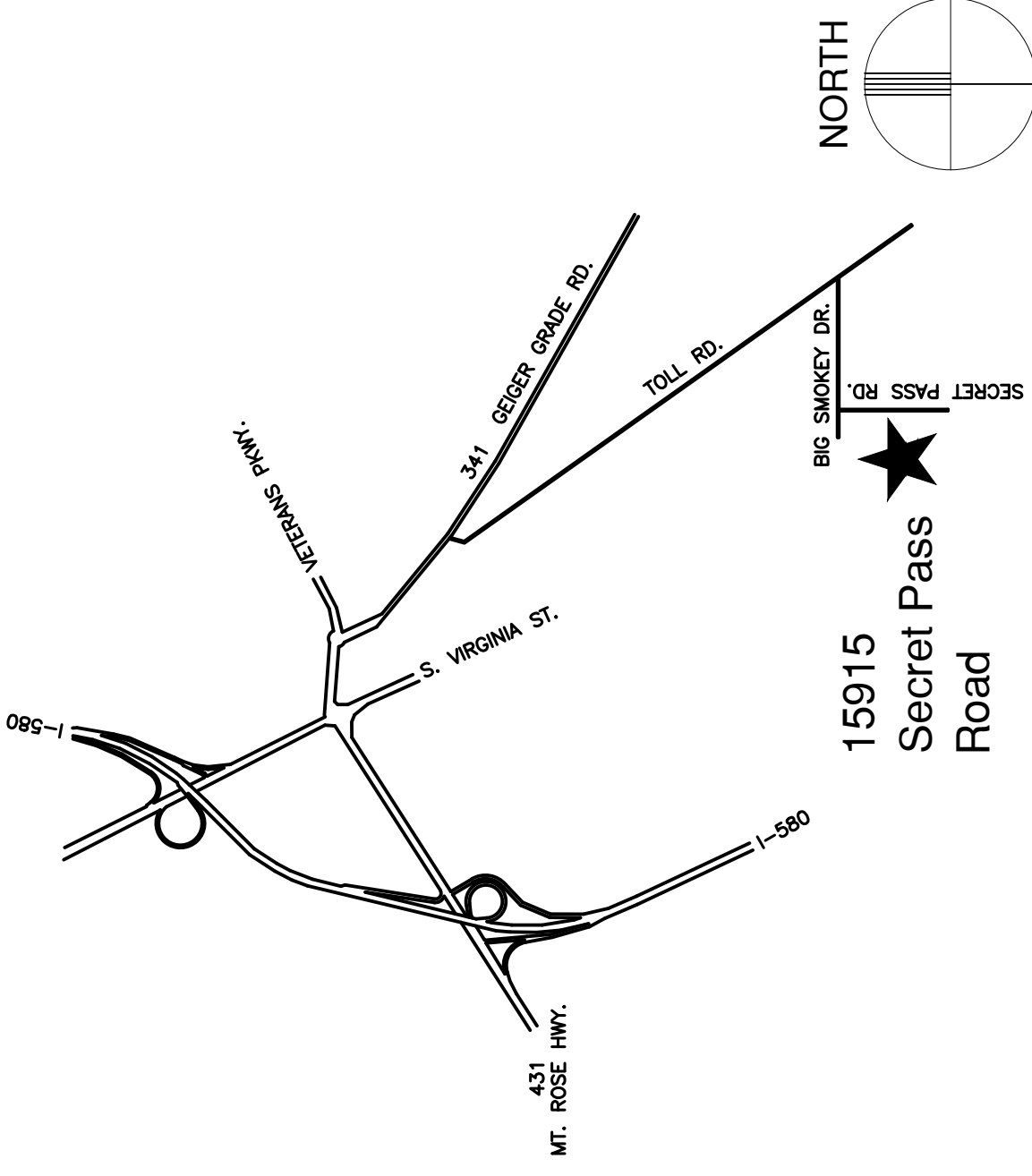
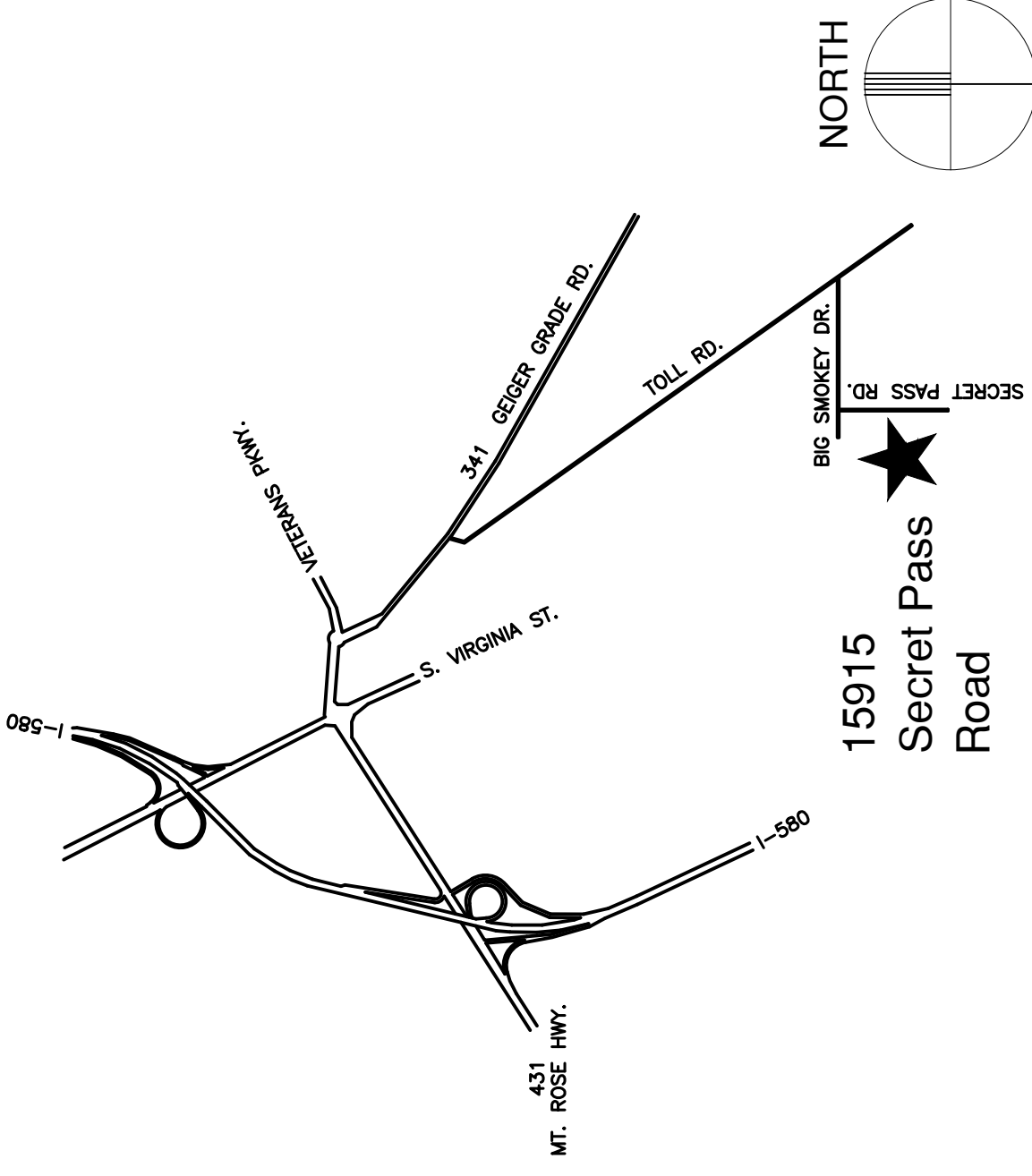
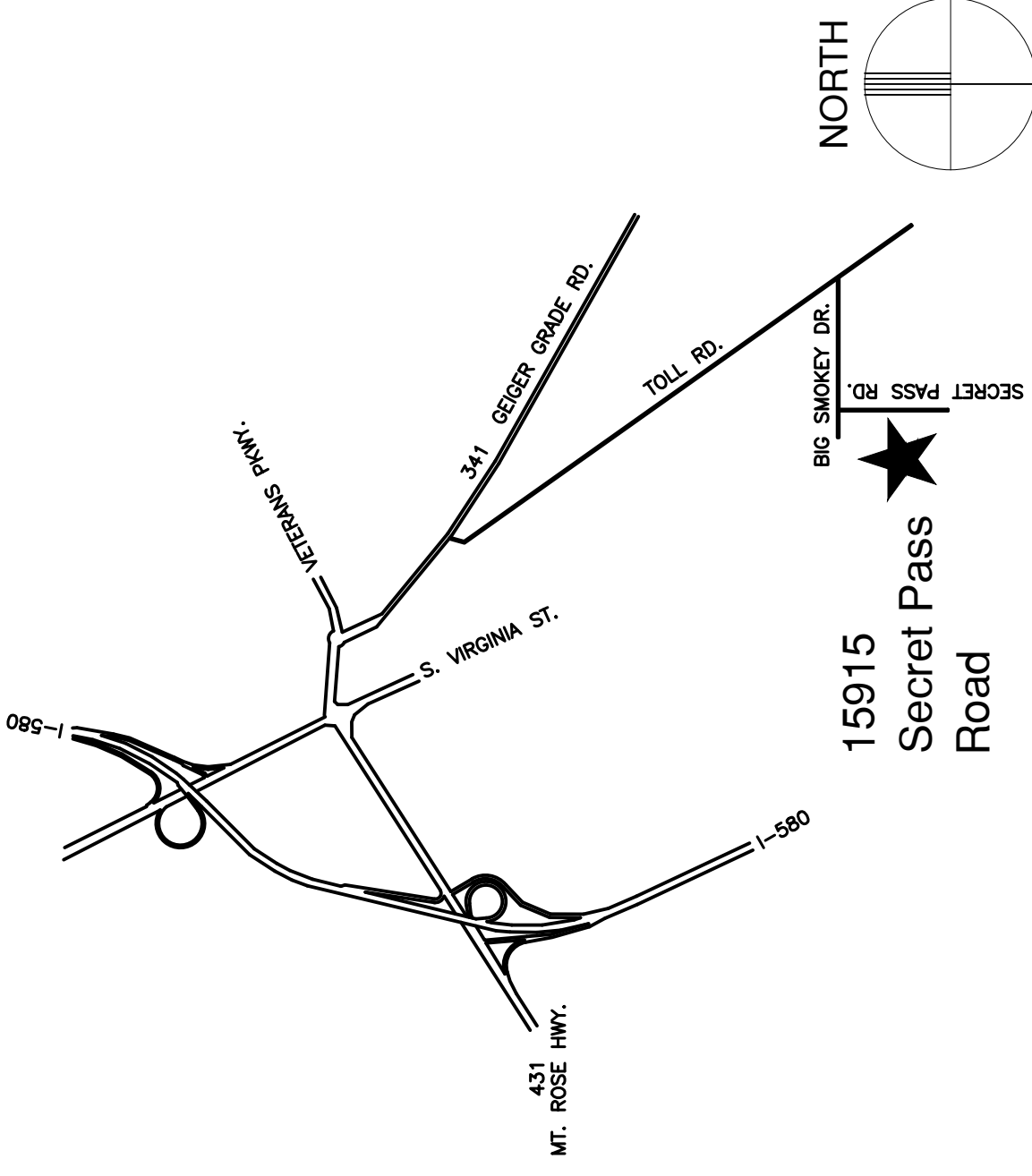
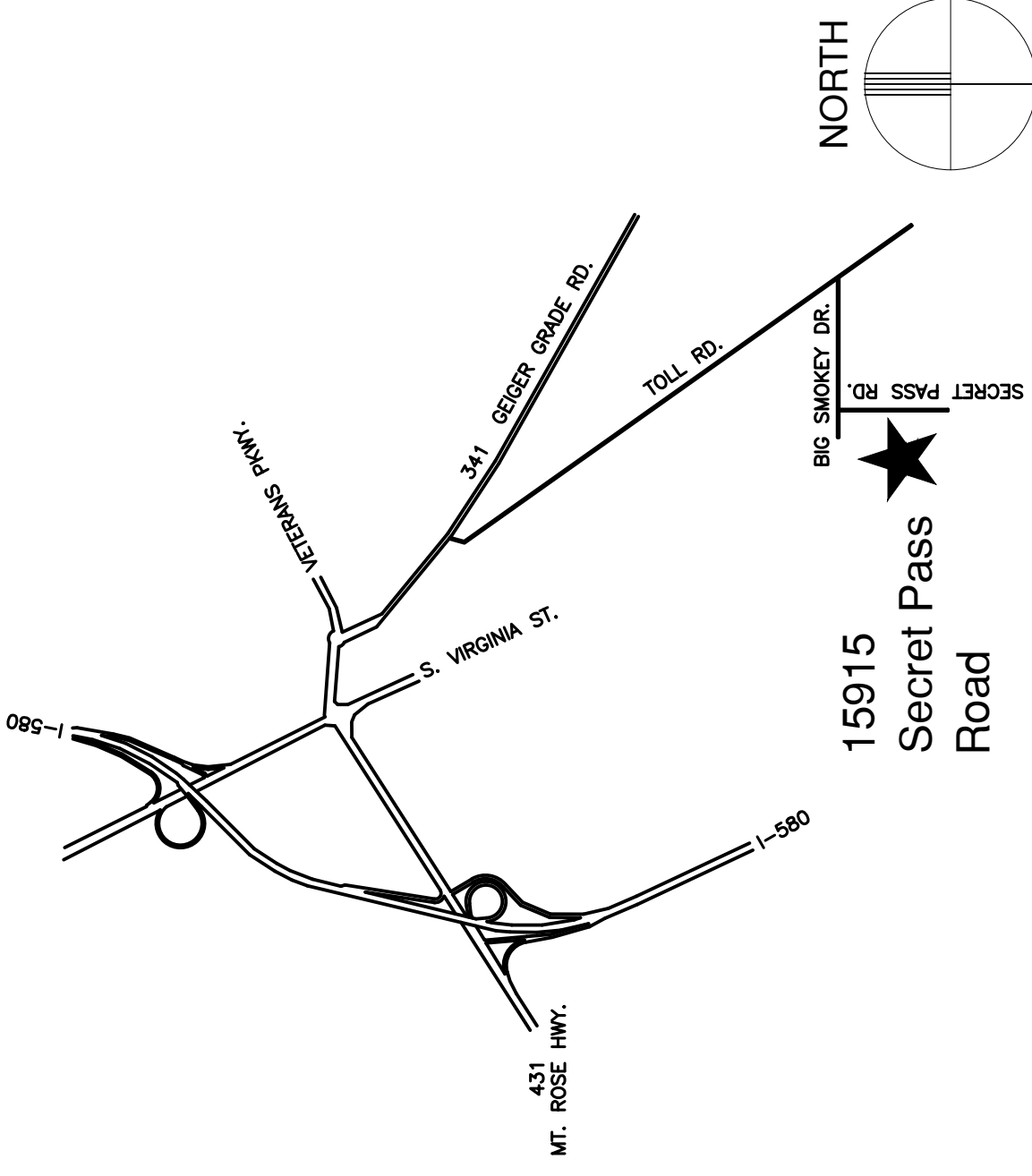
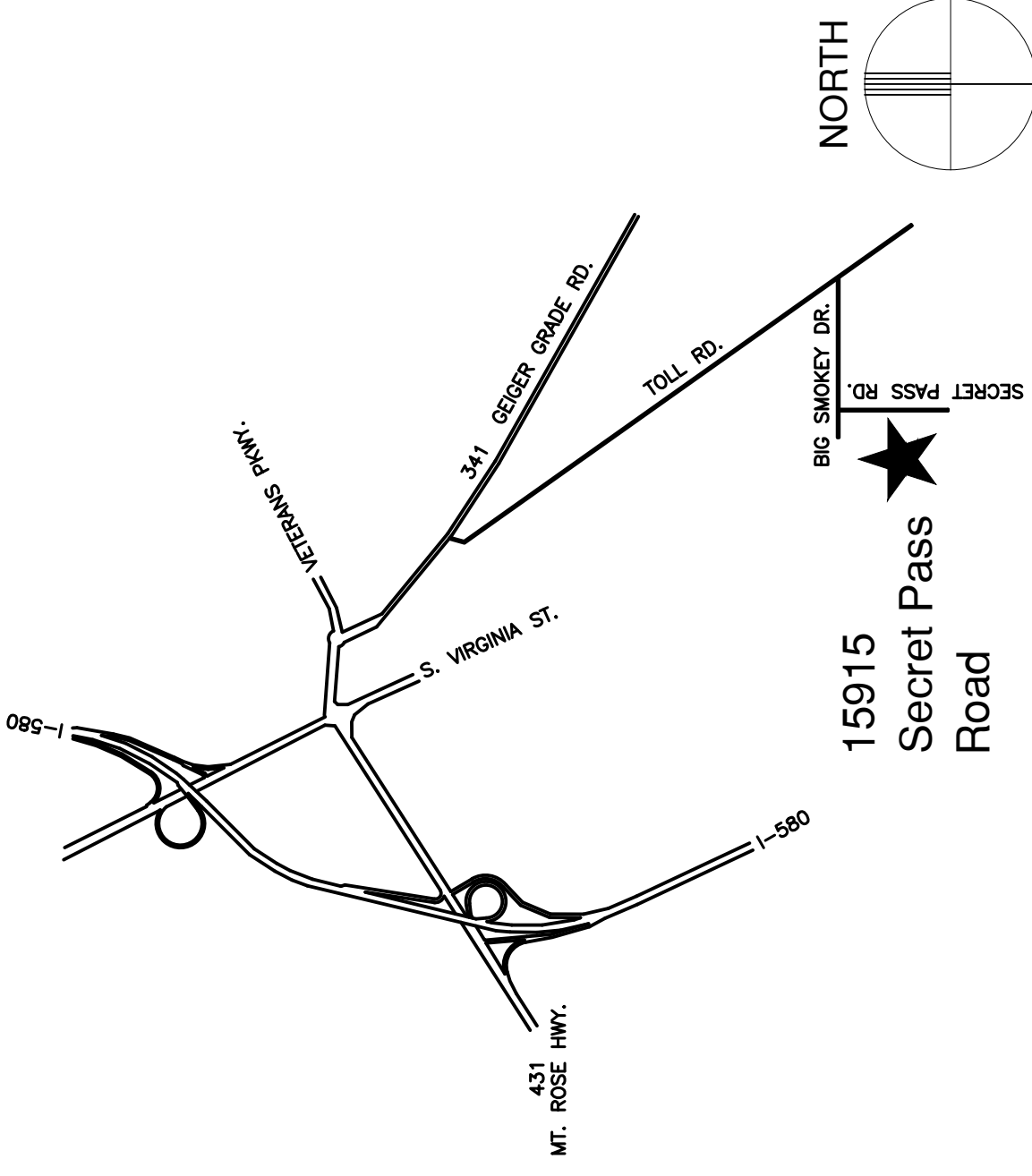
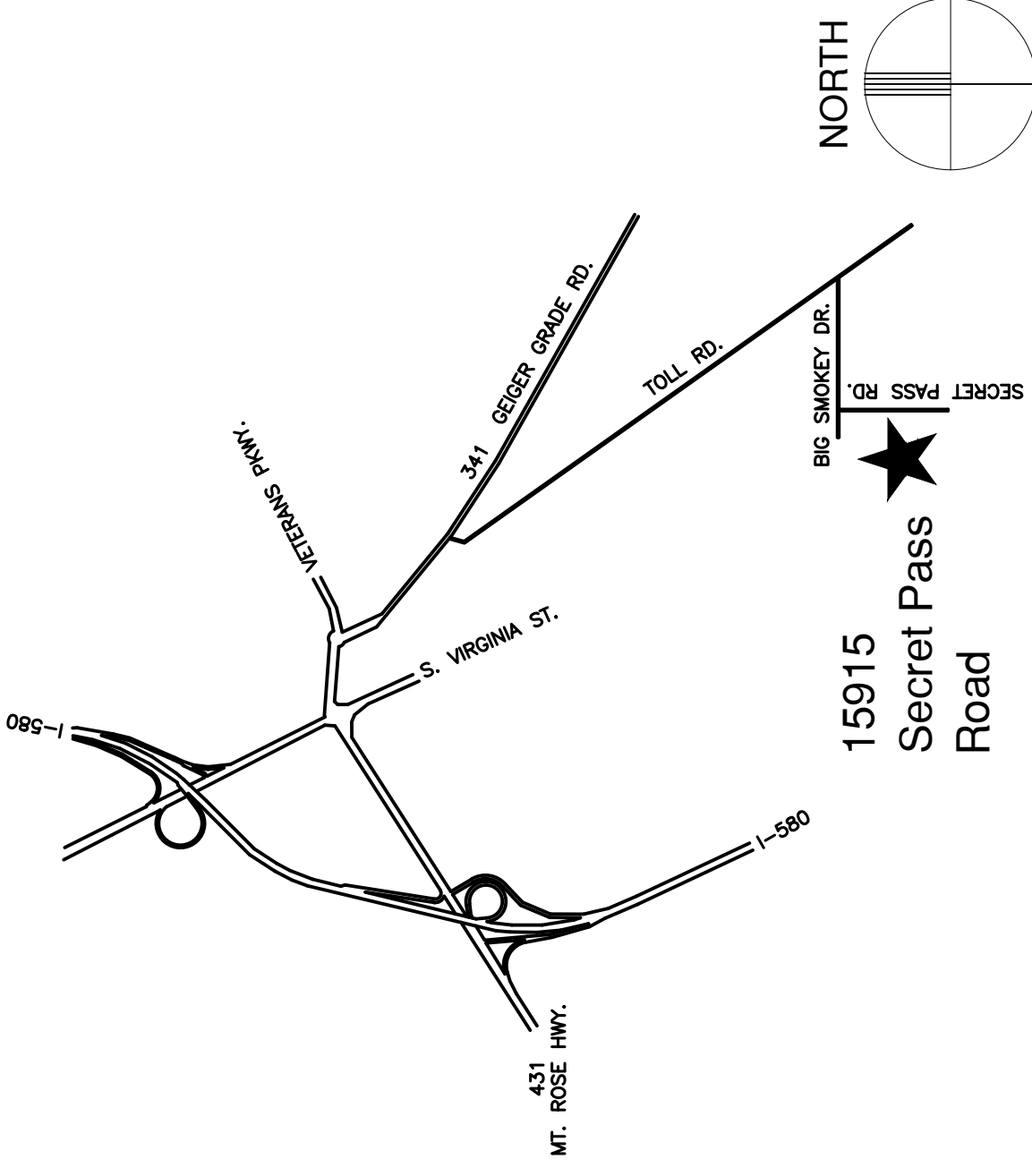
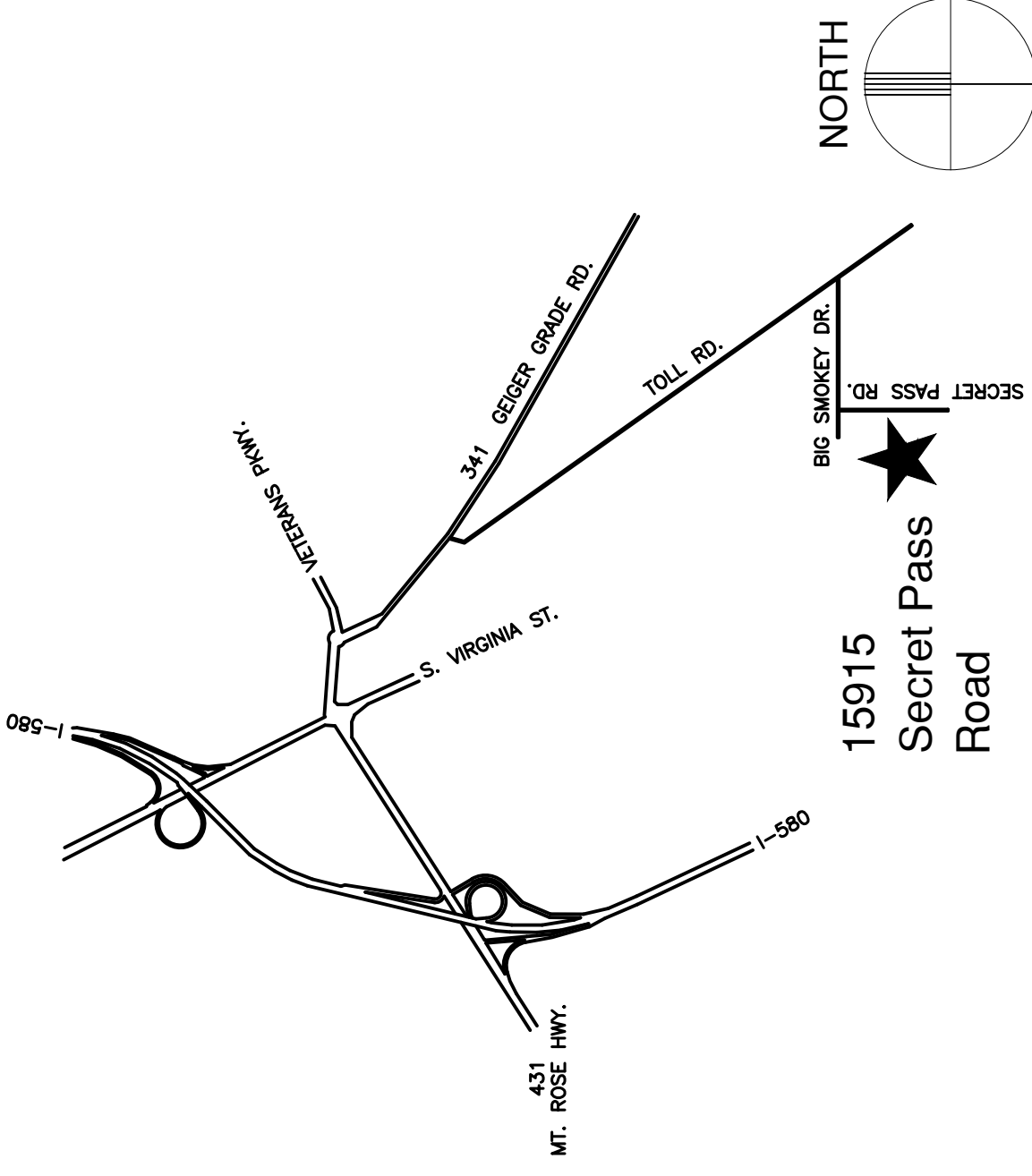
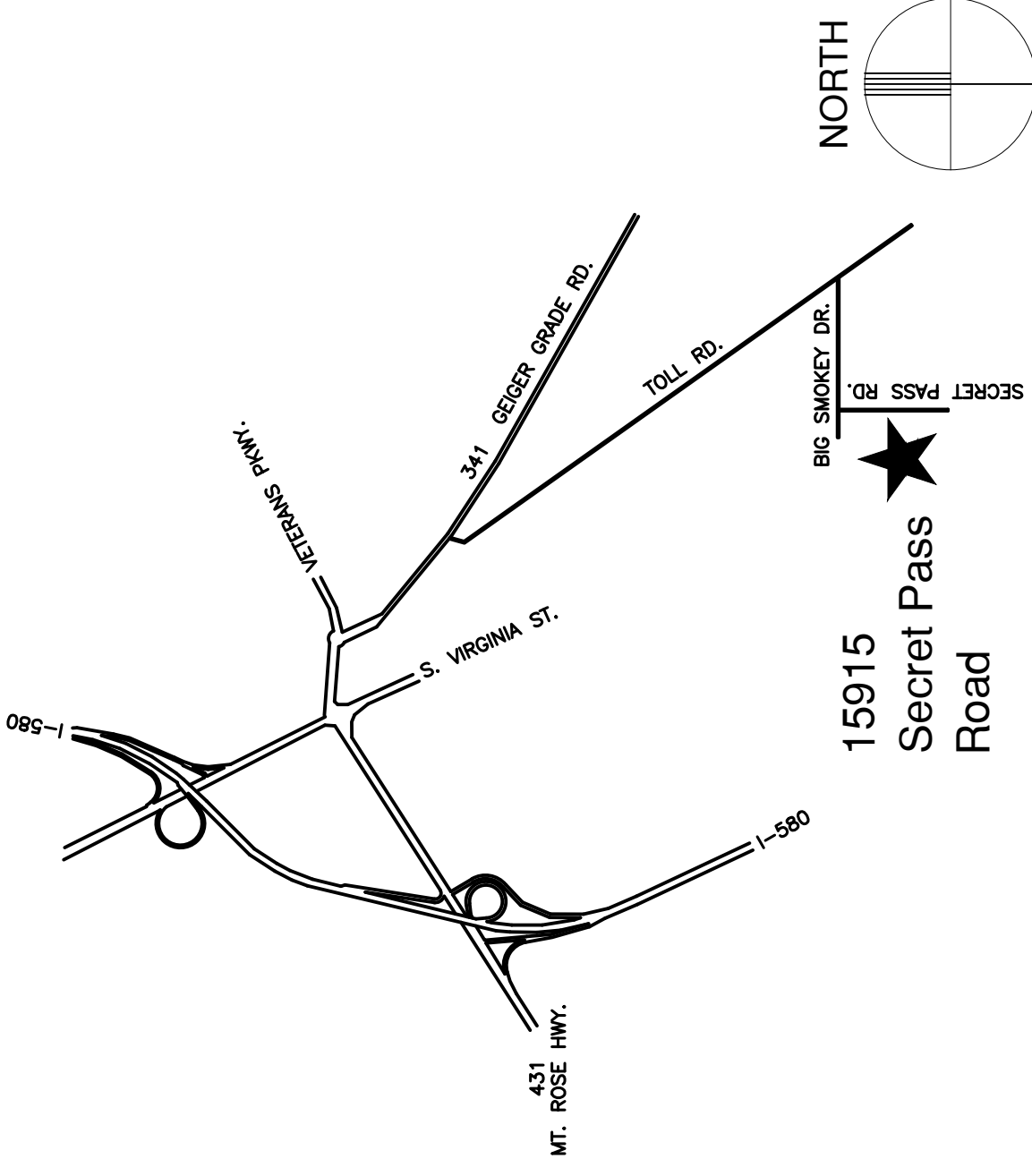
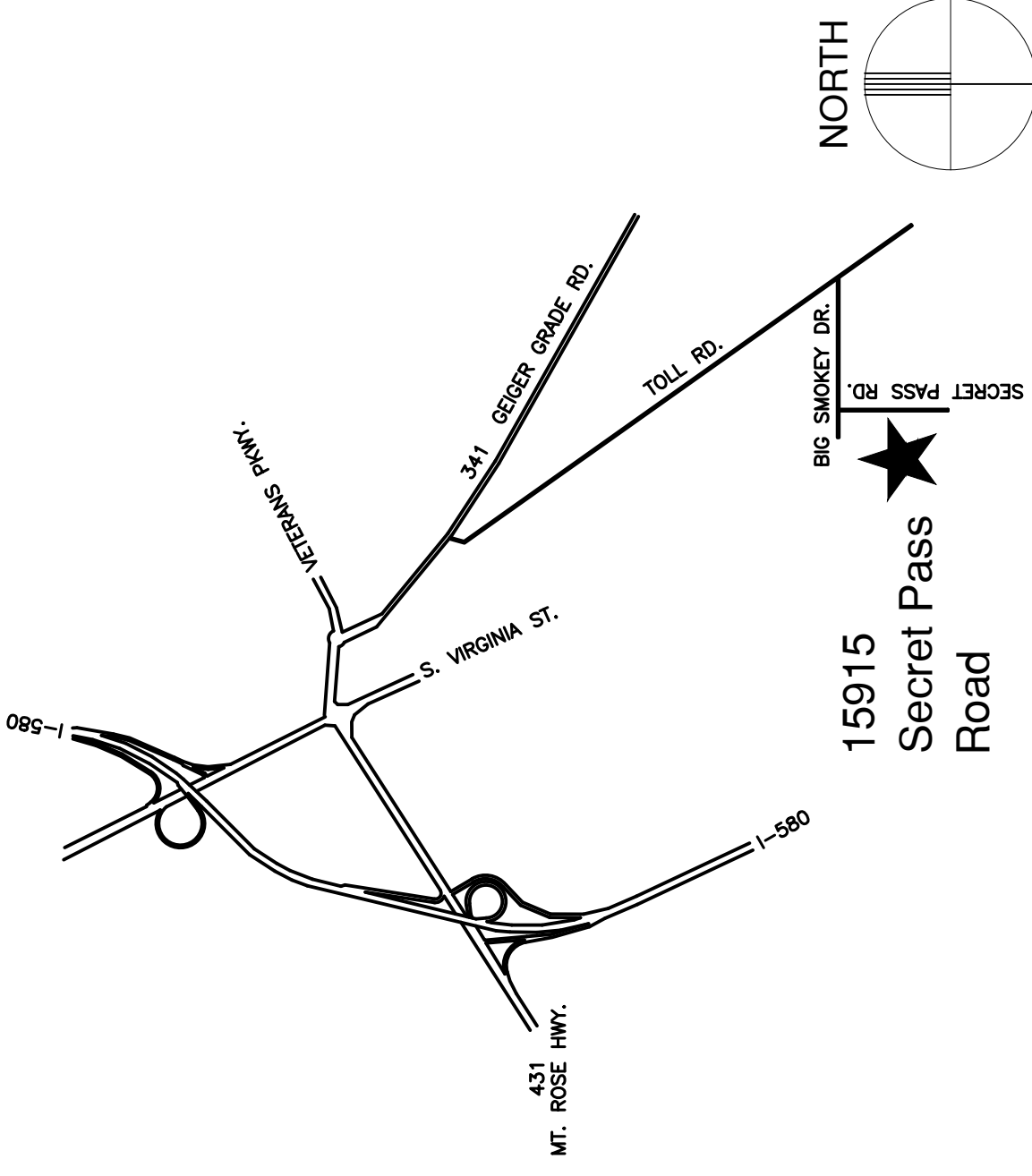
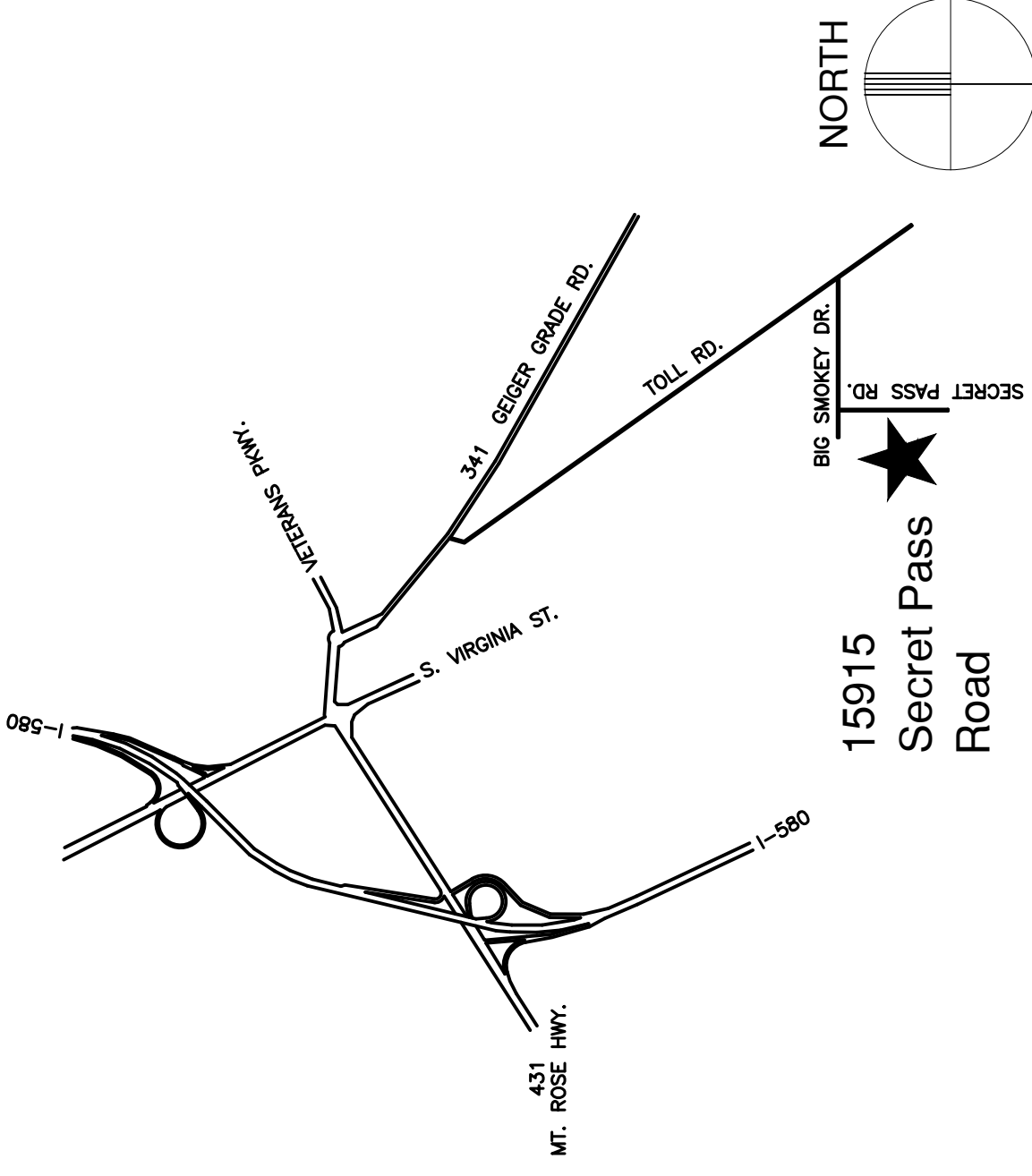
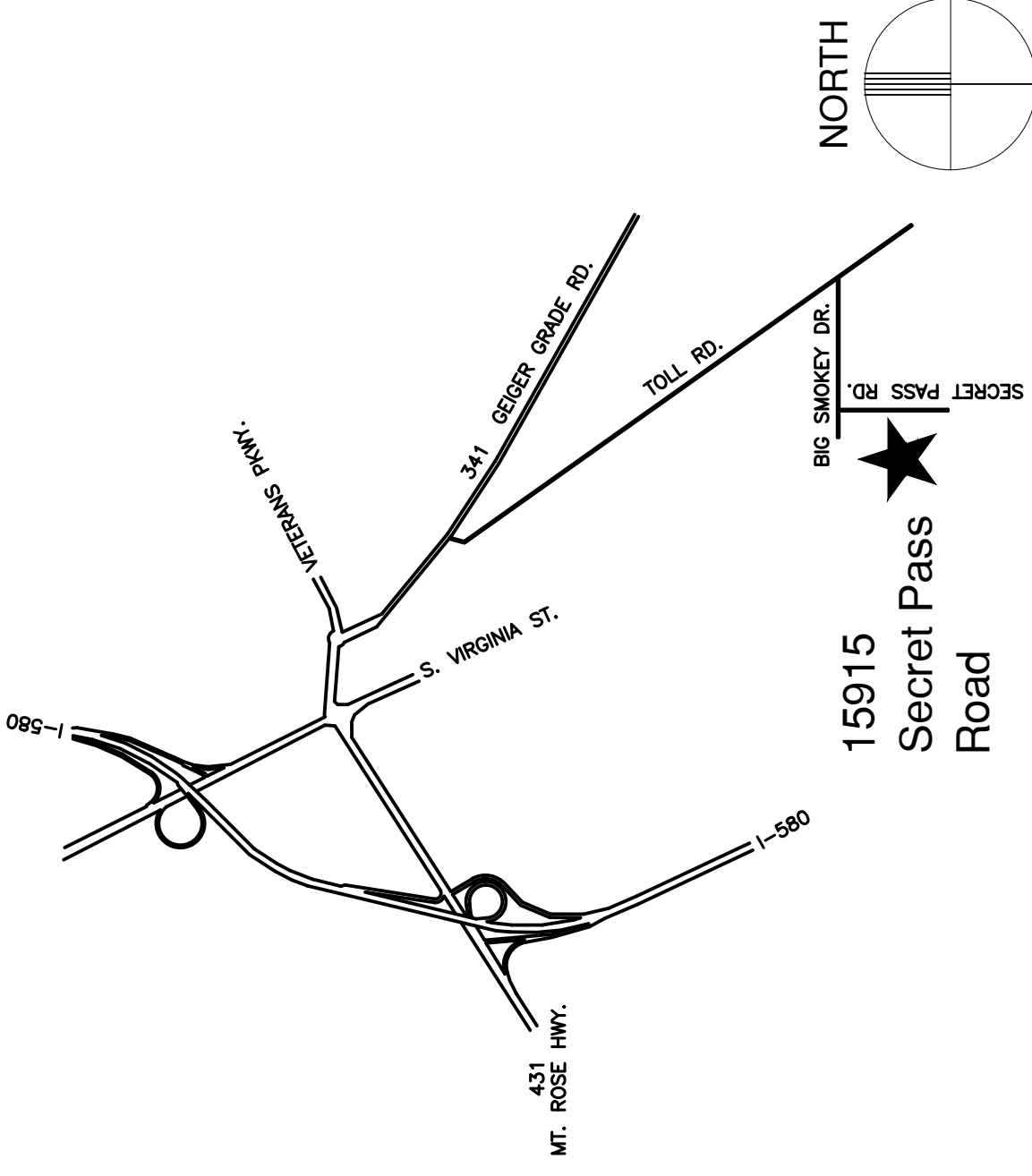
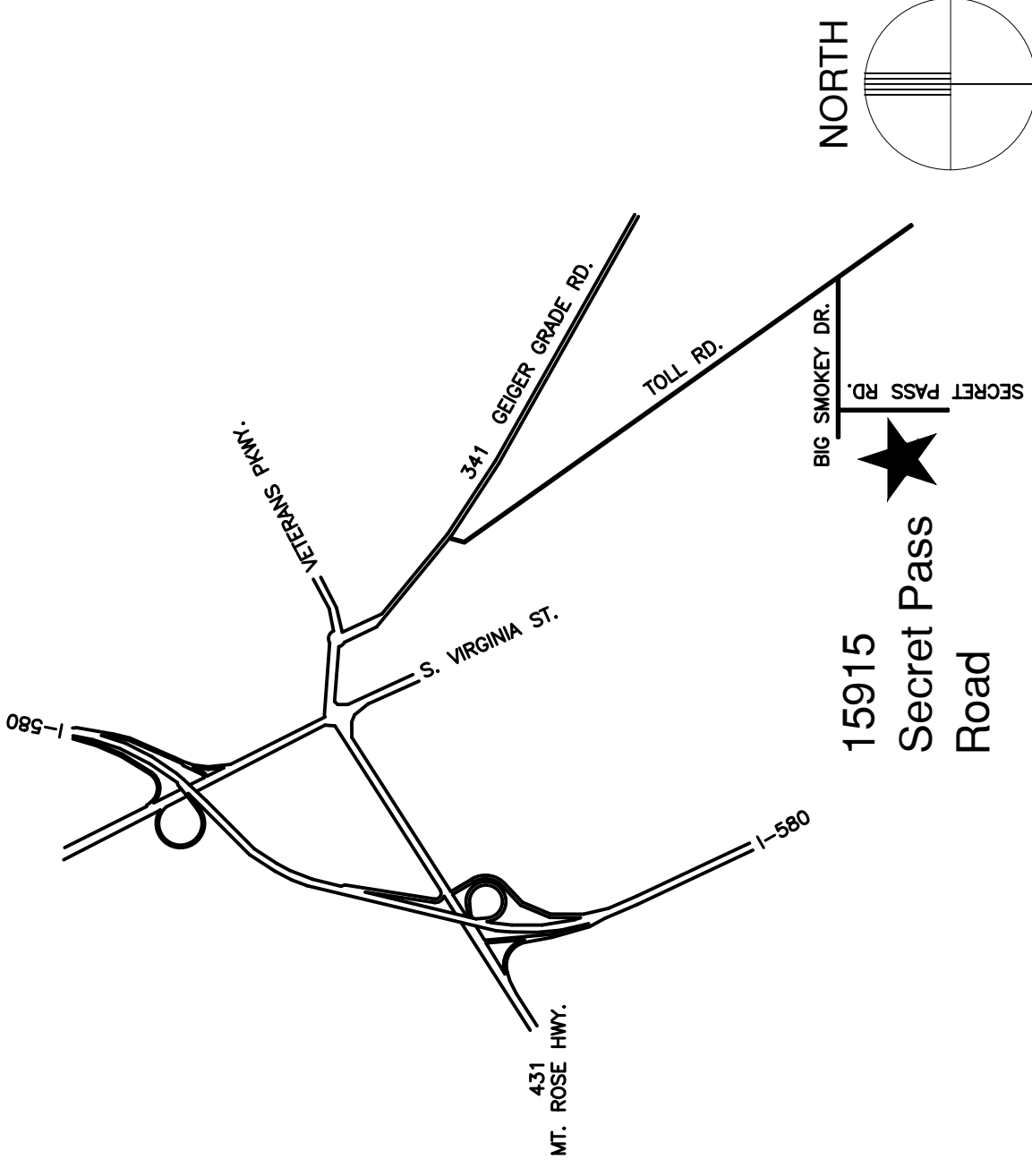
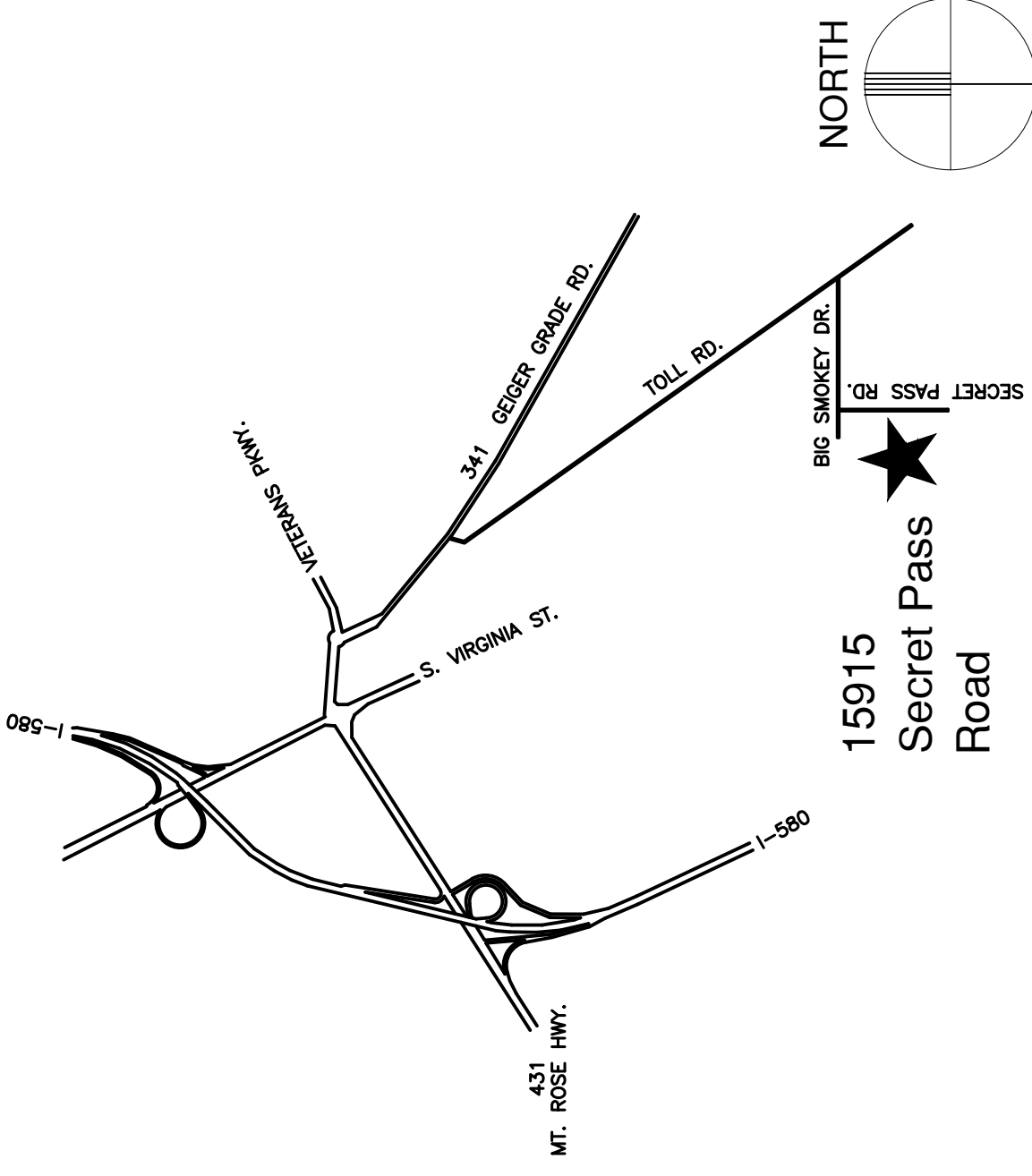
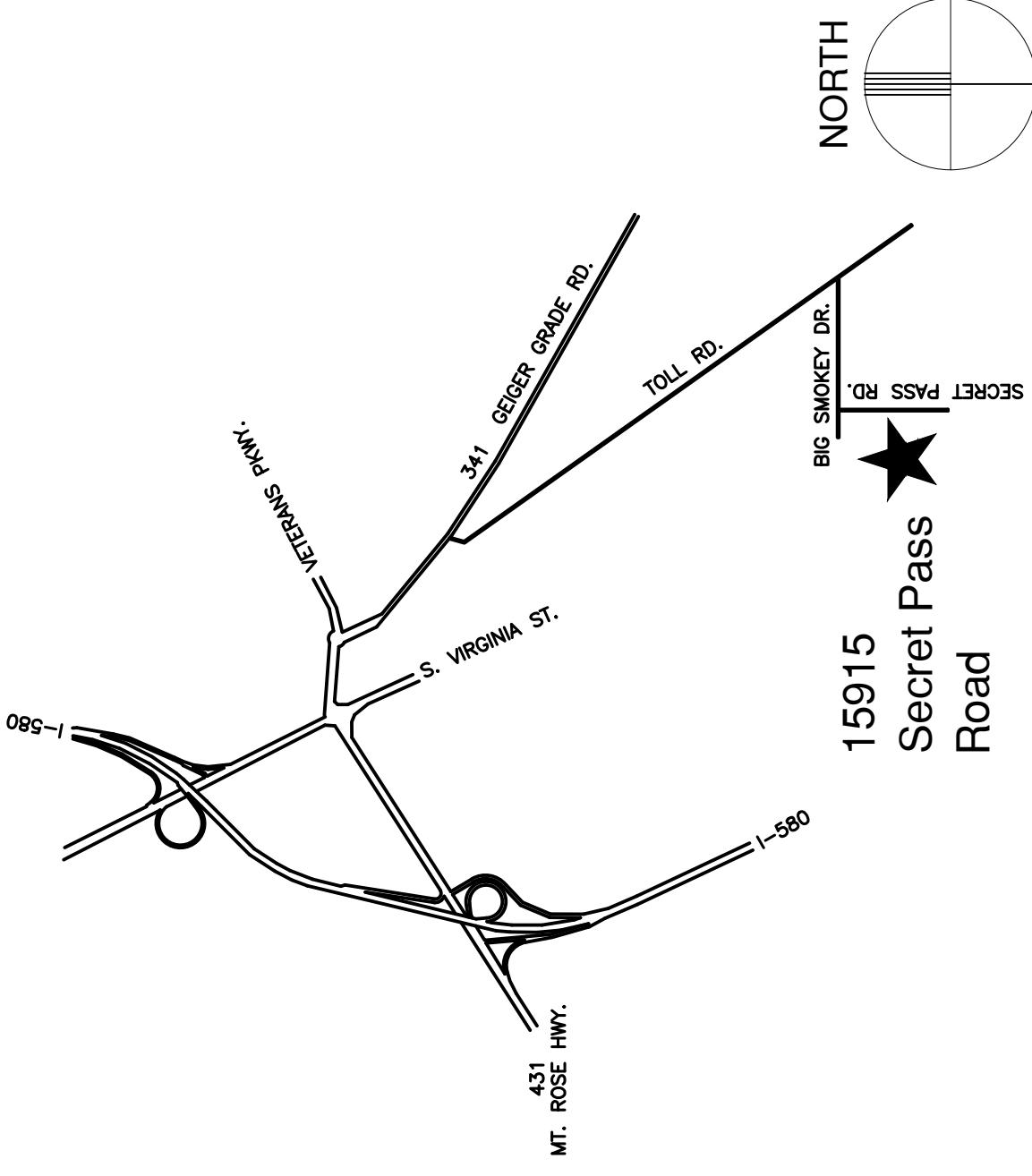
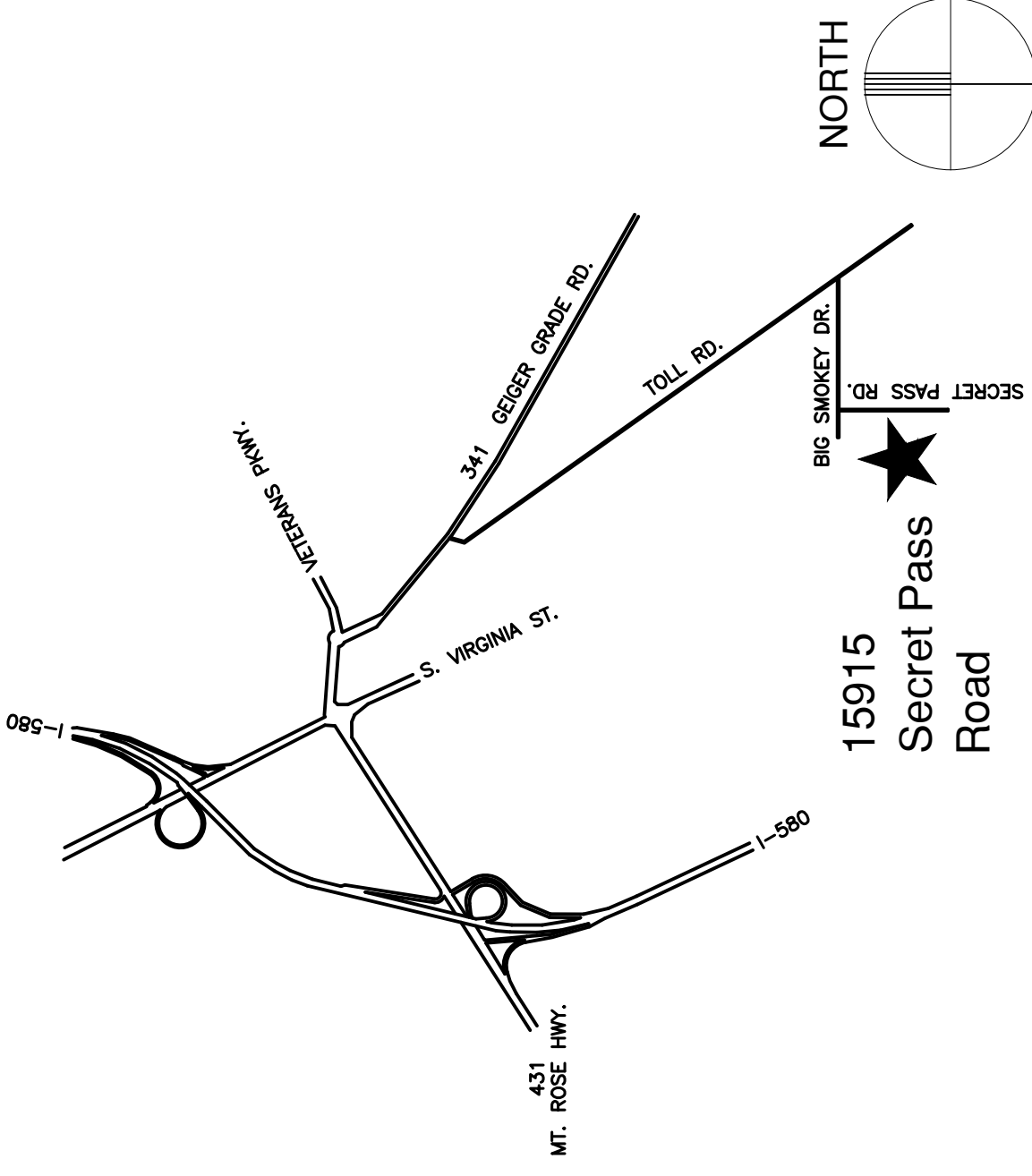
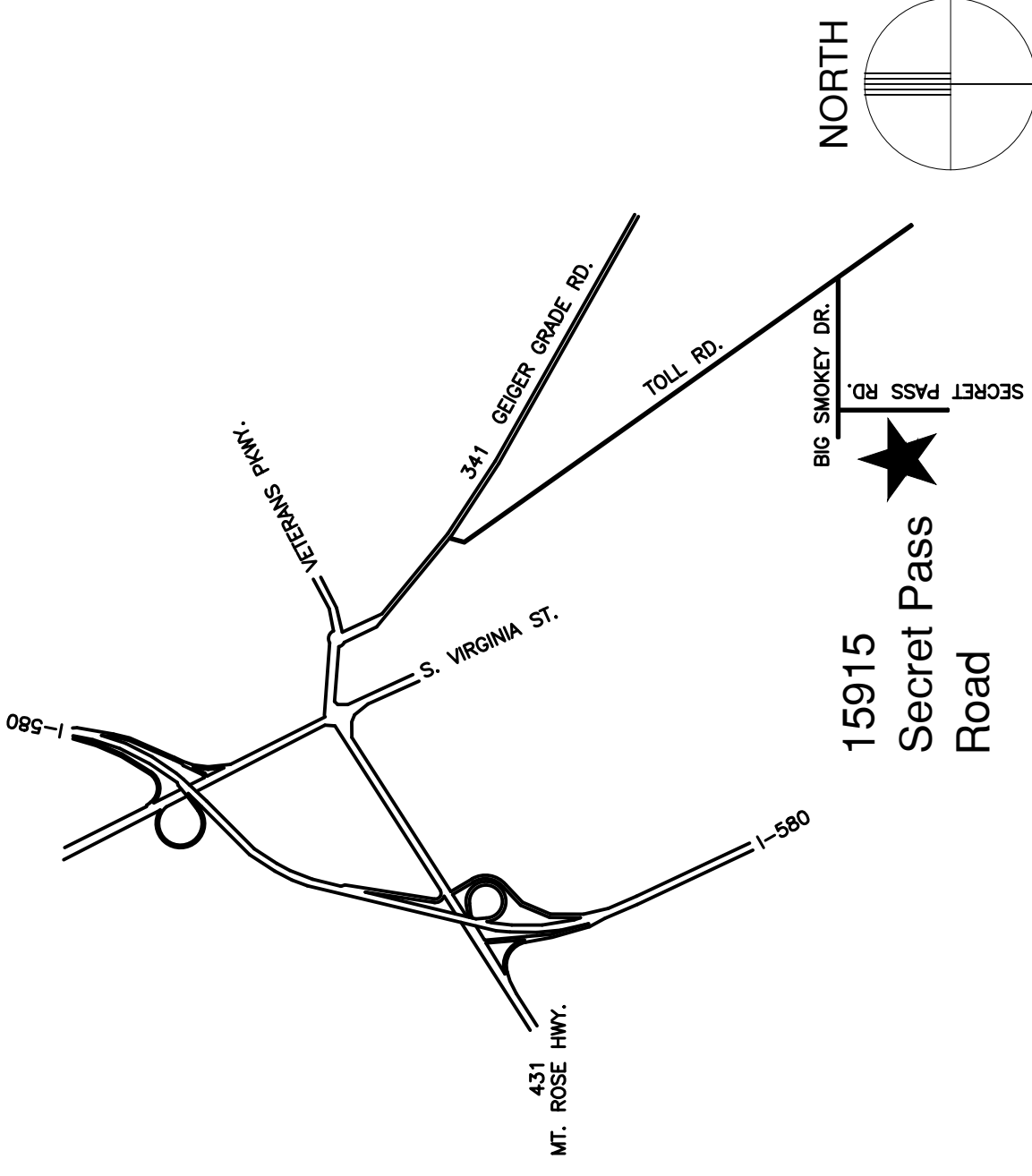
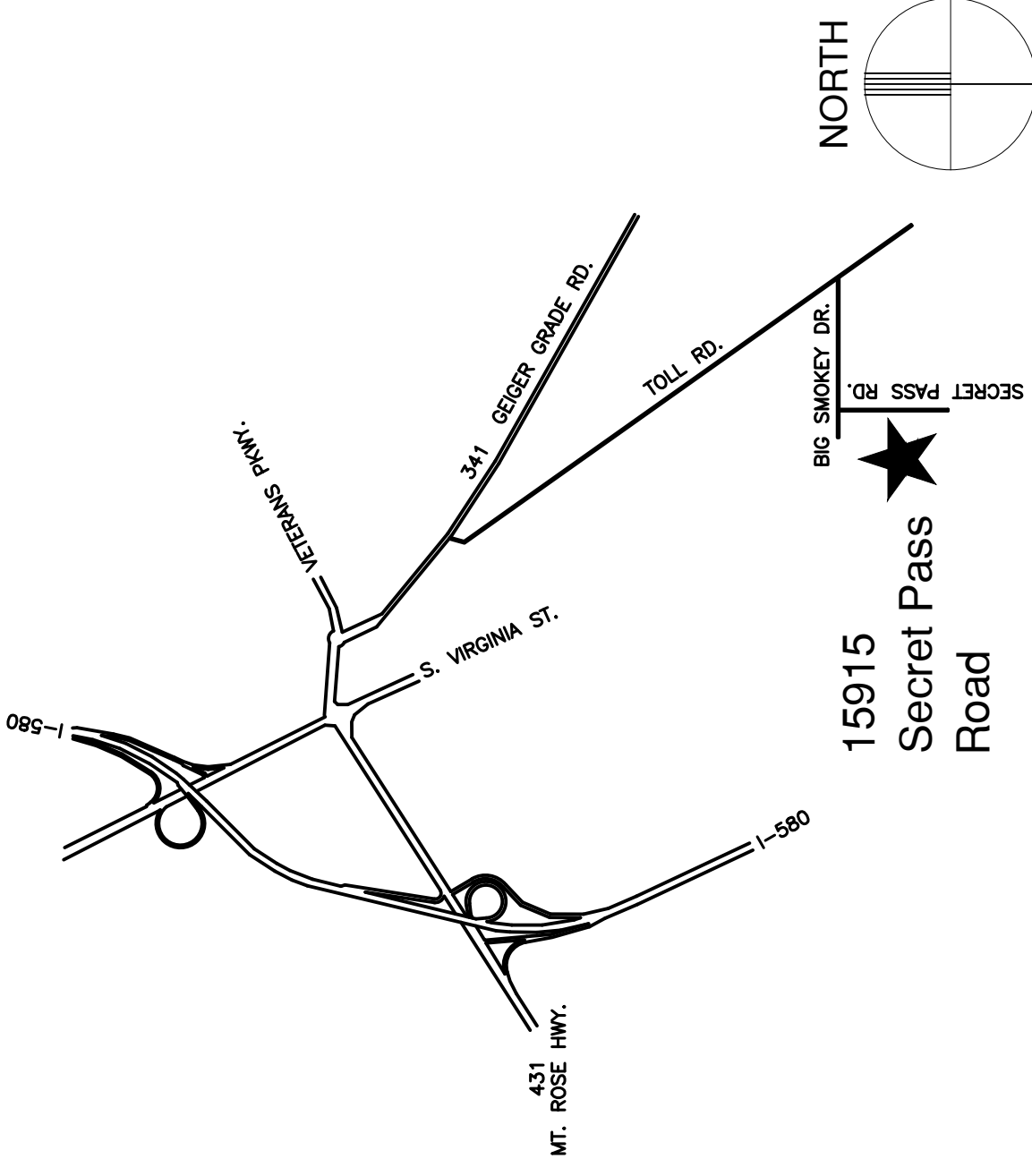
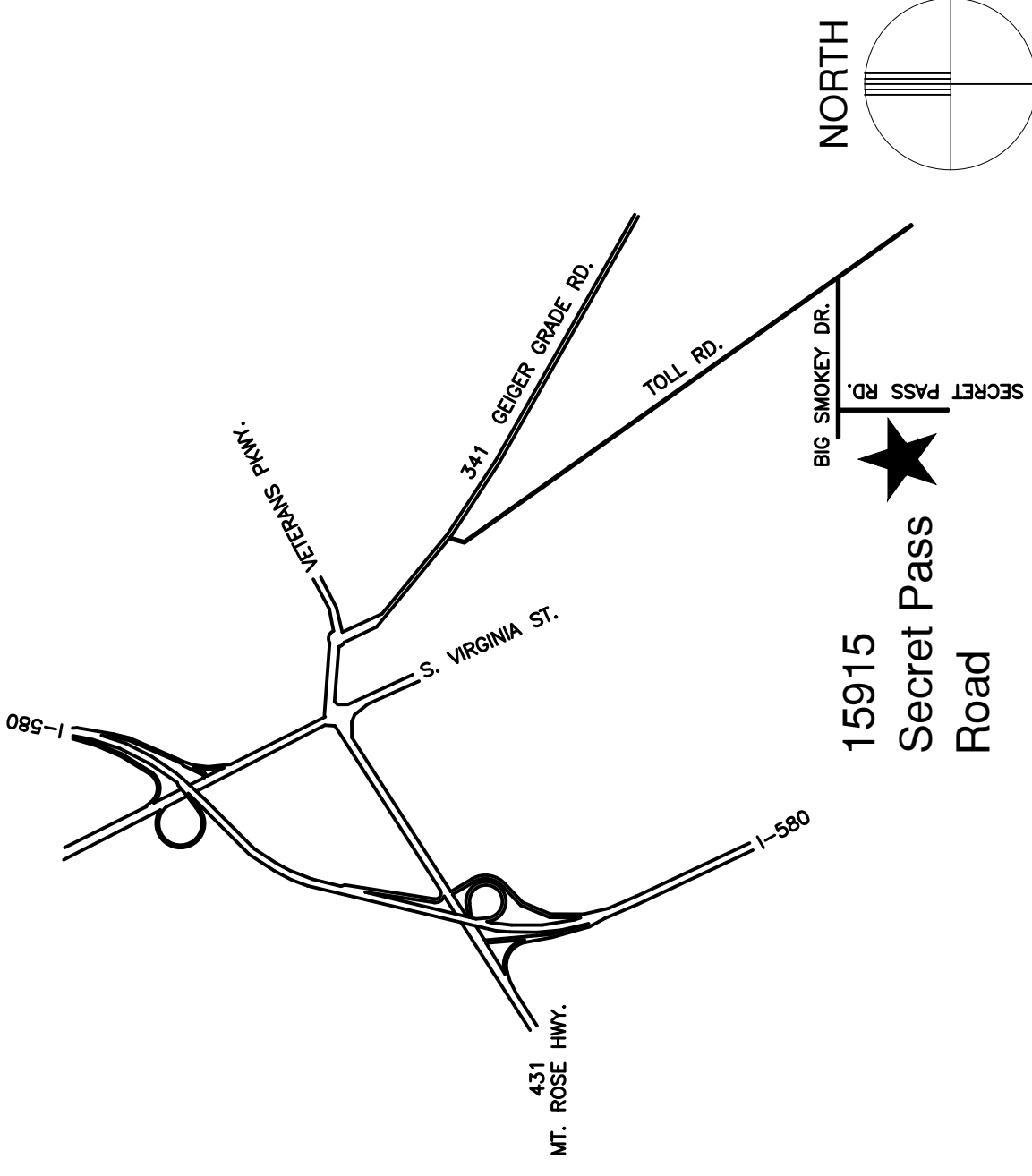
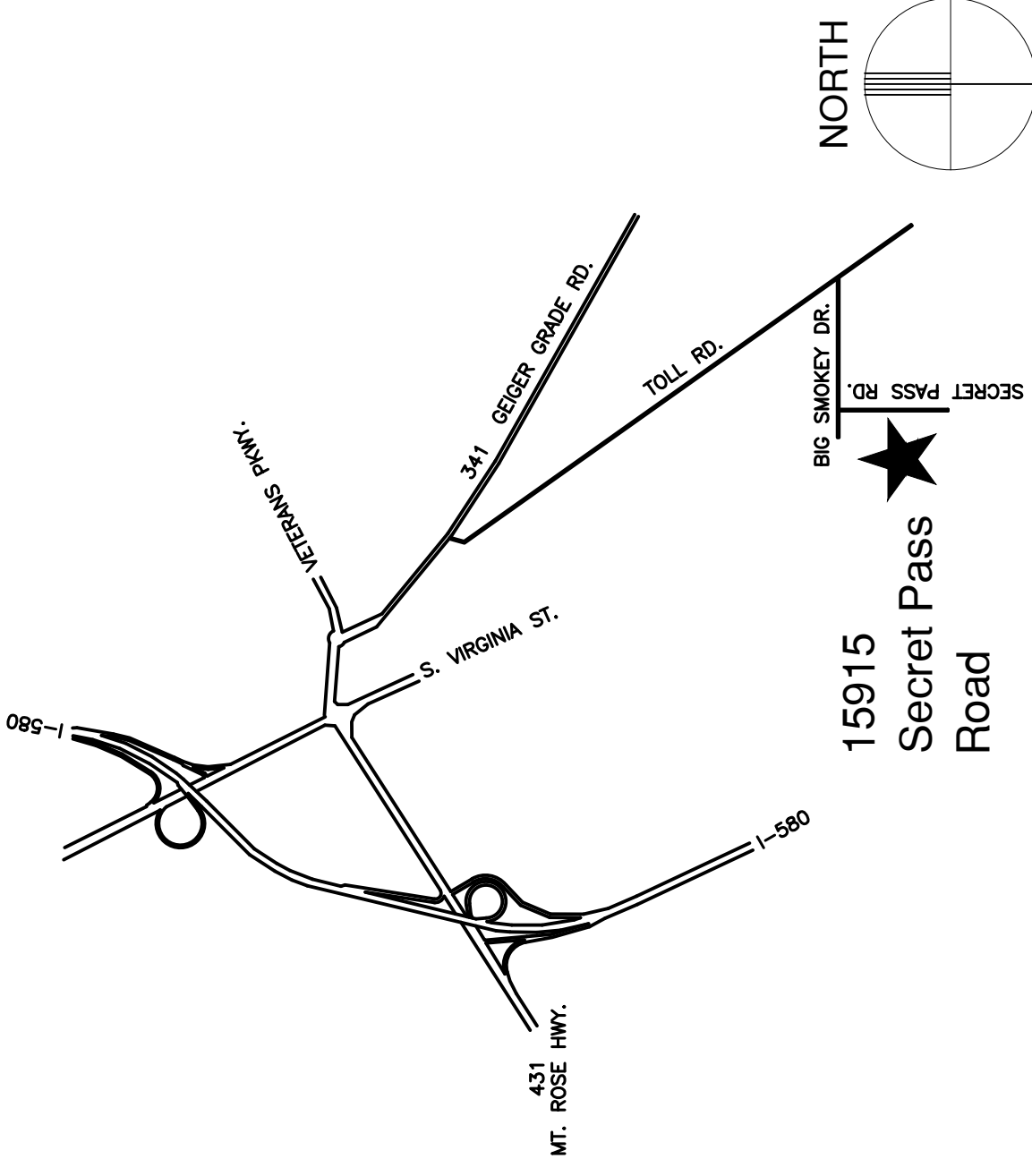
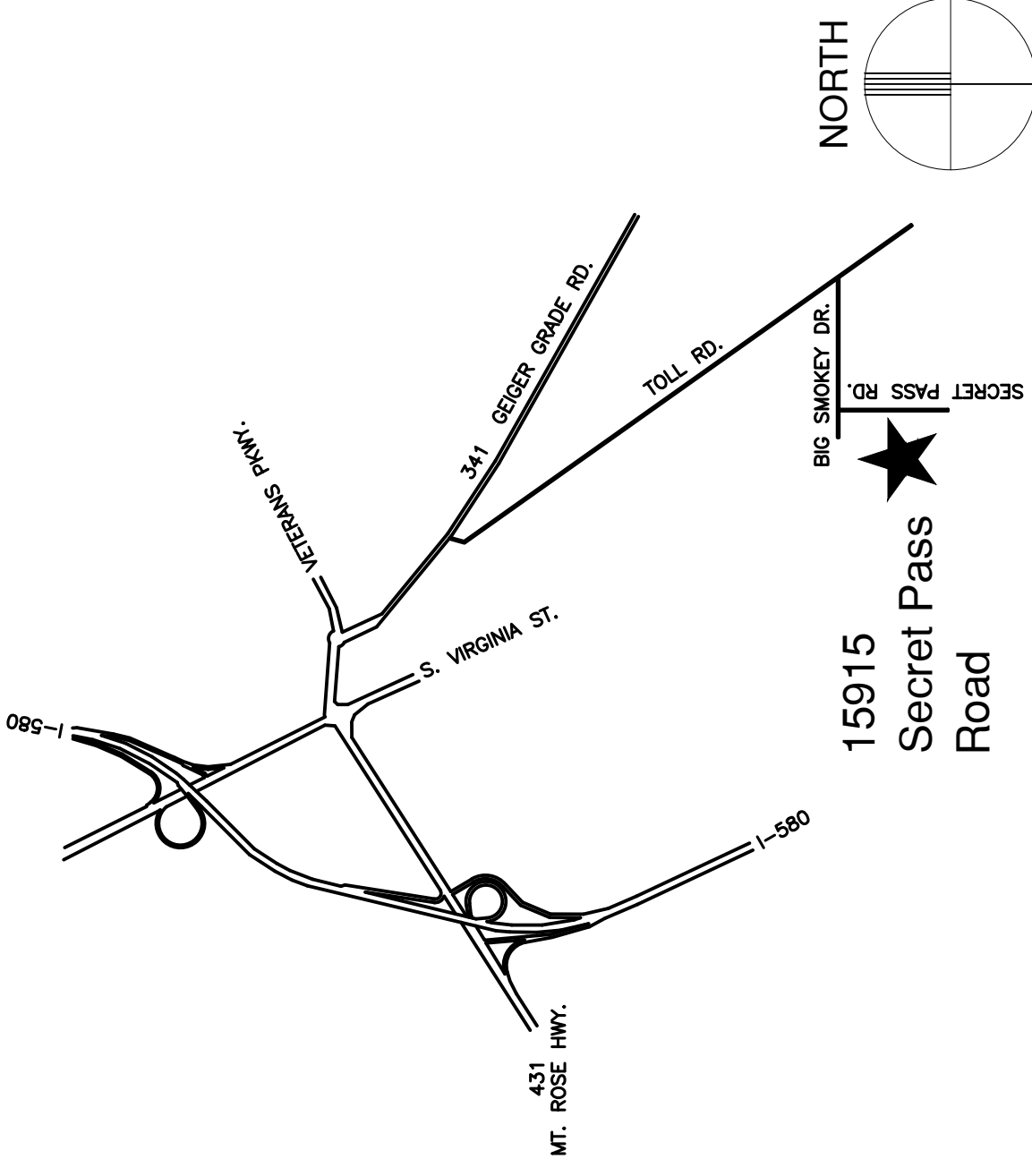
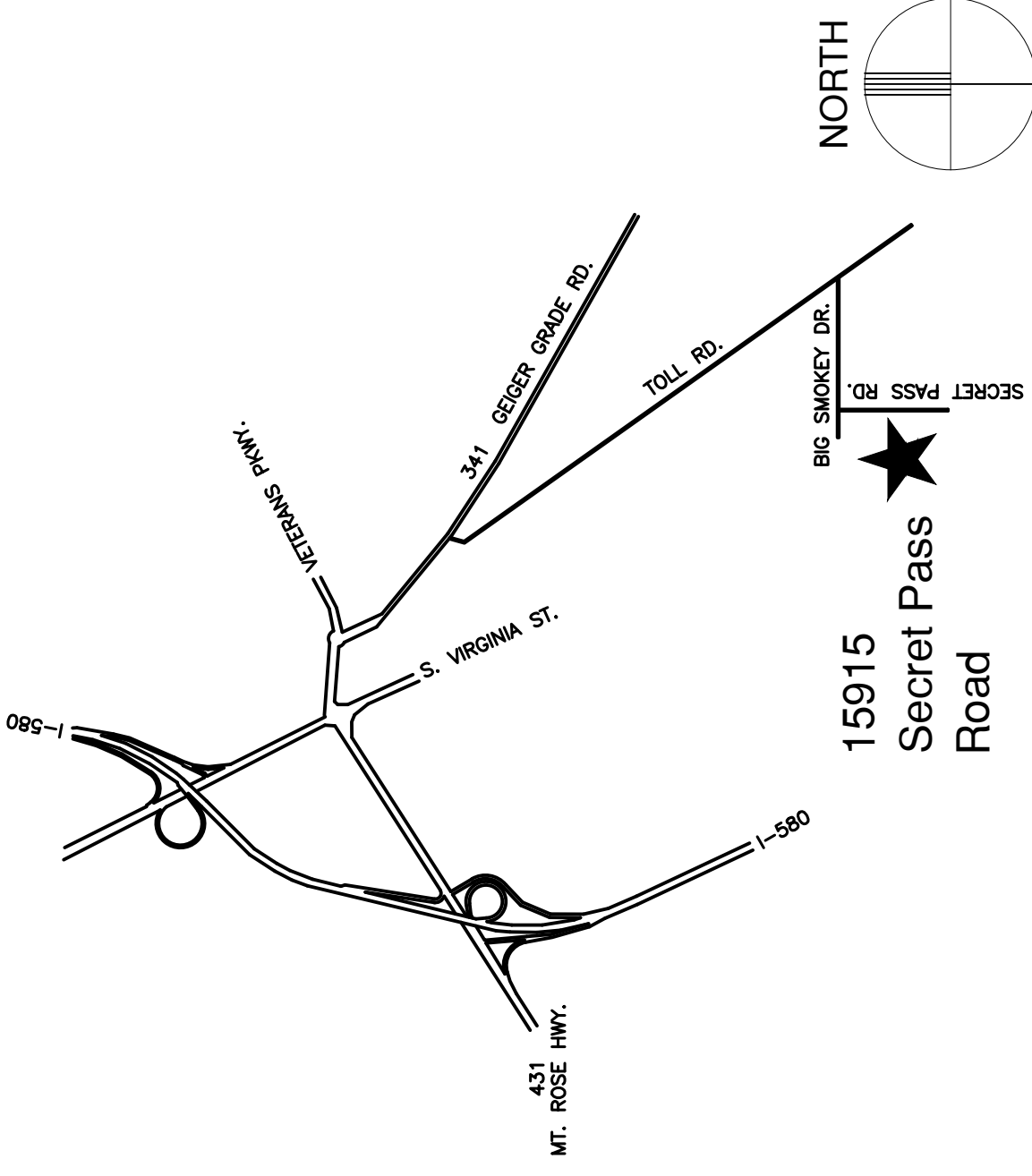
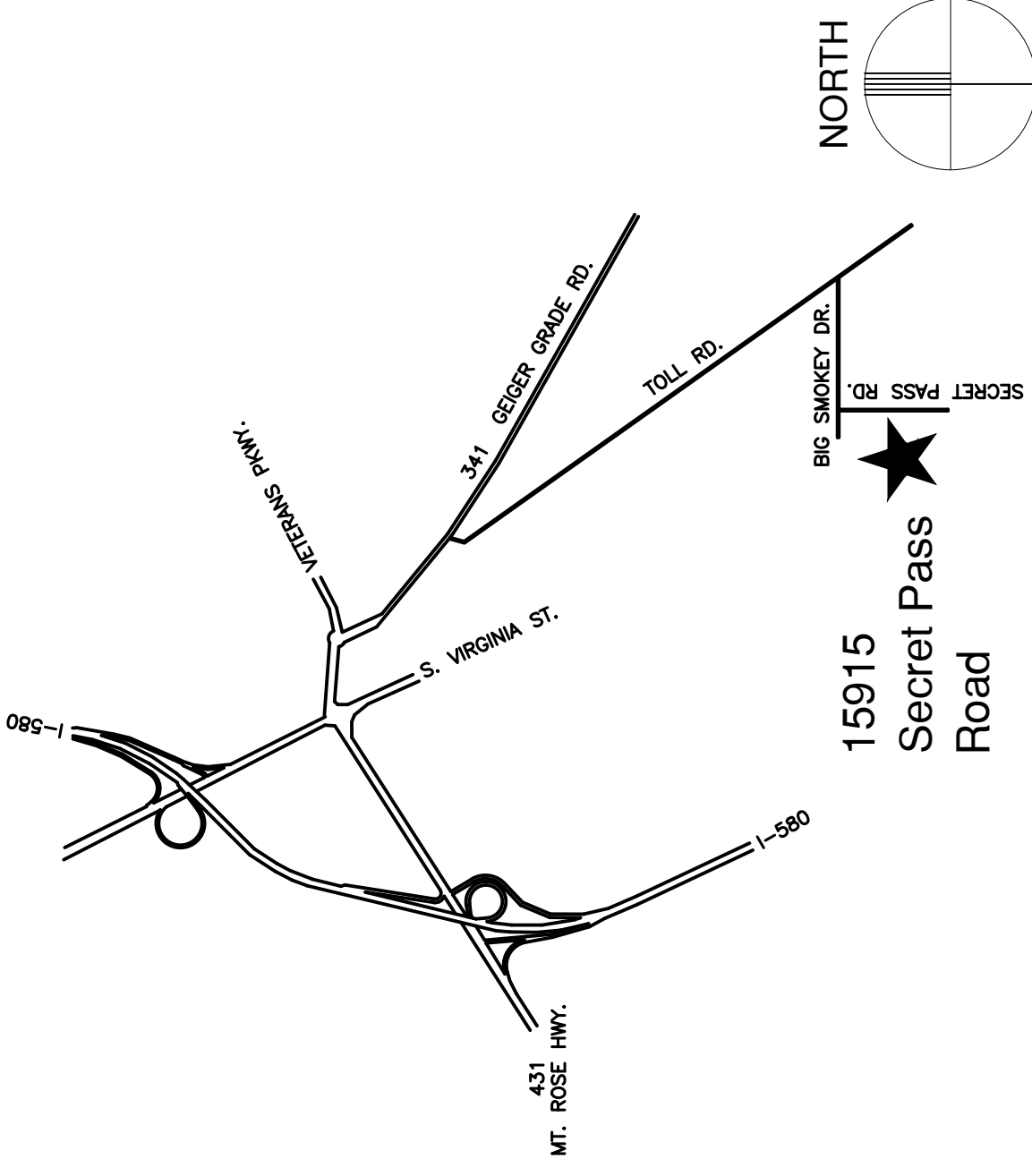
By Whom Paid:

ROJELIO JIMENEZ-RECENDIZ
2645 STAR POINTE DR
RENO NV 89521

BALANCE REMAINING	0.00
CHARGES	592.81
PAID	592.81
CHANGE	0.00

**WSUP21-0014
EXHIBIT D**

<div>GENERAL NOTES</div> <div><div><div>1. SCOPE OF WORK: CONSTRUCTION OF A FREE-STANDING GARAGE WITH SECOND FLOOR DETACHED ACCESSORY DWELLING, INCLUDING THE INSTALLATION OF NEW PLUMBING.</div><div>2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE WASHOE COUNTY BUILDING DEPARTMENT AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.</div><div>3. BEFORE COMMENCING THE WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE WASHOE COUNTY PLANNING AND BUILDING DIVISION, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY THE GOVERNING WASHOE COUNTY AGENCIES.</div><div>4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</div><div>5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES.</div><div>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</div><div>7. THE CONTRACTOR SHALL LAYOUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, MECHANICAL, ELECTRICAL, ETC.</div><div>8. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE PLANNING AND BUILDING DIVISION, ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN-OFFS.</div><div>9. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE PLANNING AND BUILDING DIVISION, ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN-OFFS.</div><div>10. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</div><div>11. ALL ABANDONED PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED, PLUGGED OR SAFED-OFF.</div><div>12. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 901, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE LOCAL LAWS AND REGULATIONS.</div><div>13. ALL FINISHES AND MATERIALS USED, MUST COMPLY WITH THE FLAME SPREAD RATINGS, FIRE AND SMOKE REGULATIONS REQUIRED BY ALL FEDERAL, STATE, LOCAL CODES IN ADDITION TO THE NFPA REGULATIONS.</div><div>14. ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL CODES PERTAINING TO THE PHYSICALLY HANDICAPPED SHALL APPLY TO THE CONTRACT INCLUDING ALL REQUIREMENTS OF ANSI WITH RESPECT TO STAIRS, HANDRAILS, TOILETS, MOUNTING HEIGHTS, ETC...</div><div>15. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.</div><div>16. OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED BY LOCAL LAWS, ORDINANCES AND REGULATIONS PERTAINING TO THIS WORK.</div><div>17. ALL EQUIPMENT SUPPLIED BY THE CONTRACTOR SHALL HAVE APPROVAL FOR USE IN THE CITY, TOWN OR COUNTY HAVING JURISDICTION.</div><div>18. PROVIDE EXIT SIGNS AS REQUIRED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.</div><div>19. AFFIDAVITS FOR CONTROLLED AND SEMI-CONTROLLED INSPECTIONS SHALL BE SUBMITTED IN ACCORDANCE WITH LOCAL LAWS AND CODES AS REQUIRED FOR THIS PROJECT.</div><div>20. EXISTING UTILITY LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE IN THE BUILDING. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY WITH EXCAVATION WORK. HE IS TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMAPPED UTILITY LINES.</div><div>21. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD COVERING OR AFFECTING THE WORK. HE SHALL OBTAIN AND VERIFY ALL DIMENSIONS TO INSURE PROPER STRENGTH, FIT, AND LOCATION AND SHALL REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT PROPER COMPLETION OF THE WORK. DRAWINGS SHALL NOT BE SCALED.</div><div>22. LAYOUT OF WORK: THE CONTRACTOR SHALL LAYOUT HIS WORK FROM THE DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH AND SHALL ADVISE THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES OR CONFLICTS PRIOR TO COMMENCING THE ACTUAL WORK.</div><div>23. ALL WORK SHALL BE CONSIDERED TO BE EXISTING EXCEPT WHERE INDICATED TO BE NEW WORK.</div><div>24. FURNISH AND INSTALL ALL FIRE EXTINGUISHERS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND BUILDING CODES AND LOCATE WHERE SHOWN ON THE ARCHITECTURAL DRAWINGS OR AS DIRECTED BY THE ARCHITECT IN THE FIELD.</div><div>25. CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS, CONTROLLED INSPECTIONS & SIGN-OFFS PERTAINING TO THE WORK AS REQUIRED BY THE LOCAL BUILDING CODE AND ALL APPLICABLE COUNTY AND STATE CODES. FEDERAL REGULATIONS, NFPA 101, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE LOCAL LAWS AND REGULATIONS.</div></div></div>	<div>LEGEND</div> <div><div><div><div><div></div><div>EXISTING CONSTRUCTION TO REMAIN</div></div><div><div><div></div><div>EXISTING CONSTRUCTION TO BE DEMOLISHED</div></div><div><div><div></div><div>2x6 LOAD BEARING EXTERIOR WALL W/ 5.5" R-21 FIBERGLASS INSULATION, PLUS 1/2" ROXUL SOUND INSULATION. SEE STRUCTURAL & ENGINEERING DRAWINGS FOR STRUCTURAL & FRAMING DETAILS & SPECIFICATIONS</div></div><div><div><div></div><div>2x4 INTERIOR PARTITION: 1/2" FIRE CODE TYPE "X" GYPSUM BOARD ON BOTH SIDES OF 2x4 WOOD STUDS @ 16" O.C. W/ 3 1/2" ROXUL SOUND INSULATION BATTS IN STUD CAVITIES</div></div><div><div><div></div><div>COMBINATION SMOKE/CO DETECTOR, 110 VOLT W/ BATTERY BACK-UP, INTERCONNECTED W/ ALL OTHER SMOKE/CO DETECTORS IN BUILDING</div></div><div><div><div></div><div>FROST FREE HOSE BIBB WITH BACK FLOW PREVENTION DEVICE</div></div><div><div><div></div><div>FIREPROOF, SELF-CLOSING DOOR</div></div><div><div><div></div><div>DOOR</div></div></div></div></div></div></div></div></div></div></div></div>
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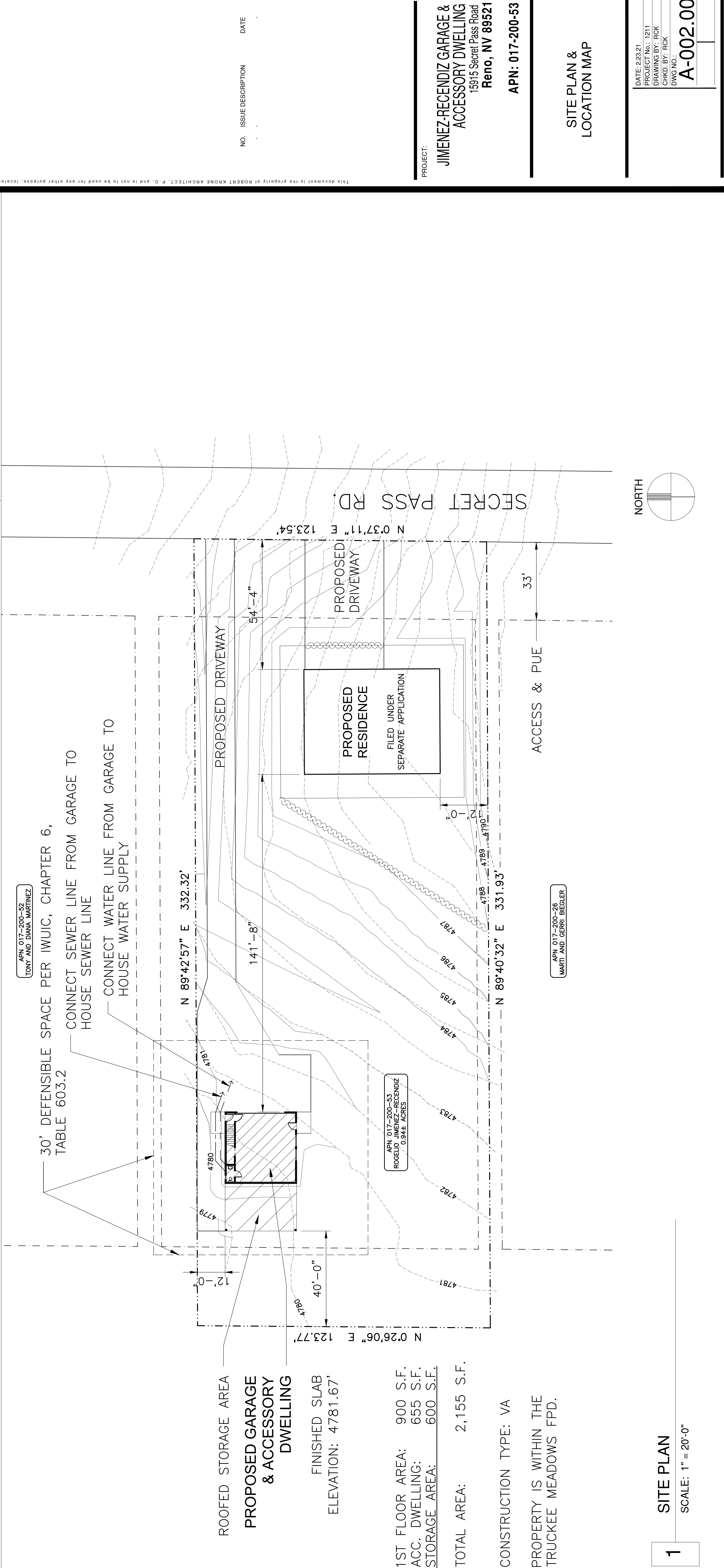
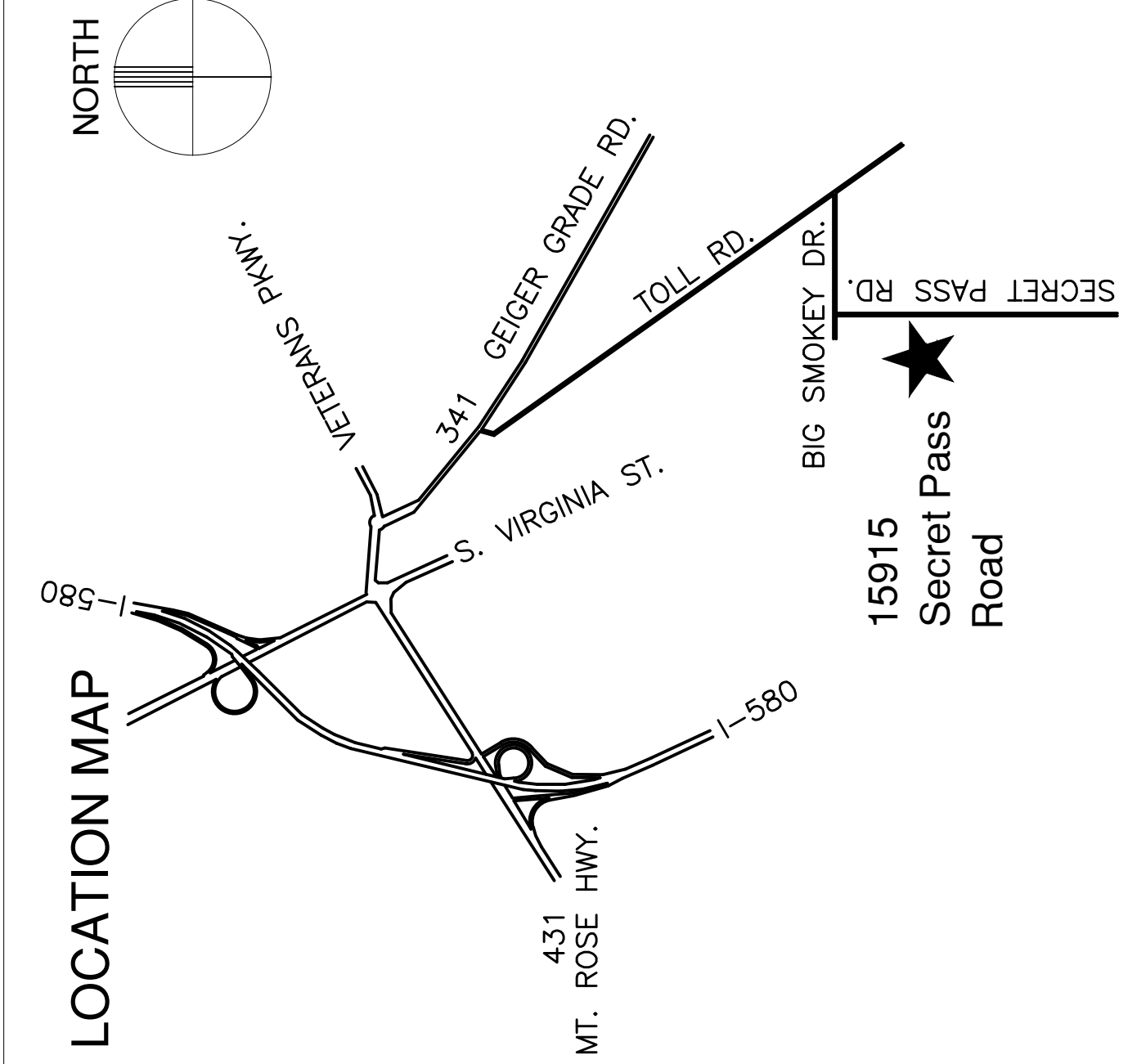
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JIMENEZ-RECENDIZ
GARAGE &
ACCESSORY
DWELLING

15915 Secret Pass Road
Reno, NV 89521
APN: 017-200-53

Zoning: MDS
Lot area: 41,065 SF

Owner Contact Information:
ROGELIO
JIMENEZ-RECENDIZ
775-691-9744



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ARCHITECT P.C.

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VERDI, NEVADA 89439
TEL: 917.359.9302
bob@kronearc.com
www.kronearc.com

NO. ISSUE DESCRIPTION DATE

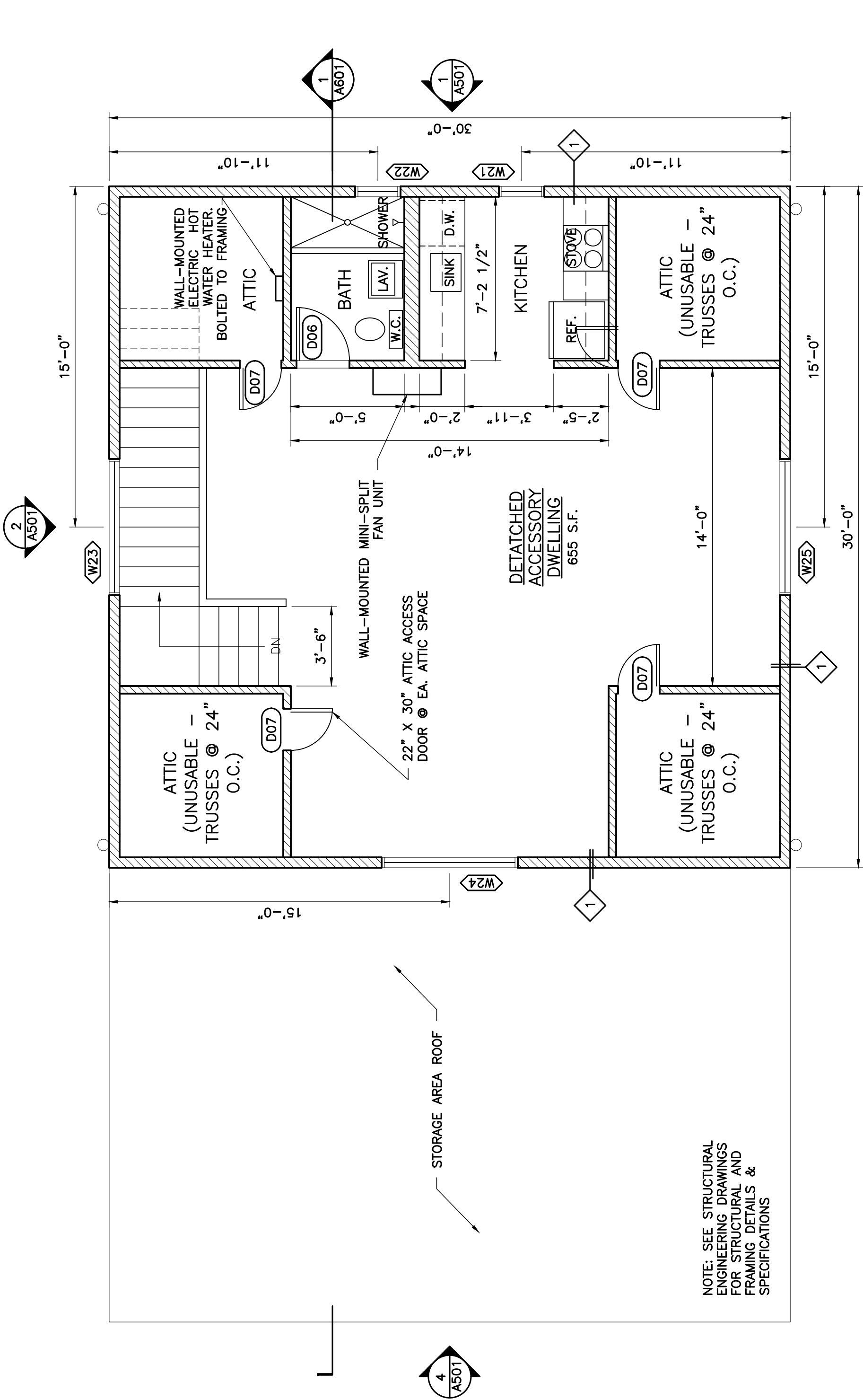
PROJECT: **JIMENDEZ-RECENZIZ**
GARAGE
15915 Secret Pass Road
Reno, NV 89521
APN: 017-200-53

FLOOR & ROOF PLANS

DATE: 2.5.21
PROJECT No.: 1211
DRAWING BY: RCK
CHKD. BY: RCK
DWG NO.:

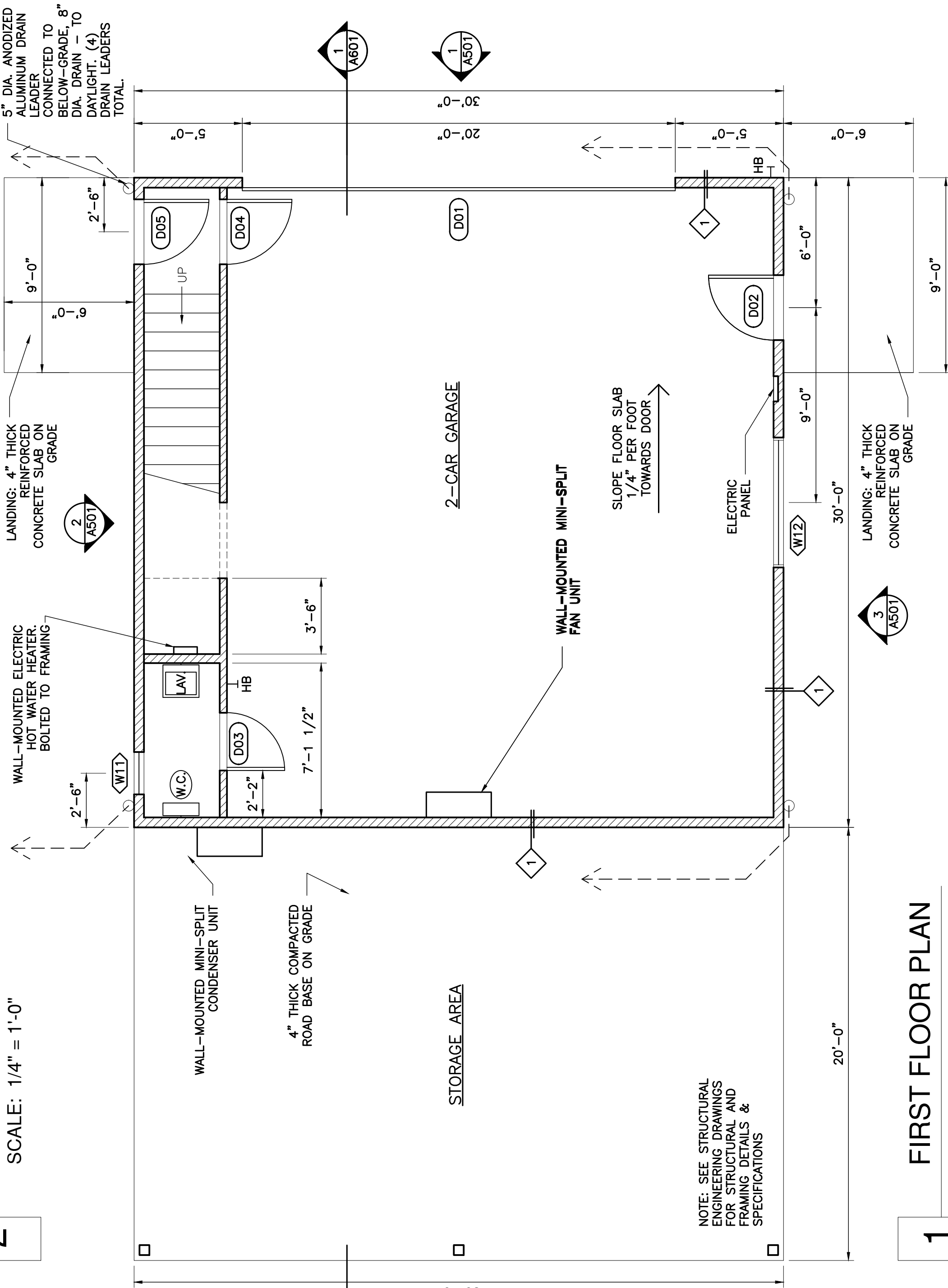
A-201.00

WSUP24-0014
EXHIBIT D



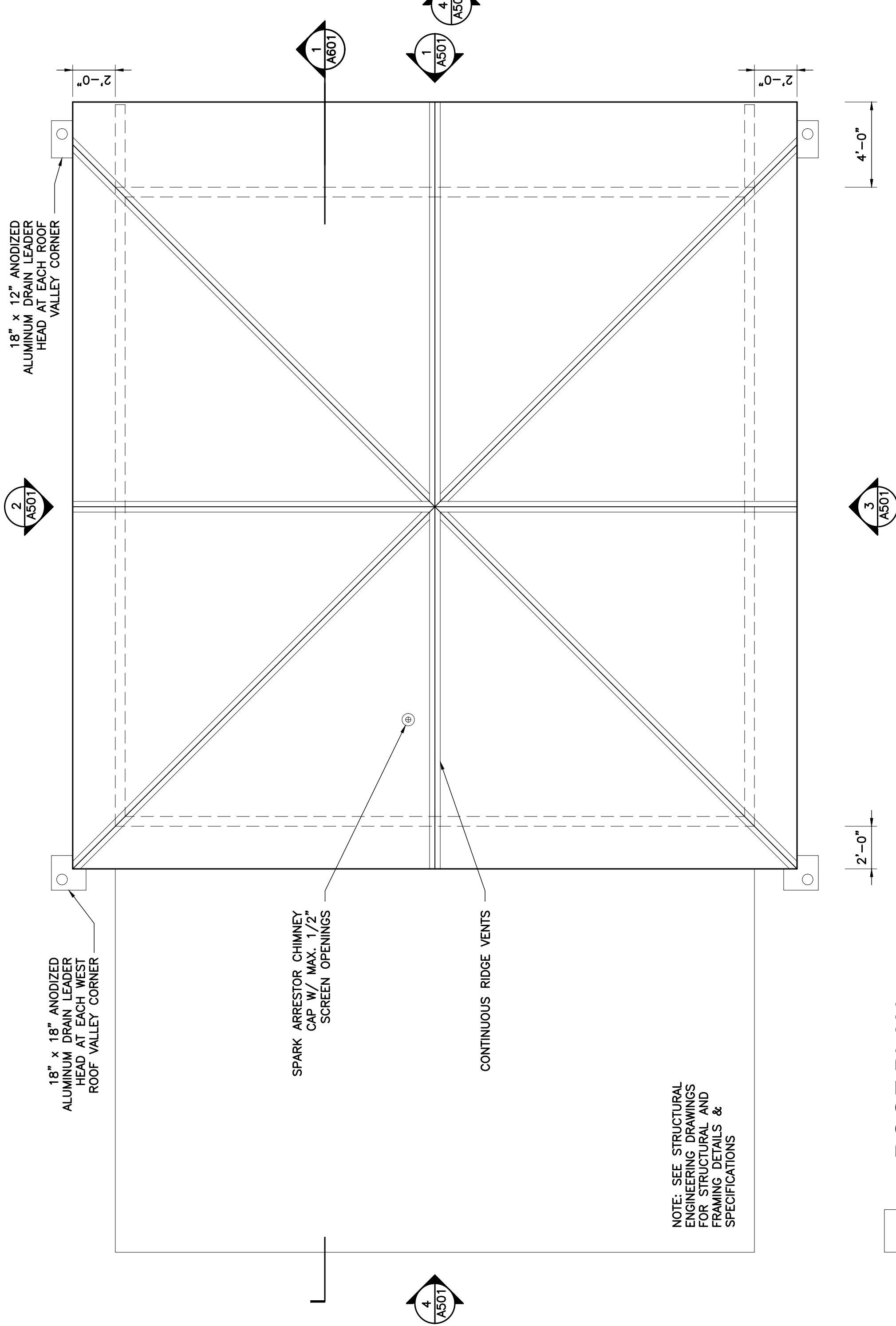
2 ACCESSORY DWELLING UNIT PLAN

SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 ROOF PLAN

SCALE: 1/4" = 1'-0"

PROPOSED GARAGE
& ACCESSORY
DWELLING

FINISHED SLAB
ELEVATION: 4781.67'

ROOFED STORAGE AREA
1ST FLOOR: 900 S.F.
ACC. DWELLING: 655 S.F.
STORAGE AREA: 600 S.F.
TOTAL AREA: 2,155 S.F.

PROPERTY IS WITHIN THE
TRUCKEE MEADOWS FPD.

30' DEFENSIBLE SPACE PER IWUC, CHAPTER 6,
TABLE 603.2

CONNECT SEWER LINE FROM GARAGE TO
HOUSE SEWER LINE

CONNECT WATER LINE FROM GARAGE TO
HOUSE WATER SUPPLY

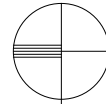
APN 017-200-52
TONY AND DIANA MARTINEZ

1

SITE PLAN

SCALE: 1" = 40'-0"

NORTH



SECRET PASS RD.

N 0°37'11" E 123.54'

PROPOSED
DRIVEWAY

PROPOSED
RESIDENCE

FILED UNDER
SEPARATE APPLICATION

APN 017-200-53
ROGELIO JIMENEZ-RECENDIZ
0.94± ACRES

ACCESS & PUE

APN 017-200-26
MARTI AND GERRI BIEGLER

JIMENEZ-RECENDIZ
GARAGE & ACCESSORY DWELLING

15915 SECRET PASS RD.
RENO, NV 89521

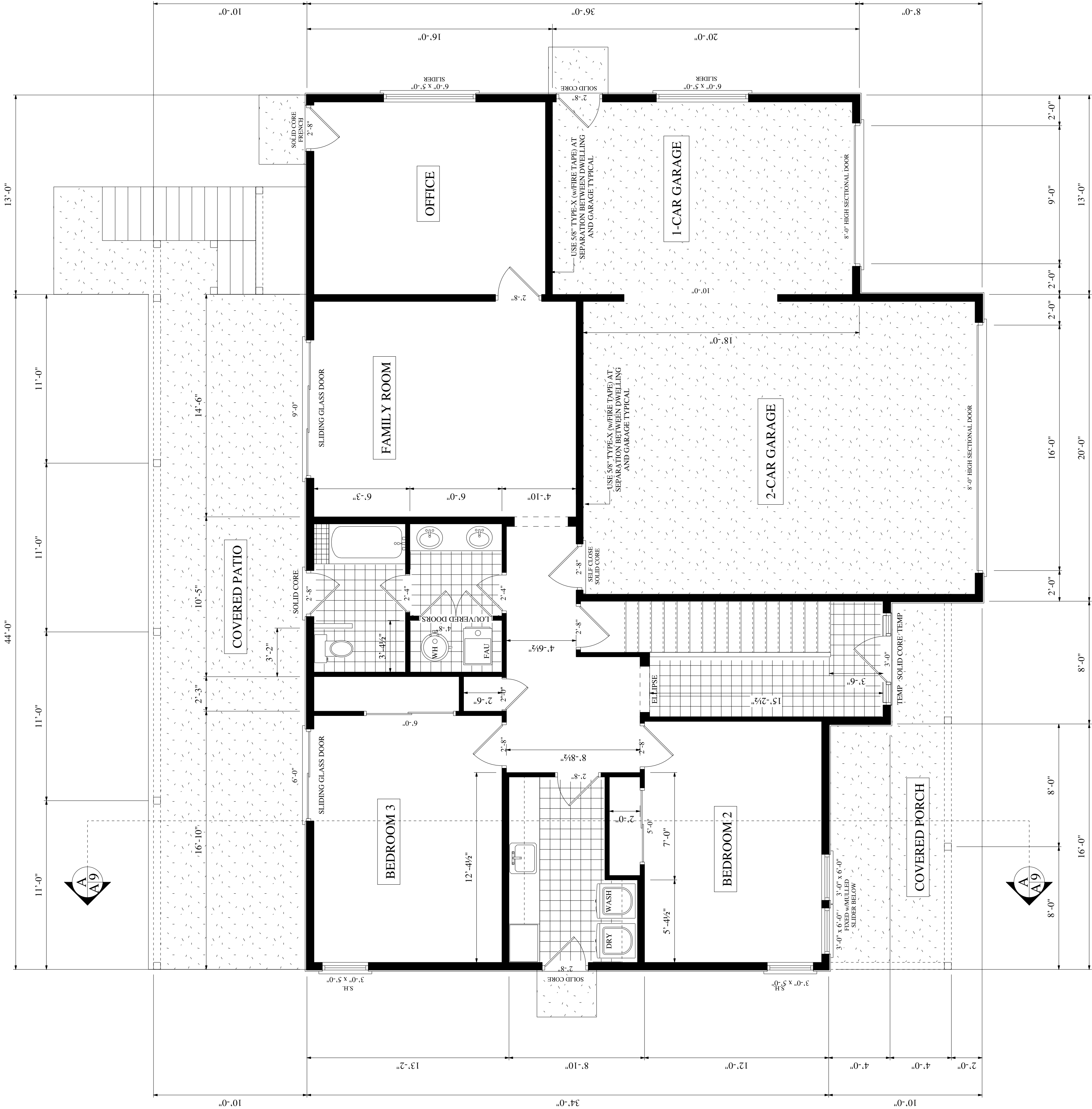
SITE PLAN
A002.00

APN: 017-200-53

WSUP21-00-f4
EXHIBIT D

1425 SQ FT OF LIVING THIS LEVEL

- ① OPENING OF 5.7 SQ. FT. NET CLEAR HEIGHT 24" NET CLEAR WITHIN MINIMUM NET FLOOR CLEARING HEIGHT OF 6' ABOVE THE FLOOR. ALSO EMERGENCY EGRESS THROUGH EXISTING REAR PORCH OR PATIO.
- ② HABITABLE ROOMS SHALL BE PROVIDED AN UNATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS w/AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS.
- ③ THROUGH OPERABLE WINDOWS, DOORS, & OTHER APPLICABLE OPENINGS TO OUTSIDE AIR, BATHROOMS, WATER CLOSET COMPARTMENTS & LAUNDRY ROOMS SHALL BE PROVIDED W/MECHANICAL VENTILATION IF NOT PROVIDED W/OFF-PEAK MODELS.
- ④ WALLS AT BOTTOM EDGE OF GLAZING IN WITHIN 6" OF FIXTURE FLOOR FOR SAFETY GLAZING ALSO REQ'D IN WINDOWS WITHIN 24" OF EDGE OF DOOR. MORE GLAZING REQ'D IN WINDOWS WHEN SILL IS LESS THAN 18" ABOVE FLOOR IF SAFE
- ⑤ EVERY DWELLING UNIT & GUEST ROOM SHALL BE PROVIDED A-BRATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3" ABOVE THE FL&R 24" FROM EXTERN WALL IN ALL HABITABLE ROOMS & THE HOOD SHALL NOT BE LESS THAN 24"
- ⑥ HOOD OVER STOVE/COOK TOP TO BE VENTED TO EXT N ACCORDANCE W/M.C.M. OR AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. DISHWASHER AND KITCHEN SINK AIR GAP TO BE INSTALLED BETWEEN DISHWASHER AND KITCHEN SINK
- ⑦ ALL APPLIANCES SHALL COMPLY WITH THE IECC - ENERGY EFFICIENCY.
- ⑧ A 3" WORKING CLEARANCE IS REQ'D AT SIDES & REAR OF FAU PER MFG RCTE PLACEMENT. IF HEATER/STOVE IS INSTALLED ON UPPER & LOWER - 12" PLACE FAU WITHIN IT'S HEAT PROTECTION FIELD.
- ⑨ IF PROVIDING ATTIC ACCESS IN THE GARAGE, FRAME AN ACCESS SLATCH MODIFIED 1-HOUR DOOR. IF USING A PULL DOWN STAIR, FRAME AN ACCESS SLATCH ASSEMBLY AROUND & ABOVE THE PULL DOWN TO SEPARATE THE GARAGE FROM THE ATTIC STORAGE AREA AND MUST HAVE A RATED & LISTED ASSEMBLY.
- ⑩ ALL GARAGES SHALL BE PROVIDED WITH A MINIMUM OF 34" EMBEDMENT & 60#FT SURFACE ABOVE FLOOR TO PROTECT EQUIP. IN GARAGE FROM PHYSICAL DAMAGE (WHERE APPLICABLE)
- ⑪ PROVIDE INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE IN ALL SHOWERS AND TUB/SHOWER COMBOS
- ⑫ PROVIDE 1/2" HOT WATER USE FIXTURES (1/6 GAL FLUSH TOILETS) 7.5 GPM FAUCETS
- ⑬ PROVIDE SERVIC STRAINS AROUND WATER MAIN AT TOP 1/3 & BOTTOM 1/3
- ⑭ WATER HEATER RELIEF VALVE DRAIN SHALL EXTEND TO THE EXTERIOR
- ⑮ USE BACKFLOW PREVENTER ON UNDERDRAINS OF THE BLACK WATER TANKS. FASTENERS 6" TO 8" OC TYPICAL.
- ⑯ A TIGHT-FITTING SOLID WOOD STEEL DOOR NOT LESS THAN 1-3/8" THICK, SOLID O R HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR A SELF-CLOSING, TIGHT-FITTING DOOR HAVING A FIRE PROOF CONSTRUCTION SHALL BE USED TO SEPARATE THE GARAGE FROM THE LIVING AREA. GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED.
- ⑰ THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 58" TYPE-X Gypsum BOARD APPLIED TO THE INTERIOR SURFACES OF BOTH THE GARAGE AND RESIDENCE SIDE(S). THE STRUCTURE SUPPORTING THE GARAGE CEILING SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
- ⑱ THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. THE FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN THE EXTERIOR REO'D TO CLIMB TO THE ATTIC SHALL BE EXTENDED TO THE EXTERIOR DOOR TO PROVIDE TO THE FULL WIDTH OF THE THRESHOLD. EXTENSION SHALL BE LONG ENOUGH FOR THE EXTERIOR SIDE SHAAL NOT BE MORE THAN 7'-3/4" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR
- ⑲ THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. THE MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL TYPICAL
- ⑳ ALL WEATHER-EXPOSED SURFACES SHALL HAVE A FELT-OR RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. THE FELT OR PAPER SHALL BE APPLIED HORIZONTALLY W/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 1/4". WHERE VERTICAL JOINTS OCCUR, FELT OR PAPER SHALL BE LAPPED VERTICALLY NOT LESS THAN 1/4".
- ㉑ SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ONE EACH ADDITIONAL STORY OF MULTIPLE LEVELS AND WITHOUT AN INTERVENING DOOR. SMOKE ALARM WITH SHALL BE INSTALLED ON A FULL STORY LEVEL. SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL IF LESS THAN A FULL STORY BELOW.
- ㉒ SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL SYSTEM. SMOKE ALARMS SHALL BE PERMANENT AND WITHOUT DISCONNECT FORM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT DISCONNECT OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.
- ㉓ WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED AS NOTED, THE ALARM SHALL BE ACTIVATED BY ANY OF THE ALARMS EXCEPT ONLY ONE PER R.C.I.S.15. A SMOKE ALARM WILL ACTIVATE ALL OF THE ALARMS EXCEPT ONLY ONE PER R.C.I.S.15.
- ㉔ CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER IRC R.315.1
- ㉕ OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH IRC I.602.5.1 & I.602.5.3
- ㉖ DURING REPAIRING A REQUIRED REPAIR SHAFEDOWN SHALL BE PROVIDED TO ALLOW ACCESS TO THE REPAIR. THE REPAIR SHALL HAVE TO OPENING INTO THE GARAGE
- ㉗ HOT WATER HEATER TO HAVE EXHAUST TANKS INSTALLED.



LOWER LEVEL

SHEET TITLE:

PROJECT NAME SHEET

April 26, 2019

April 26, 2019

A2

Rogelio Residence
15915 Secret Pass Road - Washoe County, Nevada
APN: 017-200-53

[illegible]

NO.	REVISIONS/ISSUE	DATE

Rogelio Residence
15915 Secret Pass Road - Washoe County, Nevada
APN: 017-200-53

PROJECT INFORMATION

UPPER LEVEL

SHEET TITLE:

PROJECT NAME

SHEET

A3

DATE
April 26, 2019

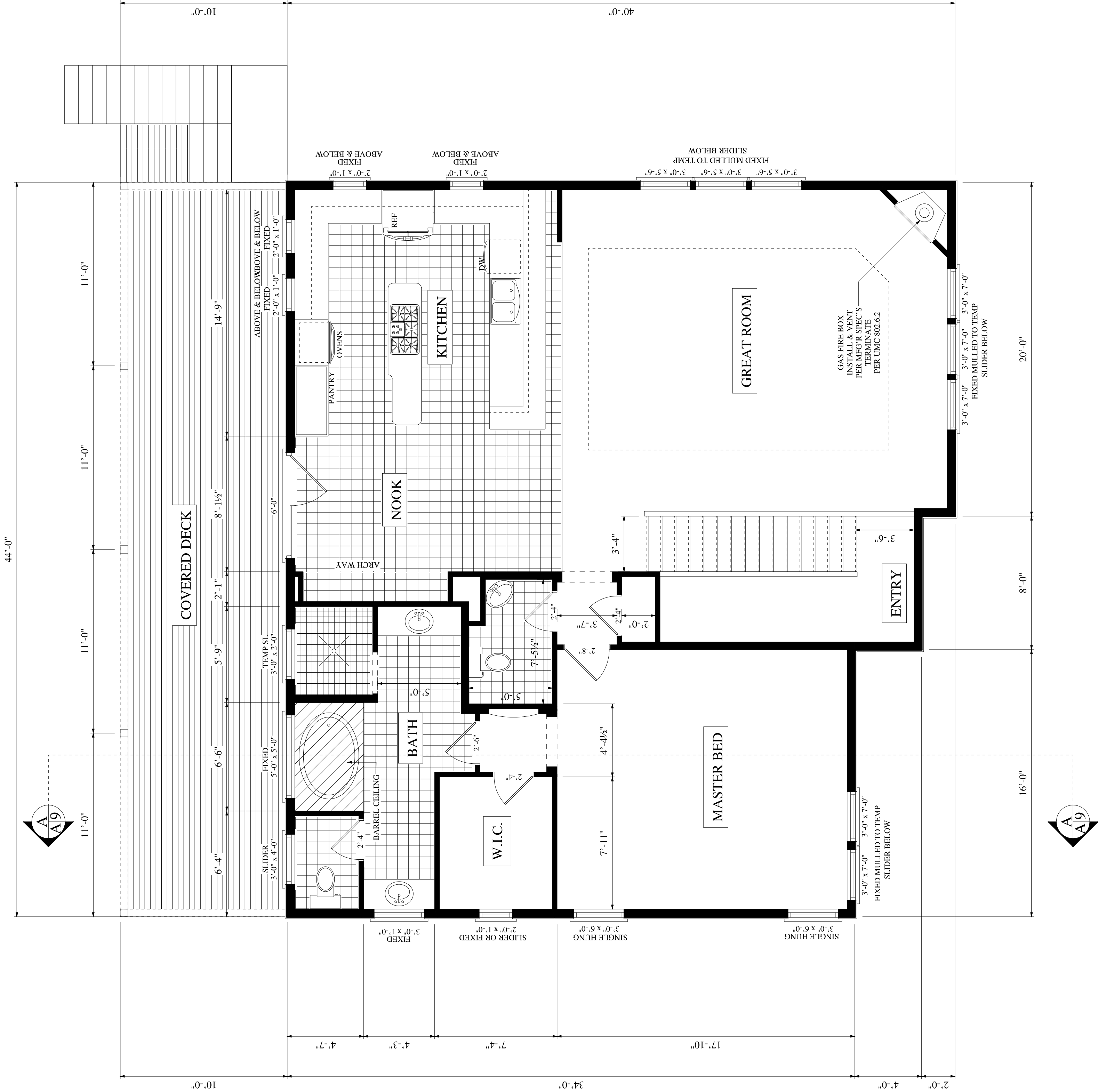
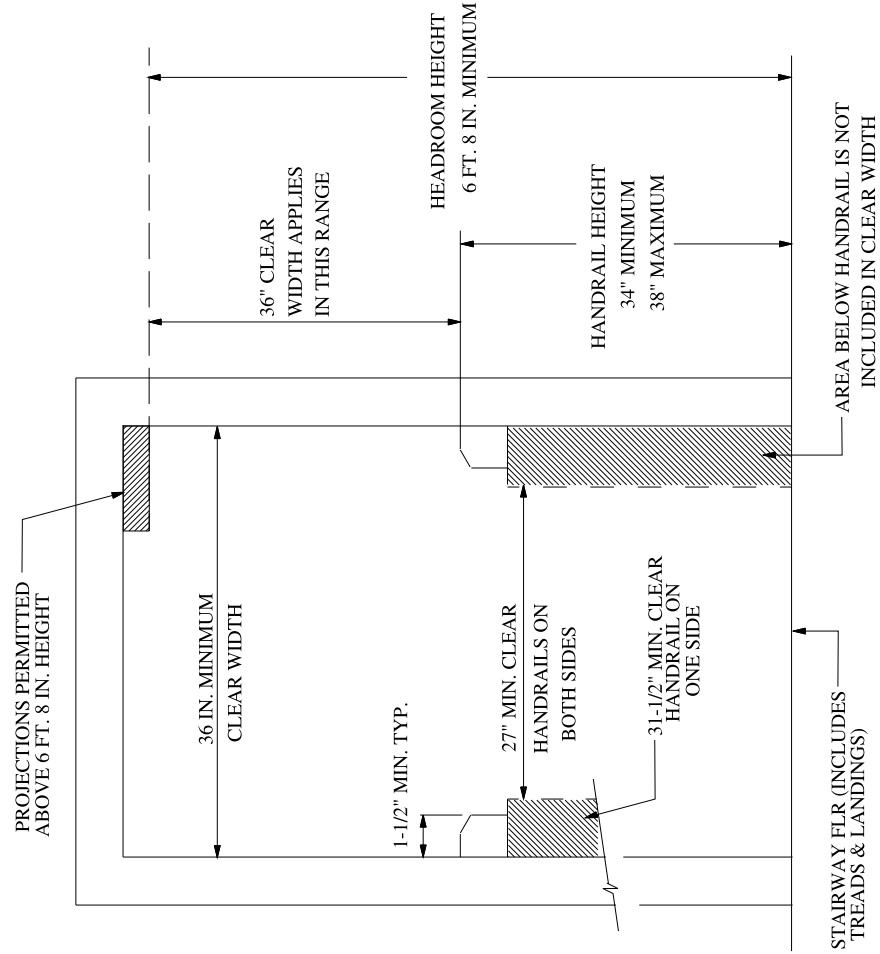
UPPER FLOOR PLAN

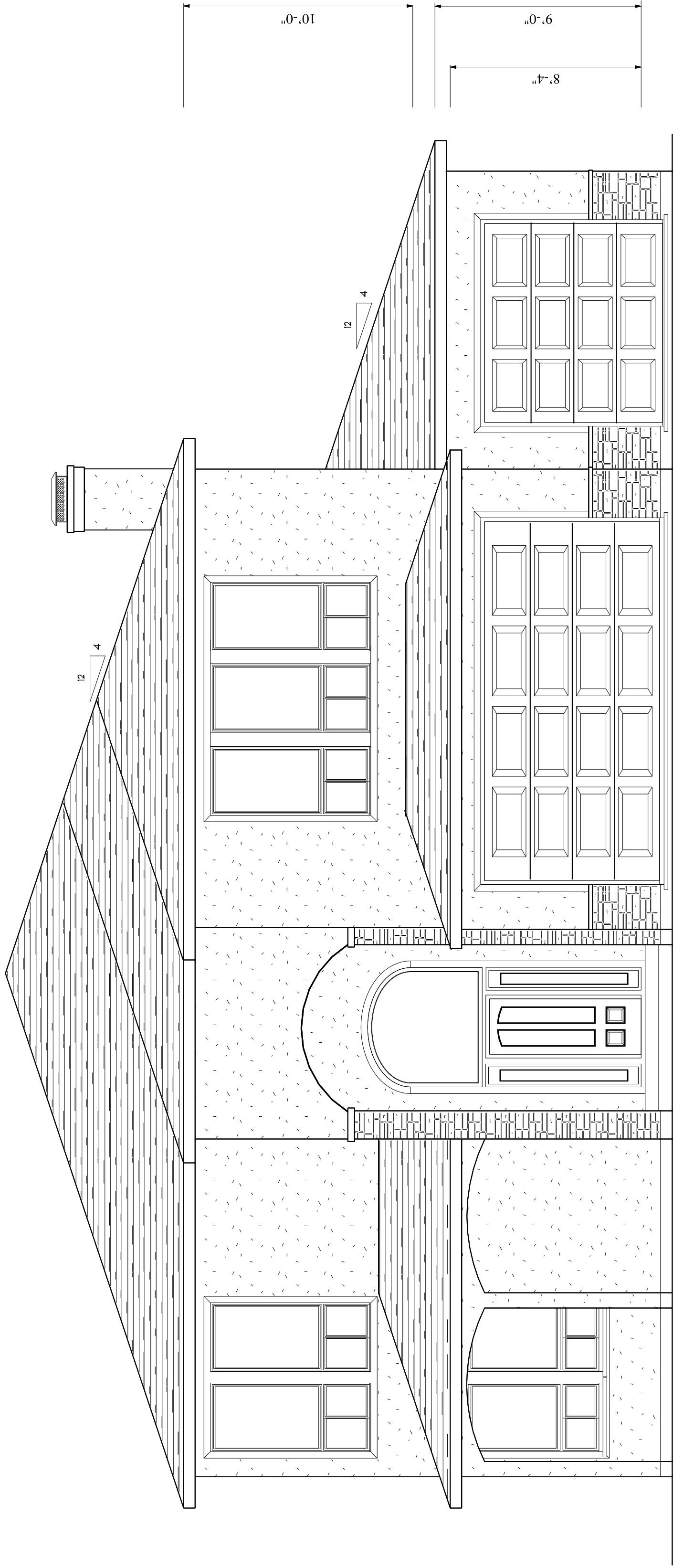
1538 SQ. FT. OF LIVING THIS LEVEL

SCALE: 1/4"=1'-0"

STAIR NOTES:

- 1 WIDTH - 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (34"-38") AND BELOW THE REQUIRED HEADROOM HEIGHT (6'-8" MIN.)
- 2 HANDRAILS - 36" MIN. CLEAR WIDTH OF THE STAIRWAY, 4" MIN. BELOW THE HANDRAIL HEIGHT INCLUDING TREADS & LANDINGS. SHALL NOT BE LESS THAN 3.5" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE & 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES PER THE IRC
- 3 HANDRAILS - REQUIRED AT LEAST ONE SIDE OF EACH CONT. RUN OF TREADS
- 4 HANDRAIL HEIGHT - 34" - 38"
- 5 HANDRAIL CONTINUITY - CONTINUOUS THE FULL LENGTH OF THE FLIGHT
- 6 HANDRAIL RETURN ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS
- 7 SPACE (CLEARANCE) - MIN. 1'-0" BETWEEN WALL & THE HANDRAILS
- 8 HEADROOM - 6'-8" PER THE IRC
- 9 RISER - 34" MAXIMUM MAXIMUM DIFFERENCE .50" PER THE IRC
- 10 WINDER - 6" MINIMUM TREAD DEPTH AT ANY POINT PER THE IRC
- 11 LANDING - SHALL BE ONE AT THE TOP & BOTTOM OF THE STAIRWAY
- 12 WIDTH OF STAIRWAY - MINIMUM 36" BETWEEN FLOOR LEVELS OR LANDINGS MINIMUM DIMENSION OF 36" IN THE DIRECTION OF TRAVEL
- 13 OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICAL FROM THE FINISH OF THE TREADS.
- 14 HANDRAILS w/ A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIA. OF GUARDS NOT LESS THAN 1 1/2" w/ A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4"
- 15 HANDRAILS THAT ARE NOT CIRCULAR SHALL HAVE A PERIMETER DIA. OF AT LEAST 1 1/2" & NOT GREATER THAN 2 1/4" w/ A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4"
- 16 HANDRAIL ASSEMBLIES & GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP & HAVE ATTACHMENT DEVICES & SUPPORTING STRUCTURES CAPABLE OF WITHSTANDING SUCH LOADS WITHOUT DETRIMENT TO THE BUILDING.





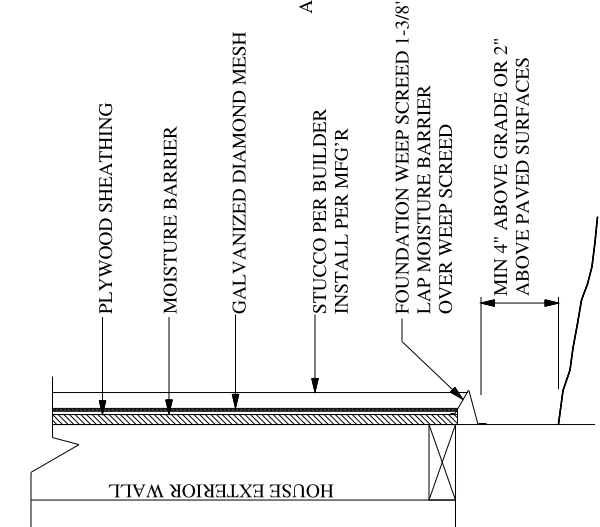
FRONT ELEVATION

SCALE: 1/4"=1'-0"

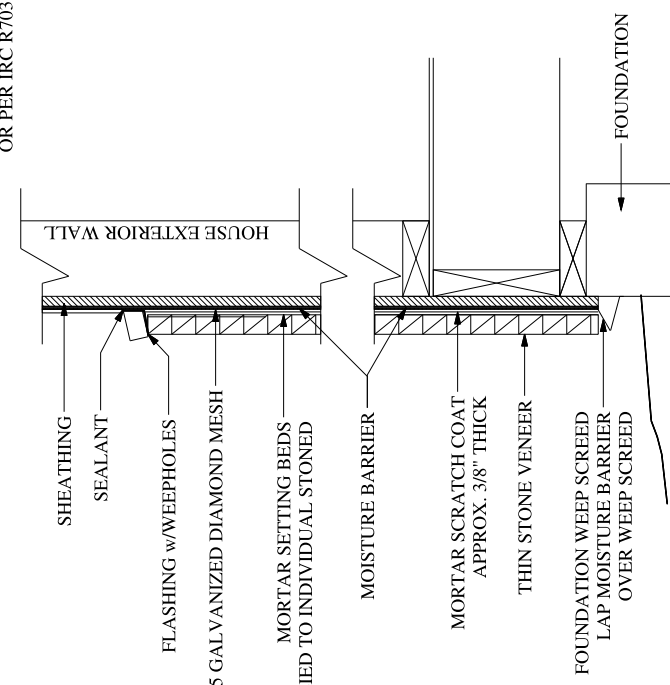
TYPICAL ELEVATION NOTES

- STUCCO EXTERIOR CONTROL JOINTS ARE TO BE PLACED ABOVE AND BELOW WINDOWS AND ABOVE ALL DOORS VERT. CONTROL JOINTS SHALL NOT BE PLACED IN THE SAME VERTICAL LINE AS THE PLASTER PANEL. NO MORE THAN 1/4" IN ANY DIRECTION. JOINTS TO BE FINISHED WITH 1/4" ABOVE GRADE AND 2" ABOVE PAVING.
- MASONRY PER BUILDER INSTALL PER IRC R703.
- TRIM & FASCIA AS PER BUILDER.
- ALL WINDOWS & DOORS SHALL HAVE A MINIMUM GARAGE & EXTERIOR DOOR STYLE PER BUILDER.
- THE ADDRESS MUST BE A MINIMUM 66" IN HEIGHT WITH A 1/2" STROKE (IC 361) AS AMENDED AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL.

WEEP SCREED INSTALLATION



MASONRY VENEER INSTALLATION



ELEVATIONS

SHEET TITLE:

PROJECT NAME

DATE

April 26, 2019

SHEET

A4

Rogelio Residence
15915 Secret Pass Road - Washoe County, Nevada
APN: 017-200-53

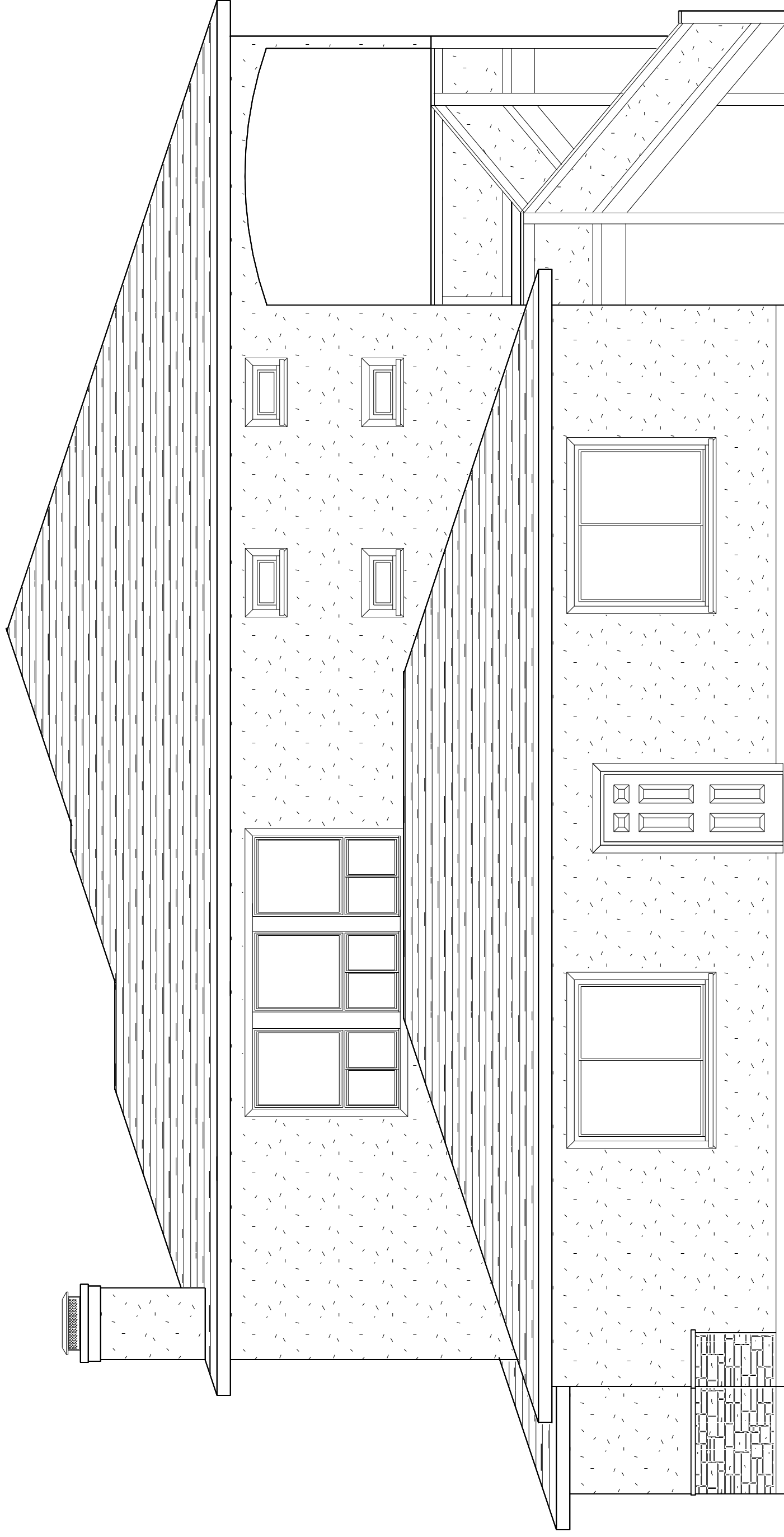
PROJECT INFORMATION

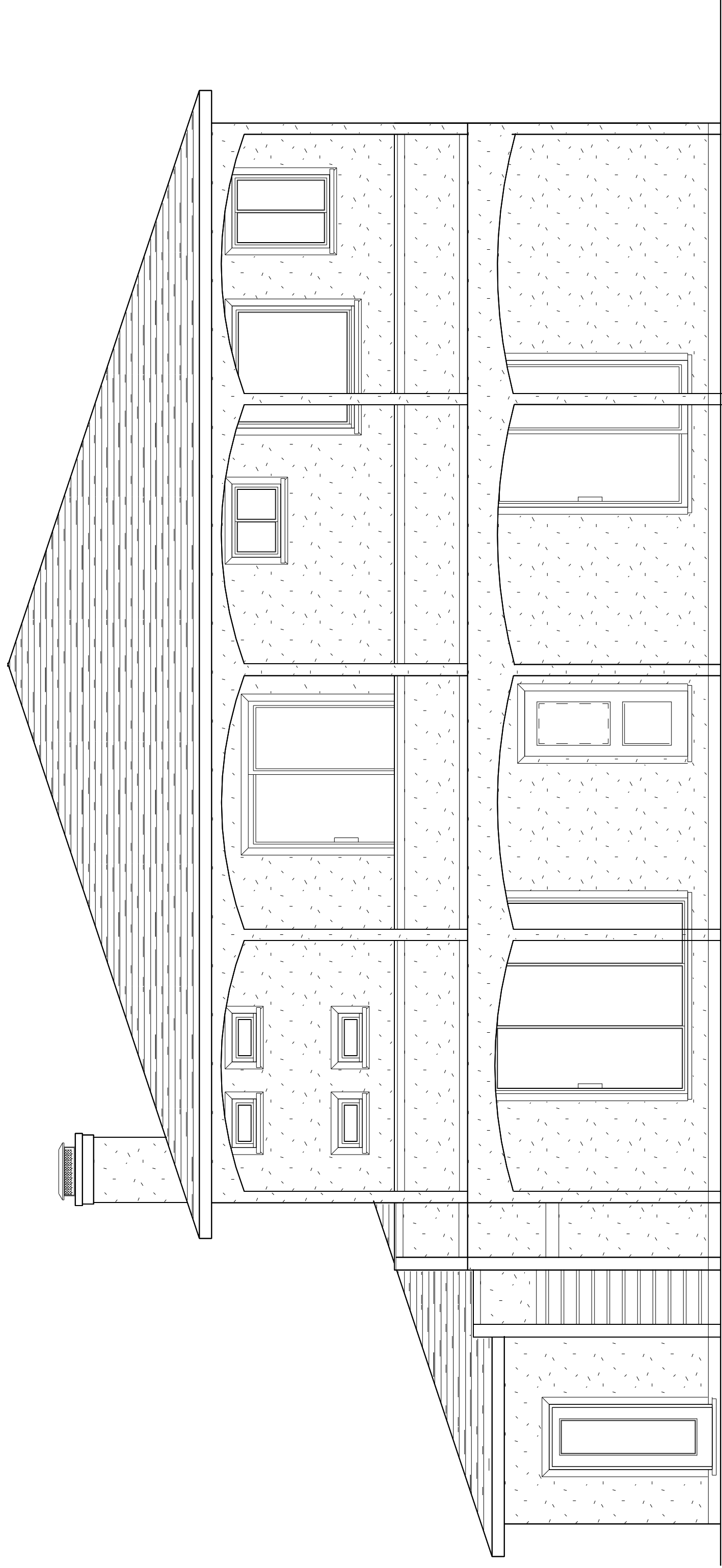
NO. REVISIONS/ISSUE

DATE

RIGHT ELEVATION

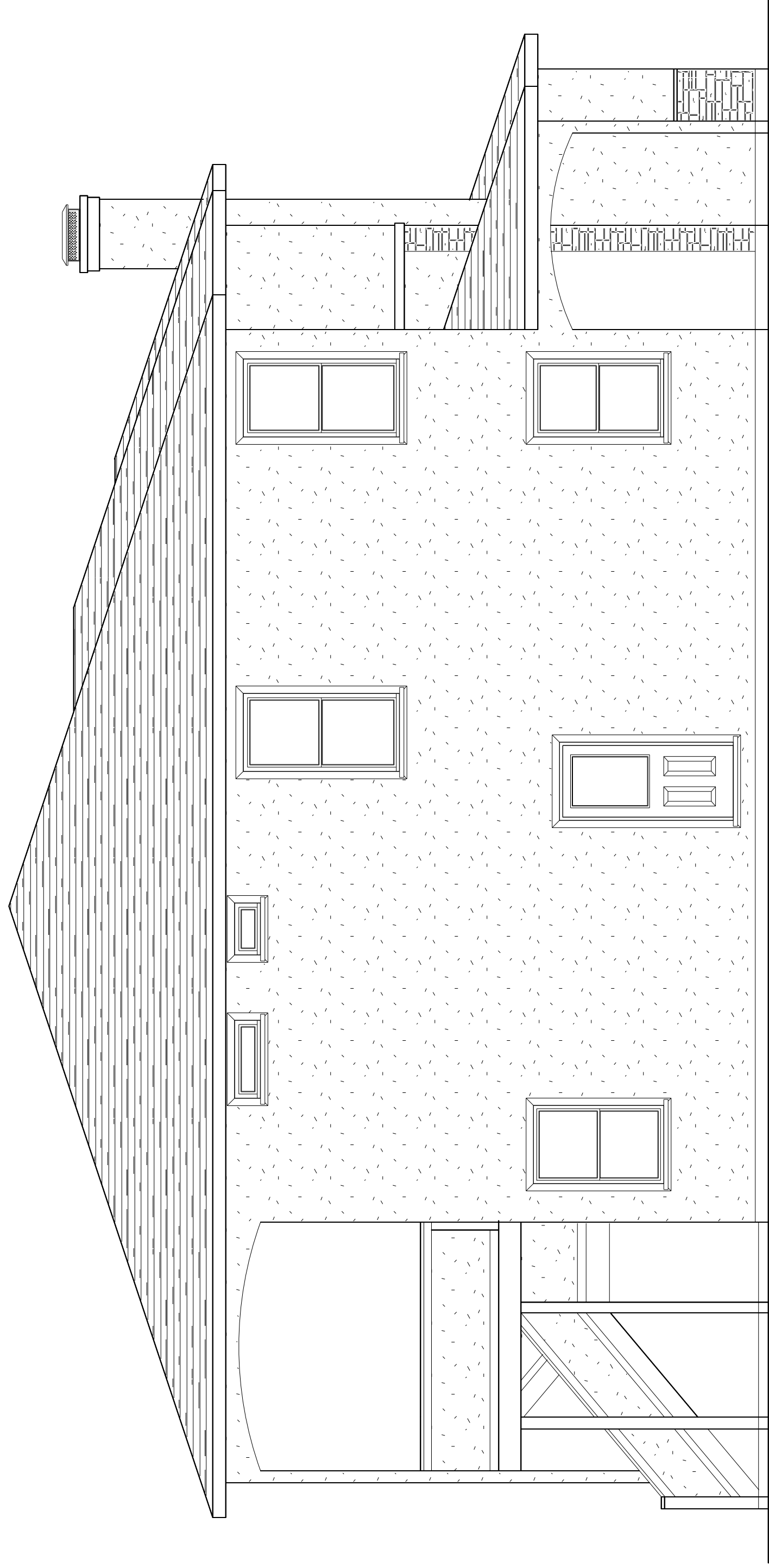
SCALE: 1/4"=1'-0"





REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

NO.		REVISIONS/ISSUE	DATE

PROJECT INFORMATION	
Rogelio Residence	
15915 Secret Pass Road - Washoe County, Nevada	
APN: 017-200-53	

SHEET TITLE:	
ELEVATIONS	

PROJECT NAME	
DATE	
April 26, 2019	

SHEET	
A5	

WATER SERVICE CONNECTION FOR 15915 SECRET PASS ROAD

TWMA TO FURNISH AND/OR INSTALL:
FIELD INSPECTOR TO INSPECT MAINS AND SERVICES

- 3/4" DISC TYPE - BACKER WATER METER(S) FOR DOMESTIC.

GENERAL COMMENTS:

CONTRACTOR TO CALL PROJECT COORDINATOR AT (775) 834-____ 48-HOURS PRIOR TO START OF CONSTRUCTION TO SCHEDULE ON-SITE INSPECTION.
(INCLUDE WORK ORDER NUMBER _____)

APPLICANT TO NOTIFY TWMA OF ANY DESIGN AND/OR ADDRESS CHANGES.

ALL MATERIALS, INCLUDING BACKFILL, SHALL BE AT THE JOB SITE PRIOR TO START OF CONSTRUCTION AND SHALL COMPLY WITH TWMA ENGINEERING & CONSTRUCTION STANDARDS.

MAINTAIN POTABLE WATER AND SS/SD/NON-POTABLE HORIZONTAL AND VERTICAL CLEARANCES AS SPECIFIED IN NEVADA ADMINISTRATIVE CODE (NAC) SECTION 445A AND TWMA ENGINEERING & CONSTRUCTION STANDARDS SECTION 8.

AT ALL CROSSINGS, UNDERGROUND ELECTRIC FACILITIES SHALL BE LOCATED BELOW WATER MAINS AND/OR WATER SERVICES WITH A MINIMUM OF 2-FEET VERTICAL CLEARANCE.

ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE TWMA ENGINEERING & CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SECURE COPIES OF THE AFOREMENTIONED CONSTRUCTION SPECIFICATIONS ON HIS/HER OWN BEHALF. THE ENGINEERING & CONSTRUCTION STANDARDS MAY BE DOWNLOADED FROM: www.twma.com/standards

SYMBOLS ARE NOT TO SCALE AND DO NOT NECESSARILY REPRESENT ACTUAL LOCATIONS OF FACILITIES.

THESE DRAWINGS ARE BASED ON CIVIL PLANS DATED: JUNE 26, 2019

THIS MAP ILLUSTRATES DATA COLLECTED FROM VARIOUS SOURCES AND MAY NOT REPRESENT A SURVEY OF THE PREMISES. NO RESPONSIBILITY IS ASSUMED AS TO THE SUFFICIENCY OR ACCURACY OF THE DATA DISPLAYED HEREON.

CADUTION: CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING WORK AROUND ALL EXISTING UTILITIES. PRIOR TO EXCAVATION, CHECK TO ENSURE ADDITIONAL DEPTH IS NOT REQUIRED TO ACCOMMODATE INSTALLATION OF GAS FACILITIES.

SOILS RETENTION MAY BE REQUIRED AROUND WATER METER BOXES, FIRE HYDRANTS, AND OTHER FACILITIES IF SLOPES EXCEED 15%.

WATER METERS SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT (PIE).

TOP OF WATER METER ENCLOSURE SHALL BE SET 0.2 FEET ABOVE HIGHEST FINISHED GRADE SURROUNDING ENCLOSURE WITHIN LANDSCAPED AREAS. FOR INSTALLATIONS IN CONCRETE OR OTHER PAVED AREAS, SET TOP OF LID FLUSH WITH SURROUNDING SURFACE.

APPLICANT TO ADVISE PLUMBING CONTRACTOR OF HIS/HER RESPONSIBILITY TO VERIFY WATER PRESSURE DURING STATIC CONDITIONS AT ALL SERVICE LOCATIONS. THE PLUMBING CONTRACTOR IS REQUIRED TO CONFORM TO THE MOST CURRENT EDITION OF THE UNIFORM PLUMBING CODE WHICH HAS BEEN ADOPTED BY THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROJECT. SPECIAL ATTENTION SHOULD BE GIVEN TO THE SECTION OF THE CODE CONCERNING STATIC WATER PRESSURE IN EXCESS OF 80 PSI.

UNUSED SERVICE LATERALS SHALL BE RETIRED BACK TO TWMA'S WATER MAIN.

WATER MAINS TO EXTEND A MINIMUM OF 10-FEET BEYOND END OF PAVING. MAINS ARE NOT TO BE INSTALLED UNDER SIDEWALK AND/OR CURB & GUTTER.

DURING CONSTRUCTION ALL OPEN ENDS OF PIPES OR FITTINGS SHALL BE SEALED AT THE END OF EACH WORKING DAY TO PREVENT THE ENTRY OF FOREIGN OBJECTS.

ALL PIPE AND APPURTENANCES SHALL BE NSF 61 CERTIFIED.

BACKFLOW PREVENTION:

BACKFLOW PREVENTION IS REQUIRED BY NEVADA ADMINISTRATIVE CODE (NAC) SECTION 445A.67185.

- DOMESTIC AND IRRIGATION BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE METER.
- FOR THE SERVICE BACKFLOW ASSEMBLY(IES): CONTACT BACKFLOW PREVENTION GROUP FOR TYPE AND REQUIRED LOCATION.

BACKFLOW PREVENTION GROUP WILL APPROVE WATER METER SET AND PERMANENT WATER SERVICE AFTER:

- THE ASSEMBLY IS INSTALLED PER TWMA INSTALLATION STANDARDS AND INSPECTED BY THE BACKFLOW PREVENTION GROUP.
- OPEN TRENCH, DITCH, AND/OR SLURRY INSPECTIONS COMPLETED BY THE BACKFLOW PREVENTION GROUP.
- FINAL INSTALLATION AND FREEZE PROTECTION INSPECTED BY THE BACKFLOW PREVENTION GROUP.
- CALL (775) 834-8288 FOR INSPECTIONS OR QUESTIONS.

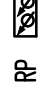
THE OWNER/DEVELOPER IS RESPONSIBLE TO CONTACT TWMA BACKFLOW PREVENTION GROUP FOR CURRENT BACKFLOW INSTALLATION STANDARDS.

FIRE SERVICES

DOM  USC APPROVED DDM (DOUBLE CHECK DETECTOR ASSEMBLY)
RPA  USC APPROVED RPA (REDUCED PRESSURE DETECTOR ASSEMBLY)

TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TWMA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.

DOMESTIC SERVICES

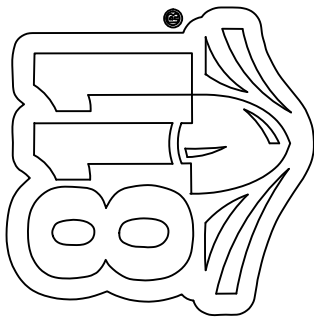
RP  USC APPROVED RP (REDUCED PRESSURE PRINCIPLE ASSEMBLY)

IF INITIAL TEST DONE BY TWMA FIELD PERSONNEL FAILS, RE-TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TWMA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.

IRRIGATION SERVICES

RP  USC APPROVED RP (REDUCED PRESSURE PRINCIPLE ASSEMBLY)

IF INITIAL TEST DONE BY TWMA FIELD PERSONNEL FAILS, RE-TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TWMA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.



Know what's below.
Call before you dig.

TRUCKEE MEADOWS WATER AUTHORITY:

APPLICANT TO FURNISH AND/OR INSTALL:

ALL TRENCHING AND EXCAVATION PER TWMA ENGINEERING & CONSTRUCTION STANDARDS SECTIONS 4 AND 5.

ALL SURVEY STAKING NECESSARY TO CLARIFY RIGHT-OF-WAY, EASEMENTS, PROPERTY LINES, ELEVATIONS, ETC.

ALL NECESSARY PERMITS, PAVEMENT CUTTING, PAVEMENT REMOVAL, AND PAVEMENT REPLACEMENT.

APPLICANT TO INSTALL WATER METER SETTER AND ENCLOSURE.

WATER METER INSTALLED BY TWMA.

ALL REQUIRED LINE PRESSURE TESTS AND WELDING/FUSION QUALITY TESTS SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C600, C605 AND TWMA ENGINEERING & CONSTRUCTION STANDARDS. MOST STRINGENT STANDARD SHALL APPLY. ALL PRESSURE TESTS SHALL BE PERFORMED BEFORE THE PIPING IS FLUSHED, DISINFECTED OR SAMPLED FOR AN ANALYSIS OF WATER QUALITY.

ADDRESSES OR BUILDING DESIGNATION.

LETTER TO VERIFY THAT ELEVATIONS ARE AT ENGINEERED SUB-GRADES PRIOR TO UTILITY CONSTRUCTION.

ALL PRIVATE DOMESTIC AND IRRIGATION LINES BEYOND THE POINT OF CONNECTION AT TWMA'S METER PROVISION AND ALL NECESSARY WATER PRESSURE REGULATION EQUIPMENT (REFER TO THE MOST CURRENT EDITION OF THE UNIFORM PLUMBING CODE WHICH HAS BEEN ADOPTED BY THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROJECT).

WATER MAINS SHALL NOT BE PLACED IN SERVICE UNTIL DISINFECTED PER AWWA STANDARD C651 AND AN ANALYSIS WHICH INDICATES IT MEETS PRIMARY STANDARDS FOR COLIFORM BACTERIA HAS BEEN OBTAINED. FINAL WATER QUALITY TESTS WILL BE FORWARDED TO THE REVIEWING AGENCY UPON COMPLETION OF ANALYSIS.

CONTRACTOR TO COORDINATE WITH TWMA INSPECTOR REGARDING DISCHARGE OF SPENT CHLORINATED WATER.

ALL CONCRETE FOR THRUST BLOCKS PER TWMA ENGINEERING & CONSTRUCTION STANDARDS AND DRAWING NUMBER 10L-2.

APPROX. .265' OF 1"AWMA C301 CTS HDPE TUBING WITH ALL FITTINGS AND APPURTENANCES. (INCLUDING ALL HOT TAPS 2" AND UNDER). DOMESTIC

SEPARATION BETWEEN WATER SERVICES:

C300 PVC PIPE, TRANSITE (AO) PIPE - SERVICE TAPS ON THE SAME SIDE OF PIPE SHALL HAVE A MINIMUM .36" SEPARATION. SERVICES STAGGERED SIDE TO SIDE OF PIPE SHALL HAVE A MINIMUM .18" SEPARATION. NO SERVICES ALLOWED WITHIN 24" OF CUT END OR PIPE TO BELL TRANSITION.

DUCTILE IRON PIPE, CAST IRON PIPE, STEEL PIPE - SERVICE TAPS ON THE SAME SIDE OF PIPE SHALL HAVE A MINIMUM .18" SEPARATION. SERVICES STAGGERED SIDE TO SIDE OF PIPE SHALL HAVE A MINIMUM .9" SEPARATION. NO SERVICES ALLOWED WITHIN 24" OF CUT END OR PIPE TO BELL TRANSITION.

TR  1 - 13" x 24" SINGLE WATER METER PROVISION ASSEMBLY(IES).
TR (TRAFFIC RATED/DRIVEWAY APPROACH BOX WHERE APPLICABLE).

BASIS OF ELEVATION:

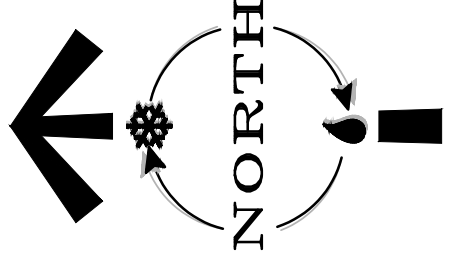
DATUM: NAVD 88
PROJECT BENCHMARK = SOUTHWEST PROPERTY CORNER
HAVING AN ELEVATION OF 4780.64'

BASIS OF BEARING:

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) BASED UPON REAL TIME KINEMATIC GPS OBSERVATIONS, OBSERVED AND COLLECTED BY THE SURVEYING FIRM. THE SURVEYORS RECEIVER FROM THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK MODIFIED BY A COMBINED FACTOR OF 1.000197939, SCALED FROM 0.00N 0.00E AND CONVERTED TO U.S. SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

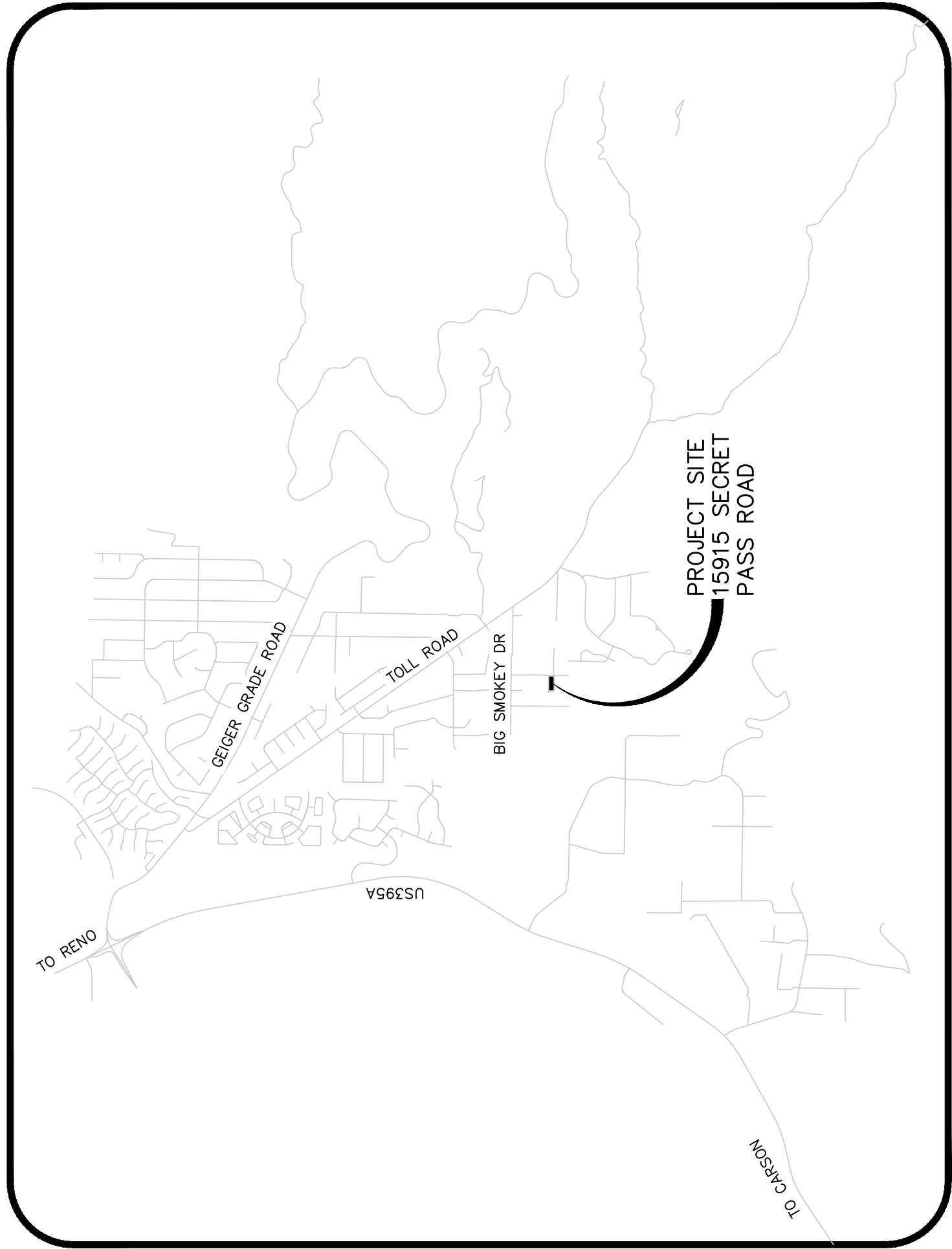
ABBREVIATIONS

AR RELEASE VALVE
ASSEMBLY
BOT BOTTOM (OF PIPE)
BOV BOTTOM VALVE
CATV CABLE TELEVISION
CONST CONSTRUCT
CTS CUPPER TUBE SIZE
DI OR DIP DI OR DIP
DMA DOUBLE CHECK DETECTOR ASSEMBLY
EX EXISTING
FCA FLANGE COUPLING ADAPTER
FLN FLANGE NIPPLE
FLN FLANGE
FLN FLUSH VALVE ASSEMBLY
GW GATE VALVE
HDP HIGH DENSITY POLYETHYLENE
HP HIGH POINT
IE INVERT ELEVATION
MECH MECHANICAL JOINT
MU MECHANICALLY RESTRAINED JOINT
OD OUTSIDE DIAMETER
PCL PERMANENT LINE
PCL PUBLIC UTILITY EASEMENT
PVC POLYVINYL CHLORIDE PIPE
R RADIUS
RCA RESTRAINED FLANGE COUPLING ADAPTER
ROW OR R/W RIGHT OF WAY
RPA REDUCED PRESSURE BACKFLOW ASSEMBLY
STL STEEL
TB THRUST BLOCK
TYP TYPICAL
TYP TYPICAL
W WITH
W/ CROSSING



VICINITY MAP

N.T.S.



15915 SECRET PASS ROAD
RENO, NV 89502

TITLE SHEET

SHEET NUMBER

W1

1 of 3

ENGINEER

308 N. CURRY ST., STE. 200
CARSON CITY, NEVADA 89706
TEL: 775.883.7077



ROBERT KRONE ARCHITECT P.C.
P.O. Box 100
Verdi, Nevada 89439-0100
(917) 359-9302
www.kronearc.com

TRANSMITTAL

Date: April 8, 2021

To: **Community Services Department**
Washoe County Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845
Telephone: 775-328-6100

Attention: **Community Services Department**

From: Robert C. Krone, AIA

Via: By hand

Regarding: **Jimenez-Recendiz Garage & Detached Accessory Dwelling,**
Administrative Review Application
15915 Secret Pass Rd., Reno, NV 89521
APN: 007-200-53

Distribution: file: 2011.03

No. of Copies	Drawing No.	Drawing Size	Latest Date	Description
Packet No. 1 (original) contains:				
1	-	-	2.23.21	Washoe County Development Application, signed & notarized Owner's Affidavit (original) & Administrative Review Permit Application
1	-	-	8.20.20	Real estate tax payment receipt
1	-	-	2.24.21	Check 372, to Washoe County, for \$2,302.20
1	A-001.00	36" x 24"	2.05.21	Cover Sheet, signed & sealed
1	A-002.00	8.5" x 11"	2.23.21	Site Plan, signed & sealed
1	A-002.00	36" x 24"	2.23.21	Site Plan & Location Map, signed & sealed
1	A-201.00	36" x 24"	2.05.21	Floor & Roof Plans, signed & sealed
1	A-501.00	36" x 24"	2.23.21	Garage & Accessory Dwelling Elevations, signed & sealed
1	A0, A2, A3, A4 & A5	36" x 24"	4.26.19	Proposed main residence plans & elevations - filed under separate application
1	W1, W2 & W3	36" x 24"	-	TMWA water & sewer service connection for primary residence
1	-	-	-	Flash drive with digital copies of application materials
Packet Nos. 2 and 3 (copies) contain:				
1	-	-	2.23.21	Washoe County Development Application, signed & notarized Owner's Affidavit (original) & Administrative Review Permit Application
1	-	-	8.20.20	Real estate tax payment receipt
1	-	-	2.24.21	Check 372, to Washoe County, for \$2,302.20
1	A-002.00	8.5" x 11"	2.23.21	Site Plan, signed & sealed
1	A-002.00	36" x 24"	2.23.21	Site Plan & Location Map, signed & sealed
1	A-201.00	36" x 24"	2.23.21	Floor & Roof Plans, signed & sealed
1	A-501.00	36" x 24"	2.23.21	Garage & Accessory Dwelling Elevations, signed & sealed
1	A0, A2, A3, A4 & A5	36" x 24"	4.26.19	Proposed main residence plans & elevations

ROBERT KRONE ARCHITECT P.C.

P.O. Box 100

Verdi, Nevada 89439-0100

(917) 359-9302

www.kronearc.com

1	W1, W2 & W3	36" x 24"	-	- filed under separate application TMWA water & sewer service connection for Main residence
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Remarks:

Please contact Robert Krone with any comments or questions regarding this submission at 917-359-9302.

Thank you.